



VINCENT JARVIS STUDIO

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GENERAL NOTES

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ENGINEERS AND OTHER RELEVANT CONSULTANTS DESIGNS, DRAWINGS AND SPECIFICATIONS.
- REFER TO MATERIAL LEGEND FOR ITEM AND MATERIAL KEYNOTE DESCRIPTIONS. REFER TO WALL SCHEDULE FOR DETAILS ON WALL TYPES AND MAKE-UP.
- THESE DRAWINGS SHALL NOT BE SCALED. CONTRACTORS SHALL VERIFY SET-OUT AND ALL DIMENSIONS BEFORE COMMENCING ANY WORKS.
- REFER TO SERVICES DOCUMENTATION (ELECTRICAL, MECHANICAL & HYDRAULICS) FOR ANY INFORMATION REGARDS TO SERVICES.
- ALL MATERIALS AND METHOD OF CONSTRUCTION, ASSEMBLY ETC. TO BE IN ACCORDANCE WITH RELEVANT ASUTRAIAN STANDARDS, CODES OF PRACTICE AND NATIONAL CONSTRUCTION CODE OF AUSTRALIA.
- BUILDER/CONTRACTOR TO ENSURE ACCESS TO, OPERABILITY AND SECURITY OF AN EXISTING BUILDINGS IS MAINTAINED WITH MINIMAL DISRUPTION. ENSURE THAT THERE IS NO OVER-STRESSING TO ANY PART OF THE BUILDINGS.
- ALL STRUCTURAL STEEL WORKS TO COMPLY WITH AS4100 AND AS1538. FOR INSTALLATION REFER TO STRUCRUEAL DRAWINGS. ALL CONCRETE WORKS TO COMPLY WITH AS3600.
- OWNERS RESPONSIBILITY ON FOUNDATION MAINTENANCE AS PER CSIRO. HOMEOWNERS MAINTENANCE AS PER CSIRO HOME OWNERS MAINTENANCE.

VISUAL INDICATION TO GLAZING DOORS

- IN ACCORDANCE WITH CLAUSE 6.6 OF AS1428.1-2009, WHERE THERE IS NO CHAIR RAIL, HANDRAIL OR TRANSOM, ALL FRAMELESS OR FULLY GLAZED DOORS, SIDEGLAZTS AND ANY GLAZING THAT CAN ME MISTAKEN AS A DOORWAY SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID, NON-TRANSPARENT CONTRASTING LINE. THE LINE SHALL BE NO LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE IS TO BE LOCATED BETWEEN 900 & 1000mm ABOVE FFL.

SIGNAGE

- EVERY SANITARY FACILITY MUST HAVE CLEAR AND LEGIBLE BRAILLE AND TACTILE SIGNAGE COMPLYING WITH SPECIFICATION D3.6 OF NCC AND AS1428.1-2009. THE SIGNS NEED TO BE LOCATED ON THE LATCH SIDE OF THE TOILET DOORS (LEADING EDGE OF SIGN TO BE BETWEEN 50 TO 300mm FROM THE ARCHITRAVE) AND LOCATED BETWEEN 1200 & 1800mm ABOVE FFL.
- SIGNAGE TO ALL FIRE DOORS - "FIRE DOOR. DO NOT OBSTRUCT. DO NOT KEEP OPEN." ALL SIGNAGE TO BE IN CAPITAL 20mm LETTERING.

CARPARKING AND SIGNAGE

- PARKING TO INCLUDE THE INTERNATIONAL SYMBOL FOR PEOPLE WITH DISABILITIES IN WHITE ON A GREEN (ULTRAMAYINE) BACKGROUND ON THE BAYS SURFACE AND TOTAL PARKING PERIMETER DELINEATED IN GREEN.
- PROVIDE WHITE BITUMINOUS PAINT 75mm WIDE LINEMARKING TO ALL CAR SPACES AND BLUE LINEMARKING TO DISABLED AND DIRECTIONAL LINEMARKING AS REQUIRED.
- DISABLED CARPARKING SPACES TO BE 2400x5500mm (WITH SHARED ADJOINING SPACE OF 2400x5500mm).

AUTO SLIDE DOORS

- IN ACCORDANCE WITH CLAUSE 13.3 OF AS1428.1-2009, AUTO SLIDE DOORS ARE TO BE A MINIMUM WIDTH OF 920mm WIDE. MANUAL CONTROLS TO THE POWER OPERATED DOORS SHALL BE LOCATED ON THE CONTINUOUS ACCESSIBLE PATH OF TRAVEL NO CLOSER THAN 500mm FROM AN INTERNAL CORNER AND CLEAR OF A SURFACE MOUNTED SLIDING DOOR IN THE OPEN POSITION.

STAIRS

- ALL STAIRS ARE TO BE COMPLIANT WITH AS1428.1.9
- TACTILE INDICATORS ARE TO BE TYPE B INDICATORS AND BE A MIN 300mm FROM THE STAIR AND NOT LESS THAN 600mm IN DEPTH IN ACCORDANCE WITH AS1428.4.
- PROVIDE CLEAR STICK-ON 3M PRODUCT NON-SKID STRIP NEAR EDGE OF NOSING OR AS OTHERWISE NOTED.

TREADS: 250mm MIN.
RISER: 190mm MAX.
HANDRAIL: 1020mm ABOVE LANDINGS AND 865mm ABOVE NOSING OF TREAD.
BALUSTERS: MAX 125mm SPACINGS, MIN DISTANCE BETWEEN TREADS OF 125mm.

DISABILITY ACCESS

- ACCESS FOR DISABLED MUST BE PROVIDED BY MEANS OF A CONTINUOUS PATH OF TRAVEL IN ACCORDANCE WITH AS1428.1-2009. MAX PATH OF SLOPE OF 1:40 OR AS OTHERWISE NOTED.

GLAZING

- ALL GLAZING TO COMPLY WITH AS1288-2006. USE 125X50 COMMERCIAL ALUMINIUM FRAMED SECTIONS. REFER TO WINDOW AND DOOR SCHEDULE FOR DIMENSIONS, MATERIALS, FINISHES AND GLAZING TYPES.
- GLASS TO BE SUPPORTED AT ALL EDGES. FOR DOORS AND SIDE PANELS, USE 6MM TOUGHENED SAFETY GLASS, MAX PANEL OF 4.5M. ELSEWHERE USE 6MM ORDINARY ANNEALED GLASS, MAX PANEL OF 3.35M.

INSULATION

- PROVIDE INSULWRAP SUPPRESSOR OR SIMILAR TO ALL PVC DOWNPIPES AND ALL WATER AND SEWER PIPES THAT ARE BACKING INTO OR IN CONDITIONED SPACES.

SUSPENDED CEILINGS

- SUSPENSION SYSTEMS SHALL BE CAPABLE OF SUPPORTING THE CEILING AS A WHOLE, TOGETHER WITH LIGHT FITTINGS AND CONDUIT LINES.
- SUSPENSION SYSTEMS SHALL CONSIST OF SUSPENSION HANGERS SUPPORTING A GRID OF PRIMARY AND SECONDARY MEMBERS. ALL VISIBLE PARTS OF THE SUSPENSION SYSTEMS SHALL BE PRE-FINISHED TO MATCH THE SUSPENSION SYSTEM.
- ALL WALL ANGLES TO BE SHADOW LINE TYPICAL.

ENTRY DOOR MAT

- BIRRLUS ULTRA MAT OR SIMILAR CONSTRUCTED FROM ALUMINIUM TREADS, RAILS LIGHTLY FURROWED ON THE EXPOSED SURFACE TO PROVIDE A NON-SLIP SURFACE AND INCLUDE RUBBER SUPPORT CUSHIONS MOUNTED ON BASE OF EACH TREAD TO COUNTER ANY MINOR SURFACE IMPERFECTIONS.

FIRE HAZARDS PROPERTIES

- ALL EXTERNAL CLADDING (INCLUDING ARCHITECTURAL FEATURES) IS TO BE STRICTLY NON-COMBUSTIBLE. THE USE OF ALUMINIUM COMPOSITE MATERIALS, INSULATED PANEL SYSTEMS OR INSULATED METAL PANEL SYSTEMS CONTAINING EXPANDED POLYSTYRENE, EXTRUDED POLYSTYRENE, PHENOLIC INSULATION, POLYURETHANE, POLYISOCYANURATE OR SIMILAR MATERIALS IS NOT PERMITTED.
 - FIRE HAZARD PROPERTIES OF COMBUSTIBLE MATERIALS, LINING AND SURFACE FINISHES TO COMPLY WITH NCC SPEC. C1.10.
 - FLOOR & WALL COVERINGS AND CEILING LININGS MUSH BE OF COMMERCIAL GRADE AND COMPLY WITH SPECIFICATION C1.1A OF THE NCC.
 - SARKING MATERIAL TO HAVE MAX. FLAMABILITY INDEX OF 5.
 - INSULATION MAXIMUM SPREAD OF FLAME OF 9 AND SMOKE DEVELOPED OF 5 FLOOR MATERIALS AND COVERING HAVE MAX CRITICAL RADIANT FLUX CRF OF 2.2 KW/M2
 - WALL AND CEILING LINING MATERIALS HAVE A SMOKE GROWTH RATE INDEX NOT MORE THAN 100, AND AVERAGE SPECIFIC EXTINTION AREA LESS THAN 250M2/KG. TEST REPORT TO BE PROVIDED FOR THE MATERIALS THAT ARE NOT EXTEMPTED IN THE NCC.
- | | SMOKE DEVELOPED | SPREAD OF |
|-----------------------|-----------------|-----------|
| FLAME | | |
| CARPET (0-10) | 5 | 4 |
| SARKING (0-10) | 0 | 1 |
| VINYL FLOORING (0-10) | 6 | 0 |
- EXITS SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS2293.1

FIRE SERVICES / HYDRAULICS

EXTINGUISHERS

- EACH EXTINGUISHER TO BE HUNG ON A SUITABLE HOOK. PROVIDE 2A 408 (E) DRYCHEMICAL LOCATED 150mm FROM ELECTRICAL SWITCHBOARD.
- PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS2444 AS PER CONSULTANTS DESIGN. ALL SIGNAGE, MOUNTING HIGHTS AND LOCATION OF EXTINGUISHERS AND HOSE REEL TO COMPLY WITH AS2444 AND AS2441.1

FIRE SERVICES

- ALL FIRE SERVICE TO COMPLY TO NCC. TAPPING TO BE CONFIRMED BY FIRE SERVICES ENGINEER.
- FIRE HYDRANT SYSTEM TO BE INSTALLED AS PER AS2419.1 (IF REQUIRED)

HOSE REELS

- TO BE EQUIPPED WITH 36m LIVE HOSE INSTALLED AT A HEIGHT BETWEEN 1500-2400mm FROM FFL TO CENTRE OF REEL. 32mm DAM. COPPER PIPE TO BE RUN TO SHUT OFF VALVE AT HOSE REEL.
- FIRE HOSE REEL INSTALLATION TO COMPLY WITH AS1221 AND AS2441

ELECTRICAL

ARTIFICIAL LIGHTING

- ARTIFICIAL LIGHTING TO COMPLY WITH AS1680 AND ENERGY EFFICIENCY REQUIREMENTS OF PART J OF THE NCC.

EMERGENCY LIGHTING

- EMERGENCY LIGHTING TO BE AS PER ELECTRICAL ENGINEERS DRAWINGS.

SWITCHBOARDS

- REFER TO ELECTRICAL ENGINEERS DRAWINGS. FOR ALL MB AND DB LOCATIONS AND REQUIREMENTS.

SITE SAFETY MEASURES

METHOD OF WORK/SAFETY

- DEMOLITION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS2601.
- AT ALL TIMES THE SAFETY OF WORKERS AND OTHER PERSON OCCUPYING THE SITE SHALL BE OF PARAMOUNT IMPORTANCE. UNSAFE WORK PRACTICES SHALL NOT BE ALLOWED.

TAKE DOWN AND REMOVE

- WHERE REQUIRED, TAKE DOWN AND REMOVE CAREFULLY MATERIALS OR SECTIONS OF BUILDINGS NOMINATED FOR PARTIAL DEMOLITION. ALL CARE TO BE TAKEN TO AVOID DAMAGE TO SECTIONS OF EXISTING BUILDINGS TO REMAIN.

UNDERGROUND COMPONENTS

- WHERE REQUIRED, REMOVAL ALL FOOTINGS, SERVICES, PITS, WELLS AND OTHER UNDERGROUND COMPONENTS OF THE BUILDING. EXCAVATE THE COMPONENT AND BACKFILL WITH APPROVED MATERIAL.

RECOVERED MATERIALS

- UNLESS OTHERWISE NOTED ALL RECOVERED MATERIALS FROM THE DEMOLITION REMAIN THE PROPERTY OF CONTRACTOR.

TEMPORARY WEATHERPROOFING

- DURING DEMOLITION, OR AS THE CONSTRUCTION PROCESS REQUIRES, TEMPORARY WEATHERPROOFING OF THE EXISTING BUILDING SHALL BE CARRIED OUT.

ASBESTOS REMOVAL

- SHOULD ASBESTOS BE ENCOUNTERED, THAT HAD NOT BE PREVIOUSLY IDENTIFIED, MAKING SAFE OR REMOVING THE ASBESTOS SHALL FORM A VARIATION TO THE CONTRACT.
- ALL ASBESTOS SHALL BE REMOVED BBY AN AUTHORISED AND INSURED CONTRACTOR.

ROOFING, WALLING & ROOF PLUMBING

INSTALLATION

- ALL ROOF AND WALLING CLADDING AND ASSOCIATED ACCESSORIES TO BE INSTALLED TO MANUFACTURERS WRITTEN INSTRUCTIONS AND TO RELEVANT AUSTRALIAN STANDARDS.
- ROOF AND WALL CLADDING TO BE INSTALLED IN CONTINUOUS LENGTH LONG SHEETS, EXPANSION JOINTS TO BE PLACED AT CENTRES AS RECOMMENDED BY MANUFACTURER.
- EXTEND ROOF SHEETS 50mm MIN. INTO GUTTERS AND TURN DOWN ENDS OF SHEETS.
- ALL ROOF AND WALL SHEETING TO BE SCREWED DOWN INTO FINAL POSITION AS SOON AS POSSIBLE AFTER POSITIONS OF SHEETING. TEMPORARY FIXING OF ROOF SHEETING MUST BE MADE PERMANENT BEFORE END OF DAYS WORK.
- ANY PENETRATIONS THROUGH FLOOR STRUCTURE IS TO BE PROVIDED WITH FIRE COLLARS AND COMPLY WITH SPEC C3.15 OF THE NCC.

INSULATION, SISILATION AND SAFETY MESH

- SUPPLY AND INSTALL AS SPECIFIED INSULATION, SISILATION AND SAFETY MESH OVER ROOF OR WALL STRUCTURE PRIOR TO LAYING AND FIXING ROOF OR WALL SHEETS.
- WHERE NOTED, PLIABLE ROOF SARKING USED UNDER ROOF AND WALL COVERINGS SHALL COMPLY AND FIXED IN ACCORDANCE WITH AS1903/1904, WHICHEVER IS APPLICABLE.
- SAFETY MESH TO BE FIXED TO RIDGE (OR HIGHEST POINT OF ROOF STRUCTURE) AND PULLED TIGHT IN CONTINUOUS LENGTH FOR FULL SPAN OF ROOF, LAY SISILATION AND/OR INSULATION OVER SAFETY MESH IMMEDIATELY PRIOR TO LAYING ROOF SHEETS.
- ENSURE SISILATION/ INSULATION IS ADEQUATELY LAPPED WITH ADJACENT SHEETS TO PROVIDE A CONTINUOUS INSULATION BARRIER TO THE FULL EXTENT OF ROOF. ENSURE INSULATION IS CONTINUED UNDER BOX GUTTERS AND FIXED IN POSITION. CHECK ALL INTERNAL EXPOSED SURFACES OF INSULATION FOR CONTINUITY AND MAKE GOOD AS REQUIRED.
- WALLS TO CONDITIONED SPACE ARE TO HAVE MINIMUM R1.8 VALUE. THE ROOF IS TO ACHIEVE A MINIMUM R3.2 VALUE AND SUSPENDED FLOOR IS TO HAVE A MINIMUM R1.5 VALUE.

RAINWATER GOODS

- INSTALL BOXGUTTERS OR EAVES GUTTERS AS SHOWN ON ARCHITECTURAL DRAWINGS.
- GUTTERS SHALL BE SUPPLIED IN LONG LENGTHS WITH ANY JOINTS TO BE AT THE HIGH POINT OF THE GUTTER. ENSURE ALL JOINTS ARE ADEQUATELY LAPPED AND SEALED TO PREVENT LEAKS.
- BOX GUTTERS ARE TO BE SUPPORTED WITH "SPANDEK" ZINCALUME GUTTER BOARDS AND GALVANISED PROPRIETORY GUTTER STRAPS AT CENTRES SUFFICIENT TO SUPPORT GUTTER AND IMPOSED LOADS.
- EAVES GUTTERS TO HAVE GUTTER BRACKETS OF MATCHING MATERIAL 600mm CENTRE.
- ALL SILICON ON EXPOSED GUTTERS OR RAINWATER GOODS TO BE PAINTABLE GRADE SILICON.
- PROVIDE OVERFLOW POPS OF SUFFICIENT SIZE AND NUMBER TO PREVENT GUTTERS FROM OVERFLOW IN THE EVENT OF A BLOCKAGE.

FLASHINGS, CAPPINGS AND FOOTMOULDS

- ALL FLASHINGS, CAPPINGS AND FOOTMOULDS TO BE INSTALLED WITH THE ROOF AND WALL CALDDING. ENSURE SUFFICIENT COVER TO ALL SURFACES TO PREVENT THE INGRESS OF WATER, DUST OR VERMIN.
- VISIBLE FLASHINGS, CAPPINGS OR FOOTMOULDS TO BE FABRICATED IN MATERIAL MATCHES ADJACENT CLADDING, FLASHINGS ETC. TO BE INSTALLED IN CONTINUOUS LONG LENGTHS. ALL JOINTS TO BE LAPPED AND EFFECTED NEATLY.
- NON-VISIBLE FLASHINGS ETC. ARE TO BE FABRICATED FROM ZINCALUME SHEETING, SUPPLIED IN CONTINUOUS LONG LENGTHS AND INSTALLED NEATLY.
- PROVIDE COLORBOND FOOTMOULDS TO THE BASE OF ALL WALL CLADDING FIXED TO TOP OF PRE-CAST WALL PANELS/EDGE OF FLOOR SLAB. INSTALL FOOTMOULD TRUE AND STRAIGHT, ENSURE FOOTMOULD IS NOT TWISTED DURING INSTALLATION.

ROOF PENETRATIONS

- CUT ROOF PENETRATIONS AND INSTALL UNDER-FLASHINGS WHERE DIRECTED OR AS SHOWN ON ARCHITECTURAL AND MECHANICAL DRAWINGS. ENSURE UNDERFLASHING HAS SUFFICIENT UPTURN TO ALLOW OVERFLASHINGS TO BE SECURELY FIXED IN FINAL POSITION.
- USE A SUFFICIENCY OF SILICON SEALANT TO ENSURE UNDER-FLASHING PROVIDES A WATERPROOF SEAL.

GENERAL ROOFING NOTES

- ROOF DRAINAGE AS PER AS3500.3
- ALL DOWNPIPE SIZED AS PER CIVIL DRAWINGS.
- ALL OVERFLOWS TO BE 150mm DIAM. UNLESS NOTED OTHERWISE.
- INTERNAL DOWNPIPES TO BE UPVC AND EXTERNAL DOWNPIPES TO BE COLORBOND UNLESS NOTED OTHERWISE.
- BOX GUTTER EXPANSION JOINTS PROPRIETORY SYSTEM POLYURETHANE RUBBER WITH ZINCALUME COVER PLATES.
- REFER TO CIVIL DRAWINGS FOR STORM WATER DRAINAGE DESIGN.

CARPENTRY

FLOOR AND WALL FINISHES.

- FLOOR, WALL AND CEILING LININGS TO COMPLY WITH CRITICAL RADIANT FLUX AND MATERIAL GROUPING REQUIREMENTS RATHER THAN SPREAD OF FLAME AND SMOKE DEVELOPMENT INDECES IN ACCORDANCE WITH THE NCC.
- CERAMIC SKIRTING TILE TO UNISEX ACCESSIBLE TOILET FACILITY AND KITCHEN AREA.
- WET AREAS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS3740-2004.

SKIRTINGS

- 100mm PREFINISHED MASONITE SKIRTING TO INTERNAL AREAS OF TENANCY.
- CERAMIC SKIRTING AMENITIES INC. CLEANERS/STORE ROOM (NO COVE TILE).
- VINYL SKIRTING TO AREAS WHERE VINYL FLOORING HAS BEEN LAID UNLESS NOTED OTHERWISE.

DOORS

- ALL DOOORS ARE TO HAVE A MIN. DOOR LEAF OF 920mm WITH MINIMUM CLEAR OPENING OF 850mm. ENTRY DOUBLE DOORS MUST EACH BE 920mm LEAFS.
- PROVIDE LIFT OFF HINGES TO ALL WC DOORS WHERE DISTANCE BETWEEN PAN & DOOR IS LESS THAN 1.2m IN ACCORDANCE WITH NCC.
- DOOR TO AMENITIES TO UNDERCUT BY 40mm OR PROVIDE DOOR GRILLES FOR VENTILATION.
- PROVIDE SELF CLOSERS TO AIRLOCK DOORS OF AMENITIES AND ANY FIRE RATED DOOR. DO NOT PROVIDE SELF CLOSERS TO DISABLED WC.
- ALL EXIT DOORS TO BE OPENABLE FROM INSIDE. WITHOUT THE USE OF A KEY BY A SINGLE HANDED DOWNWARD MOTION. LATCHING DEVICE WO BE LOCATED BETWEEN 900-1100mm FROM FFL.
- ENSURE MINIMUM 100mm HINGE SIDE CLEARANCE IS PROVIDED EXTERNALLY TO THE ENTRY DOOR.
- PROVIDE SITE MEASURE PRIOR TO MANUFACTURE OF ALL GLAZING/WINDOW FRAMES.
- REFER TO DOOR SCHEDULE FOR ALL DOOR AND FRAME SIZES, DIMENSIONS, MATERIALS AND FINISHES.
- REFER TO SPECIFICATION FROM DOOR HARDWARE SPECIALIST FOR SPECIFICATION OF DOOR HANDLES, HINGES, CLOSERS, STOPPERS AND LOCKS.
- AUTOMATIC SLIDING DOORS TO OPEN IN THE EVENT OF A POWER FAILURE OR UPON ACTIVATION OF ANY SMOKE ALARM WITHIN THE BUILDING.
- EXIT DOORS SHOULD BE OPERABLE BY A SINGLE HANDED DOWNWARD ACTION WITHOUT THE USE OF A KEY AT ALL TIMES.
- PROVIDE DOOR STOPS TO ALL SWNG DOORS. PROVIDE LEVER FURNITURE WITH KEY LOCKING WHERE SPECIFIED. PROVIDE ESCAPE LEVERS INTERNALLY AND KEY IN HANDLE EXTERNALLY WITH GUARD PLATE TO DOORS SPECIFIED.

MECHANICAL

AMENITIES

- PROVIDE MECHANICAL VENTILATION IN ACCORDANCE TO AS1668.2 AND PART J OF THE NCC, VIA CEILING MOUNTED FAN MINIMUM 25LS PER CUBICAL DUCTED TO EXTERNAL AIR THROUGH ROOF.

PLANT PLATFORMS

- CONTRACTORS IS TO PROVIDE TIMBER/GALVANISED MILD STEEL ROOF MOUNTED PLANT PLATFORMS TO ROOF MOUNTED UNITS, UNLESS NOTED OTHERWISE.

ROOF FLASHINGS AND PENETRATIONS

- THE CONTRACTOR SHALL MAKE ALL ROOF PENETRATIONS FOR DUCTWORK, REFRIDGERANT LINES, WATER SUPPLY LINES OF ANY OTHER SERVICES OR REQUIREMENTS COMPLETE WITH ALL UNDERFLASHINGS AND OVERFLASHINGS TO PROVIDE A COMPLETE WATERPROOF SEAL TO PENETRATIONS, AS SHOWN ON ARCHITECTURAL AND MECHANICAL PLANS.

MAINTENANCE AND WARRANTY

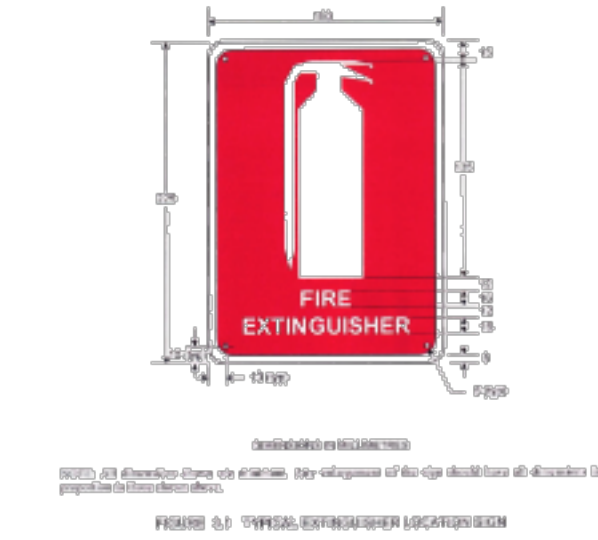
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE TO ALL AIR CONDITIONING, HEATING AND MECHANICAL VENTILATION FOR A PERIOD OF 12 MONTHS AFTER PRACTICAL COMPLETION.
- THE CONTRACTOR SHALL PREPARE A FURTHER MAINTENANCE AGREEMENT FOR USE BY THE CLIENT AND SUBMIT TO THE PROJECT MANAGER UPON COMPLETION.
- THE CONTRACTOR SHALL NAME THE CLIENT AS THE INTERESTED PARTY IN THE WARRANTY.

NCC COMPLIANCE

- ALL EXHAUSTS ARE TO COMPLY WITH F4.12 OF THE NCC. REFER TO MECHANICAL DRAWINGS FOR FURTHER DETAILS.
- THE CONTRACTOR SHALL, UPON COMPLETION OF ALL WORKS PROVIDE A WRITTEN CERTIFICATION THAT ALL WORKS CONFORMS TO THE AUSTRALIAN STANDARD AND RELEVANT SECTIONS OF THE NCC. SUBMIT THIS CERTIFICATION TO THE PROJECT MANAJER WITHIN 5 WORKING DAYS OF COMPLETION OF WORK OR EARLIER IF REQUESTED.

Fire Resistance

- Electrical switchboard must be fire separated by construction having a fire resistance level of 120/120/120 and any doorway must be a -/120/30 self closing fire door.
- Self-closing -/60/30 fire doors with medium temperature smoke seals to be installed to all doors.
- All Fire extinguishers to be paired with appropriate signage (Below) to Comply with as2444.

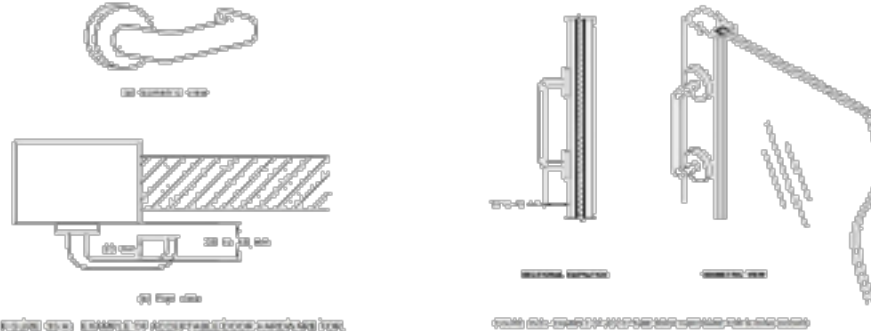


- All Exit Doors to be paired with appropriate signage (Below) in 20mm high capial letters.



Access & Egress

- All door handles to be installed door handles to be installed at 900mm to 1.1m above the finished floor level and be readily operable from the side a person is seeking egress. The door handle must be the type which the grip will not slip form the handle and a clearance from the back of the handle to the door face of not less than 35mm and not more than 45mm;
- All doors to have a maximum operable force of 20N required by as 1428.1.
- Door handles to comply with featured drawings (Below)



Access for People With a Disability

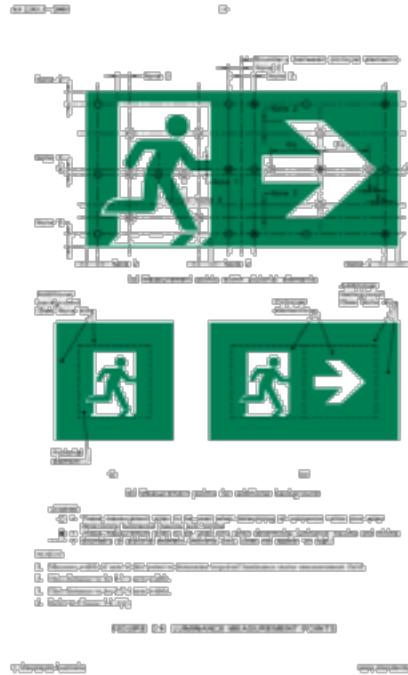
- Signage (Below) to be provided throughout the building compliant with as1428.1 and be located 1250mm to 1350mm above the FFL.
- Braille signage to be provided identifying the main entry door with exit sign by stating "Exit" as per BCA Clause/Spec D3.6 and AS1428.1-2009 and be located 1250mm to 1350mm above the FFL.



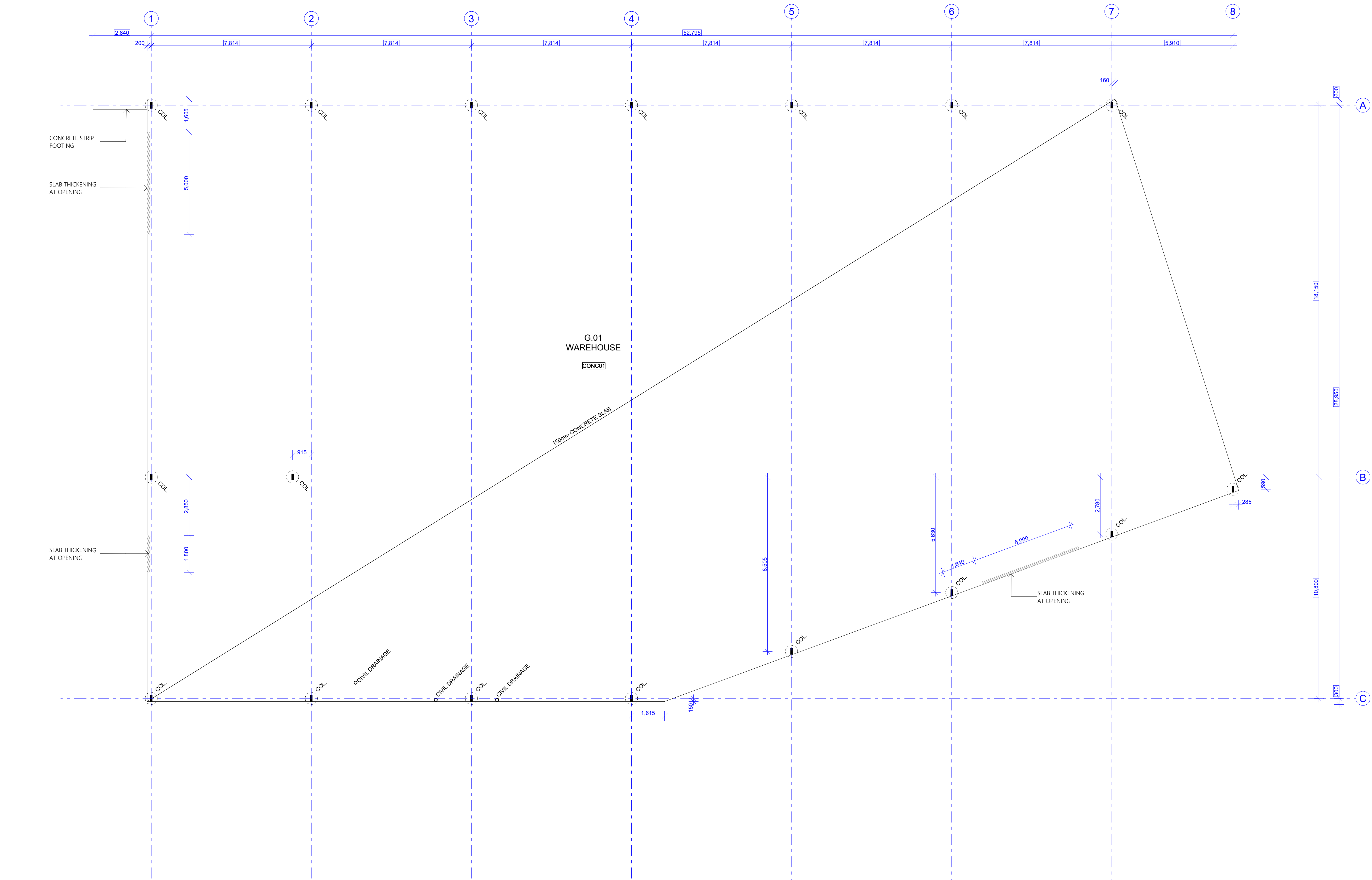
- All doors to have a minimum luminance contrast of 30%.
- All internal and external doors will have 850mm min clear opening.
- All doorways to be provided with compliant circulation spaces and latch side clearances: as per AS1428.1-2009.
- Switches (lights) to be located between 900mm and 1100mm above the ffl and not be located less than 500mm from an internal corner.
- Ambulant sanitary facility lighting to be activated via a light sensor.
- Ambulant sanitary facility to be compliant and constructed from drawings from AS1428.1

Services & Equipment

- Building to be fit with emergency lighting and photoluminescent exit signage to be provided throughout the basement and common areas of the building to as2293.1
- Exit Signage to be compliant to drawing. (Below)



DRAWING STAMP	
TENDER	
DATE	REASON FOR REUSE
NO	REASON FOR TENDER
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GENERAL NOTES	
DRAWN VJ SCALE @A1 REVISION TD01	PROJECT NO. 2424 DATE/ISSUED JAN 2024 DRAWN 101



1. CONCRETE SETOUT PLAN
1:100

DRAWING STAMP	
TENDER	
DATE	REASON FOR ISSUE
10/1/2024	ISSUED FOR TENDER

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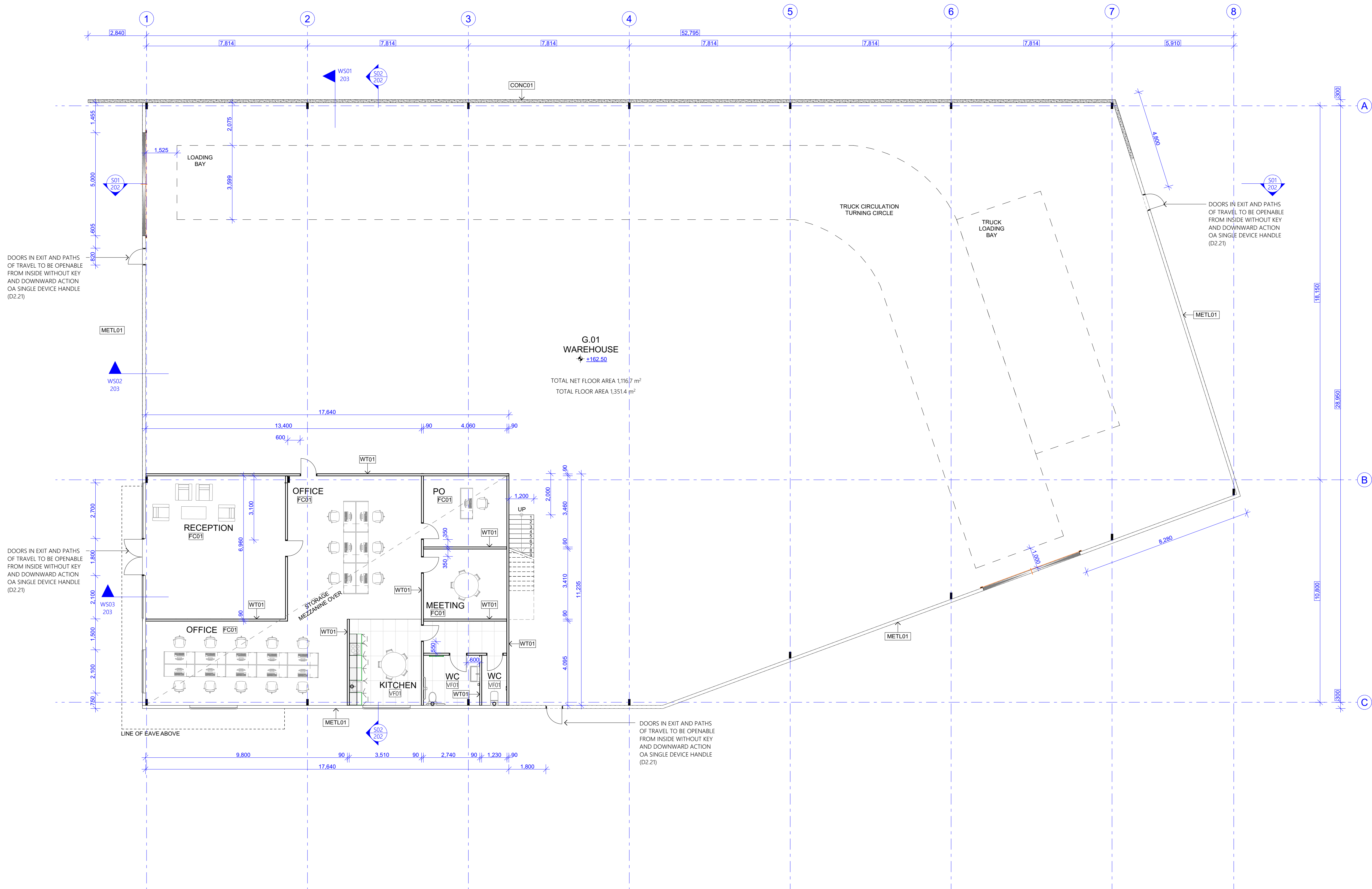
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PROJECT
NEW WAREHOUSE
20 PLATINUM COURT THURGOONA
NSW 2640

CONCRETE SETOUT PLAN

DRAWN	PROJECT NO.
VJ	2424
1:100@A1	DATE
TD01	JAN 2024
	104



1 PR GROUND PLAN
1:100

DRAWING STAMP

TENDER

NO.	DATE	REASON FOR ISSUE
001	08/08/2023	ISSUED FOR TENDER

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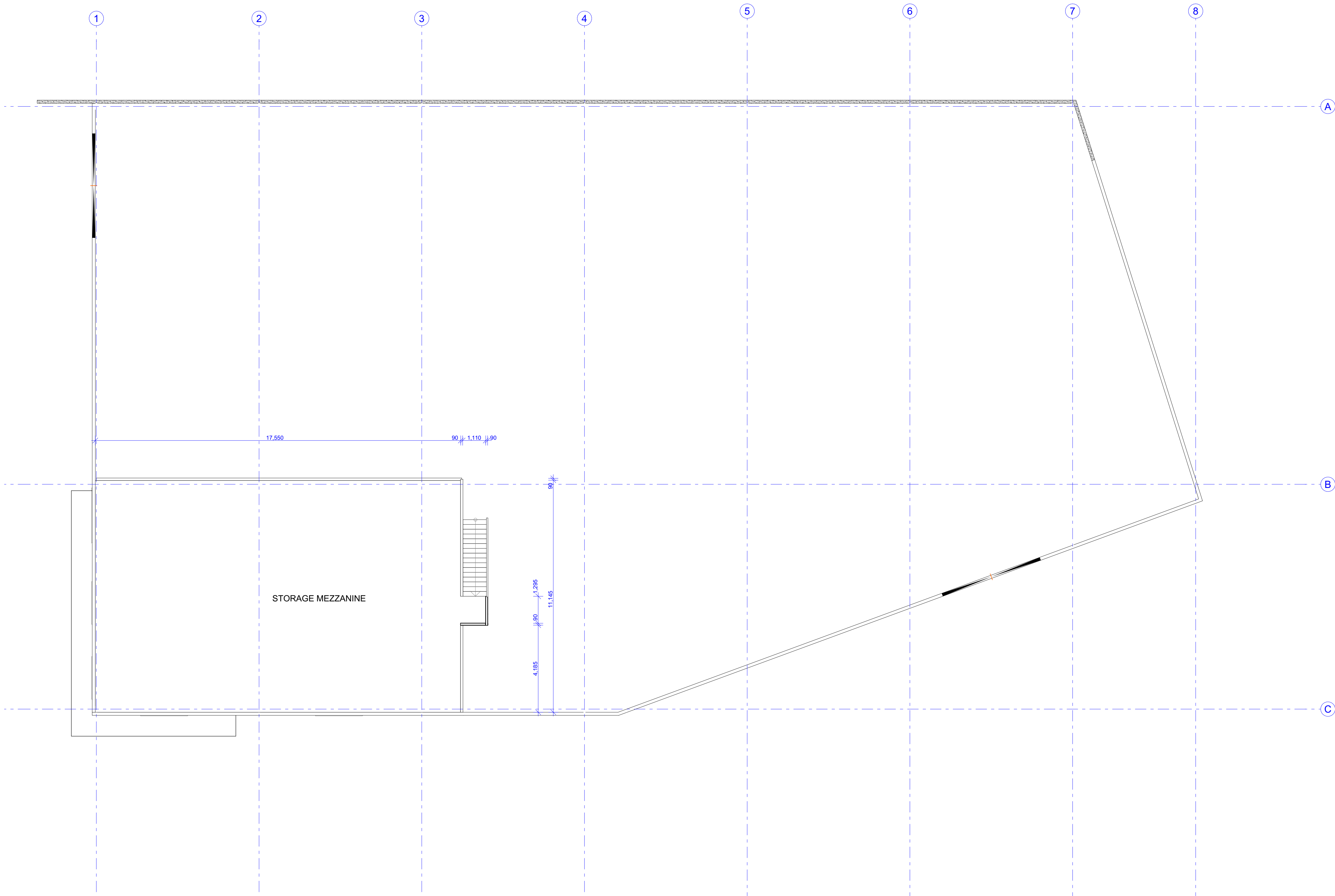
PROJECT

NEW WAREHOUSE
20 PLATINUM COURT THURGOONA
NSW 2640

GROUND PLAN

DRAWN
VJ
1:100@A1
TD01

PROJECT NO.
2424
DATE
JAN 2024
PAGE NO.
105



MEZZANINE LEVEL
1:100

DRAWING STAMP

TENDER

ITEM	DATE	REASON FOR ISSUE
101	2024/01/10	ISSUED FOR TENDER

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MEZZANINE PLAN

DRAWN
VJ

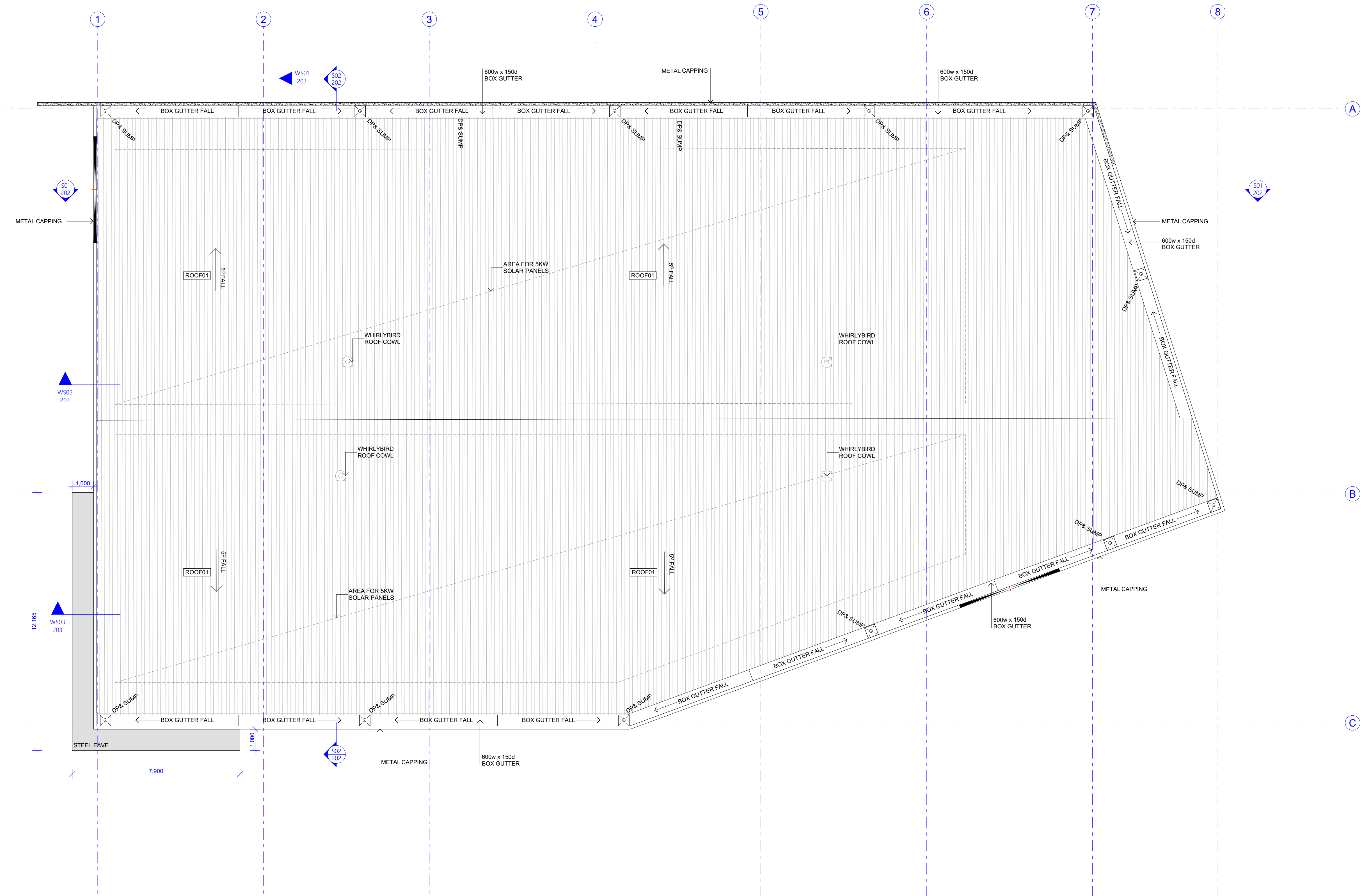
PROJECT NO.
2424

SCALE
1:100@A1

REVISIONS
TD01

DATE ISSUED
JAN 2024

DRAWN
106



1 PR ROOF PLAN
1:100

DRAWING STAMP
TENDER

DATE	REASON FOR ISSUE
10/1/2024	ISSUED FOR TENDER

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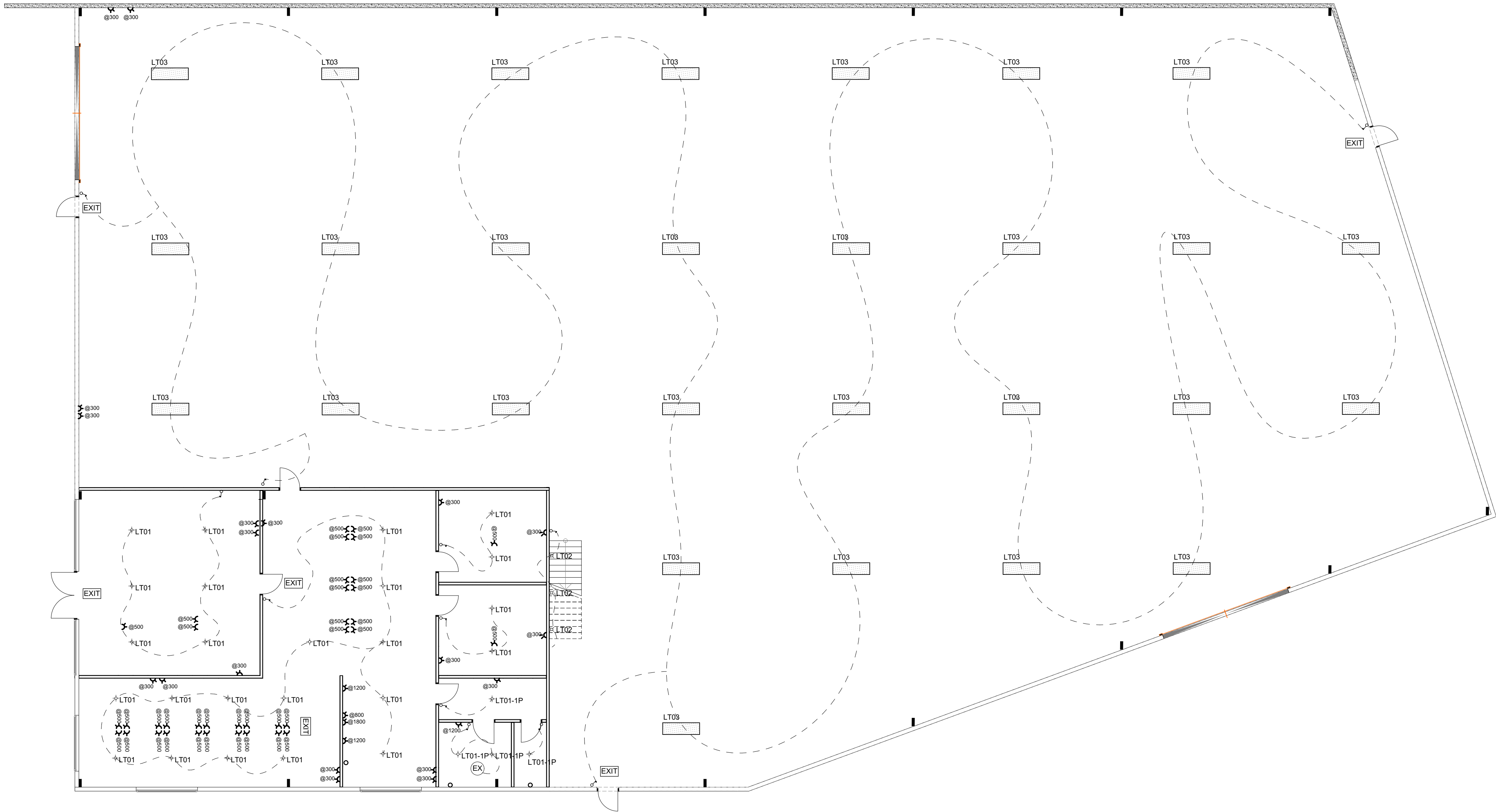
PROJECT
NEW WAREHOUSE
20 PLATINUM COURT THURGOONA
NSW 2640

DATE: 10/1/24
ROOF PLAN

DRAWN	PROJECT NO.
VJ	2424

SCALE	DATE
1:100@A1	JAN 2024

REVISION	DATE
TD01	107



1 PR RCP & ELECTRICAL
1:100

RCP & ELECTRICAL LEGEND

BH XXXX	BULKHEAD HEIGHT
CH XXXX	CEILING HEIGHT
XXXX AFFL	NOMINATED HEIGHT ABOVE FINISHED FLOOR LEVEL
PC01	PLASTERBOARD CEILING
PC02	MOISTURE RESISTANT PLASTERBOARD CEILING
CONC01	EXPOSED CONCRETE CEILING
EAVE01	VILLABOARD
PLMT01	RECESSED INTERNAL BLIND PELMET

	LED RECESSED MOUNTED DOWNLIGHT
	LED RECESSED MOUNTED DOWNLIGHT - IP45 RATED
	LED SURFACE MOUNTED DOWNLIGHT
	SELECT INTERNAL WALL LIGHT TYPE 01
	SELECT INTERNAL WALL LIGHT TYPE 02
	SELECT EXTERNAL WALL LIGHT
	EXTERNAL GARDEN LIGHT
	FEATURE PENDANT LIGHT TYPE 01
	FEATURE PENDANT LIGHT TYPE 02

	FLUSH CEILING ACCESS PANEL
	FLUSH MOUNTED CEILING EXHAUST GRILL
	DOMESTIC SMOKE DETECTOR
	THERMOSTAT
	FOXTEL
	DATA / INTERNET POINT
	WIRELESS INTERNET POINT
	MASTER TELEVISION AERIAL

	PASSIVE INFRA RED SENSOR
	LIGHT SWITCH
	LIGHT SWITCH WITH DIMMER
	10AMP SINGLE GPO
	10AMP DOUBLE GPO
	10AMP DOUBLE GPO + INTEGRATED USB
	10AMP WEATHERSHIELD DOUBLE GPO
	MOTION SENSOR

SERVICES LEGEND

	HOT WATER SERVICE
	METER PANEL
	PHOTOVOLTAIC SOLAR PANELS
	RANGEHOOD TYPE 01
	HYDRONIC BOILER/HEAT PUMP
	SECURITY ACCESS PANEL
	SWITCHBOARD
	GAS METER
	ELECTRICAL METER
	WATER METER

SPECIALIST RCP & ELECTRICAL LEGEND

	FLOORBOX 01
	FLOORBOX 02
	15W/MTR DIMMABLE WARM WHITE LED STRIP
	LED STRIP ILLUMINATED GARMENT RAIL ON REED STRIP TO ROBE/WIR
	LED PANEL LIGHT
	10W/MTR IP65 FLEXIBLE LED STRIP WITH ALUMINIUM PROFILE

MECHANICAL LEGEND

GR01	LINEAR BAR GRILLE
LSD01	LINEAR SLOT DIFFUSER (CEILING MOUNTED)
RA	RETURN AIR
FCU	FAN COIL UNIT CONCEALED IN CEILING CAVITY/BULKHEAD
FCC	FAN COIL CONDENSER UNIT
MNF01	HYDRONIC MANIFOLD
HP01	HYDRONIC HEATING PANEL
WV01	WALL VENT FOR EXHUAUST FAN

DRAWING STAMP
TENDER

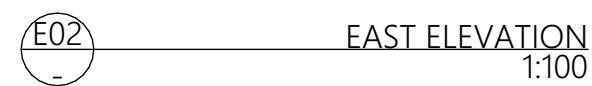
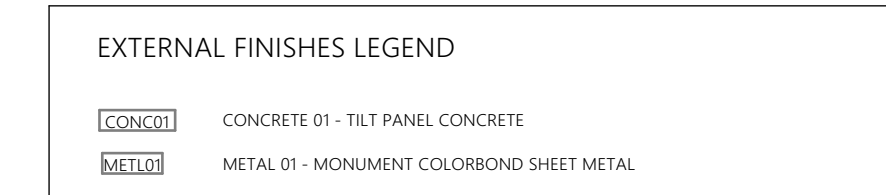
DATE	REASON FOR ISSUE
2024-01-24	ISSUED FOR TENDER

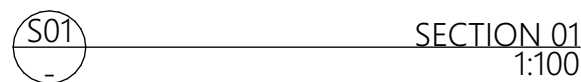
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RE: ROYALTY PDE RICHMOND VICTORIA 3121 AUSTRALIA
ARCH: 2024-01-24
DRAWN: 2024-01-24
CHECKED: 2024-01-24
PROJECT: 20 PLATINUM COURT THURGOONA NSW 2640
REFLECTED CEILING PLAN

DRAWN: VJ
SCALE: 1:100@A1
PROJECT NO: 2424
DATE: JAN 2024
DRAWN: TD01
108





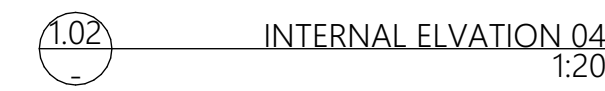
NOTE: IN WET AREAS, 13MM GY
AQUACHEK PLASTERBOARD
IS TO BE USED & TO BE FINISHED
WALL TILES (IF SPECIFIED)

NOTE: IN MET AREAS, TANK TO F

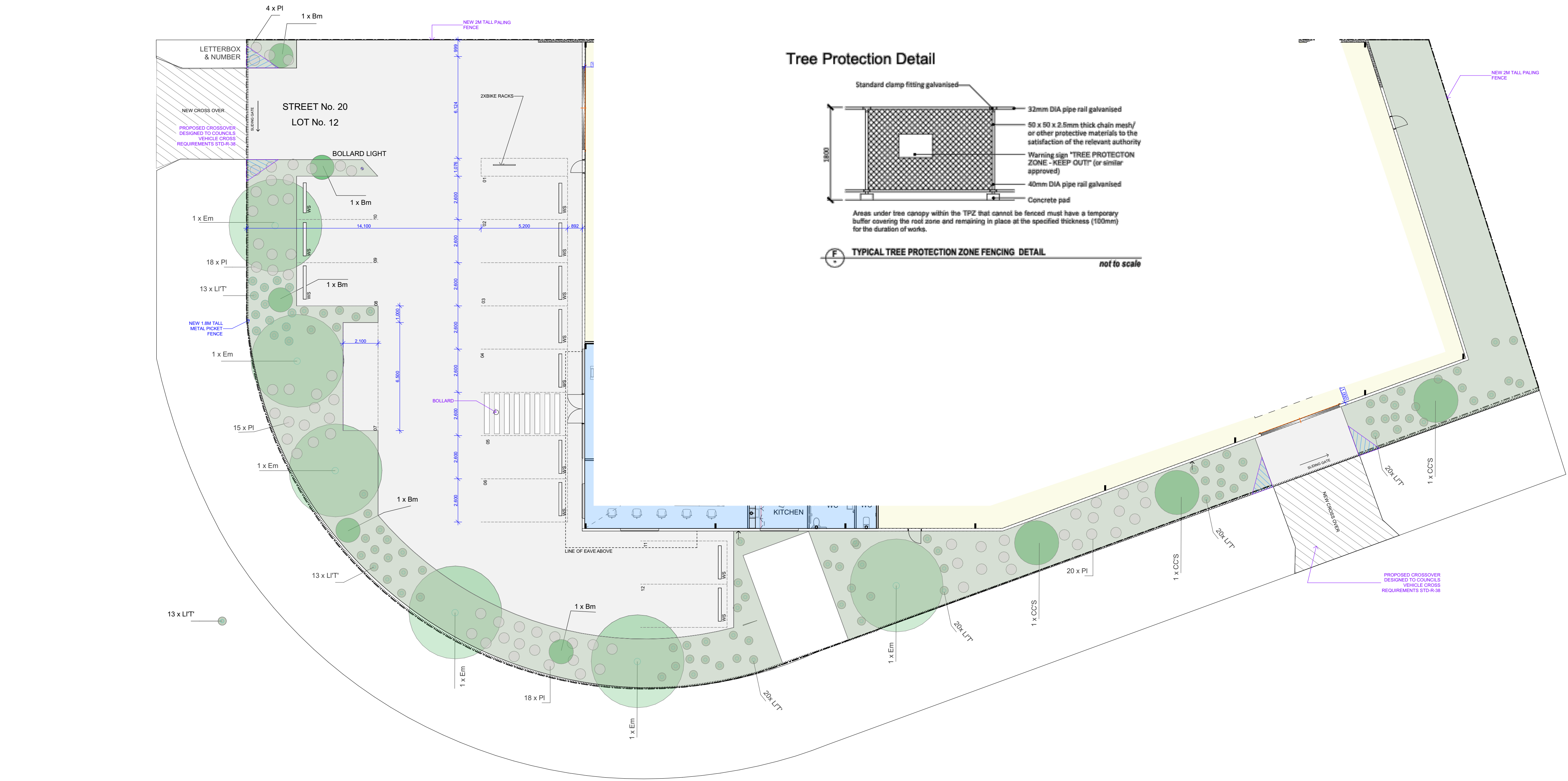


INTERIORS





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Preparation, Planting and Establishment Notes

- All underground services to be verified by Contractor prior to commencement of work.
- All setout and levels must be checked and approved on site by the superintendent prior to construction.
- Any discrepancies must be reported immediately to the superintendent or landscape architect.
- Figured dimensions have preference over scaled dimensions. Drawings are to be read in conjunction with applicable project specifications and engineering documents.
- All construction to be in accordance with all relevant Australian Standards, including all revisions, council requirements and industry standards for methods and quality of construction.
- Weeds are to be removed from site prior to construction. Herbicide to be used sparingly. If required, use a non-residual glyphosate herbicide in any registered formulae, at the recommended maximum rate.
- Site to be graded towards garden beds, lawn or gravel areas. Adjust grading accordingly to accommodate localised collection of ground water.
- Soil pH is to be tested and should be slightly acidic to neutral (pH - 5.5 to 7.0). If outside of this range contact local nursery to obtain advice on improving the pH level and individual plant tolerance of specific site pH level.
- Clay soils should be checked for responsiveness to gypsum which can allow plant roots to penetrate the soil. If required, add gypsum according to manufacturer's specifications.
- Cultivation of existing soil to be minimal. Improve existing soil with organic material such as well rotted manures, soil improvers or compost prepared to AS4454-2003. Top dress existing soil with organic material and cover with mulch. If importing of topsoil is required, then soil must comply with AS 4419-2003.
- Confirm plant quantities in Planting Schedule. Any discrepancies between Planting Schedule and plan are to be reported to the Landscape Architect before proceeding. Plants are to have well developed root system and be free of pest and disease.
- Unless otherwise indicated, 12mm uncoloured Pine Bark mulch (or approved equivalent) is to be applied to all garden beds at a depth of 75mm.
- Fertilise plants according to individual species requirements. Apply Seasoil upon initial planting to target roots and promote healthy, balanced growth. Apply liquid Phostogen every three months.
- Timber products to be treated pine, recycled or plantation grown. Jarrah, Red Gum or Native (White) Cypress Pine (Callitris columellaris) should not be used unless proven to be a recycled product.
- Each planted tree is to be staked for 1 to 2 years, as per planting detail, with 38x38x1800 hard wood stakes. Fasten with 50mm fabric ties.
- All shrubs are to be evenly spaced and located as per drawings.
- Unless otherwise indicated, install timber or black metal edging, as per detail, to all garden bed, lawn and gravel path borders.
- Install a drip watering system to all garden beds and connect to rainwater tank or mains connection. Contractor or plumber to confirm location of connection and layout of irrigation system on site.
- Re-grade proposed lawn areas to provide smooth contours. Rake to remove soil clods and rubble.
- Seeded lawn to be non-invasive grass species such as: Queensland Blue-Grass (Dicanthemum sericeum), Red-leg Grass (Bothriochloa macra) or Weeping Grass (Microlaena stipoides)
- Instant turf is to be obtained from a specialist grower of cultivated turf. Provide turf of even thickness, free from weeds and other foreign matter. Install as per growers specifications.
- Follow-up maintenance should be undertaken every 4-6 weeks for 2 years following establishment. Eradicate any pest animals or insects. Water plants according to individual species' moisture needs, seasonal conditions and as advised by Local Water Authority. Monitor and prune plants and trees to as required, according to AS 4373 (Pruning of Amenity Trees). Replenish mulch annually in Spring.

Tree Protection Notes

Prior to commencement of any building or demolition works on the land, the Tree Protection Zone (TPZ) of existing trees to be retained must be established on or adjacent to the subject site. TPZs are calculated according to AS 4970-2009 (Protection of Trees on Development Sites) and are equal to 12 x the diameter of the tree trunk at 1.4m from the ground. Encroachment within or variations to the TPZ are possible but must be in accordance with AS 4970-2009. TPZs and Tree Protection Fencing is to be maintained during, and until completion of, all buildings and works including landscaping, to the satisfaction of the Responsible Authority.

Tree Protection Zone measures to be established in accordance with Australian Standard 4970-2009 and are to include the following:

- Erection of solid chain mesh fencing, or a similar type of fencing, at a minimum height of 1.8m, supported on and held in place by concrete pads. Alternatively, star pickets (1.5m spacing) and parawebbing may be used to define the Tree Protection area. Fencing to be in accordance with Australian Standards for Temporary Fencing AS 4687.
- Signs are to be placed around the perimeter of the fencing, identifying the area as a TPZ. The signs are to be visible from within the development site, and the lettering and wording are to comply with Australian Standard 1319.
- Mulch is to be placed over the entire soil surface within the TPZ, to a depth of 100mm and supplementary watering is to be provided during dry weather.
- No excavations, construction works, activities, grade changes, surface treatments or storage of materials of any kind are permitted within a TPZ unless otherwise approved by this permit or further approved in writing by the Responsible Authority.
- All supports and bracing are to be outside TPZ and any excavation for supports or bracing is to avoid damaging the tree roots.
- No trenching is allowed within the TPZ for installation of utility services, unless the Responsible Authority has approved tree sensitive installation methods, such as horizontal soil boring.
- No storage or dumping of tools, equipment or waste is to occur within the tree protection zone.

Where construction is approved within TPZ, fencing and mulch are to be placed up to, and along the line of, the approved proposal. Fencing may only be repositioned by an authorized person, and only during approved construction within the TPZ, and must be restored in accordance with the above requirements at all other times.

LANDSCAPE PLAN
1:150

Plant Schedule

CODE	BOTANIC NAME	COMMON NAME	SIZE (MATURITY)	RECOMMEND POT SIZE	QUANTITY
TREES					
Bm	<i>Banksia marginata</i>	Silver Banksia	2-12 x 2-6	150mm	5
Ce'S	<i>Corymbia citriodora</i> 'Scentous'	Dwarf Lemon Scented Gum	7 x 3	2m tall	3
Em	<i>Eucalyptus melliodora</i>	Yellow Box	10-15 x 8-10	2m tall	6
GRASSES					
LIT	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat Rush	0.5 x 0.5	150mm	106
PI	<i>Poa labillardierei</i>	Common Tussock-grass	1 x 1	150mm	75
GROUNDCOVERS					
Ca	<i>Chryscephalum apiculatum</i>	Everlasting Buttons	Prostrate	Tubestock	5

Plant Palette



Bm - Silver Banksia
(EVERGREEN)



Ce'S - Dwarf Lemon Scented Gum
(EVERGREEN)



Em - Yellow Gum
(EVERGREEN)



LIT - Lomandra Tanika
(EVERGREEN)

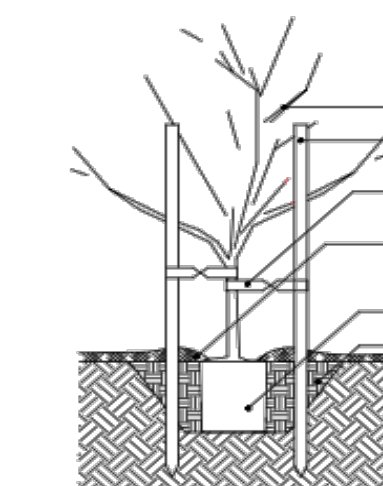


PI - Tussock Grass
(EVERGREEN)



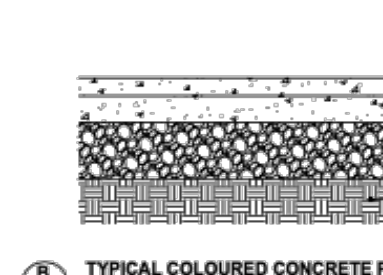
Ca - Everlasting Buttons

Landscape Details



TYPICAL TREE PLANTING DETAIL

not to scale



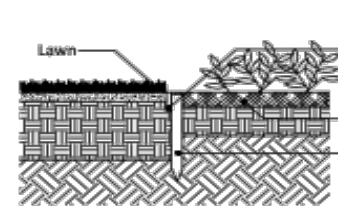
TYPICAL COLOURED CONCRETE PAVEMENT DETAIL

not to scale



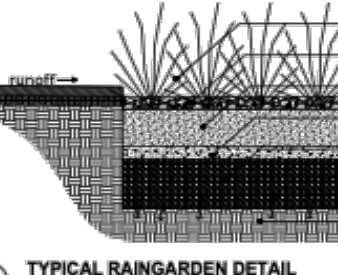
TYPICAL SHRUB PLANTING DETAIL

not to scale



TYPICAL EDGING DETAIL (between naturstrip and garden beds within site)

not to scale



TYPICAL RAINGARDEN DETAIL

not to scale

DRAWING STAMP

TENDER

DATE

REVISION FOR DESIGN

DATE

REVISION FOR TENDER

1

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PROJECT

NEW WAREHOUSE

20 PLATINUM COURT THURGOONA NSW 2640

LANDSCAPE PLAN

DRAWN

VJ

SCALE

1:150@A1

REVISION

TD01

PROJECT NO.

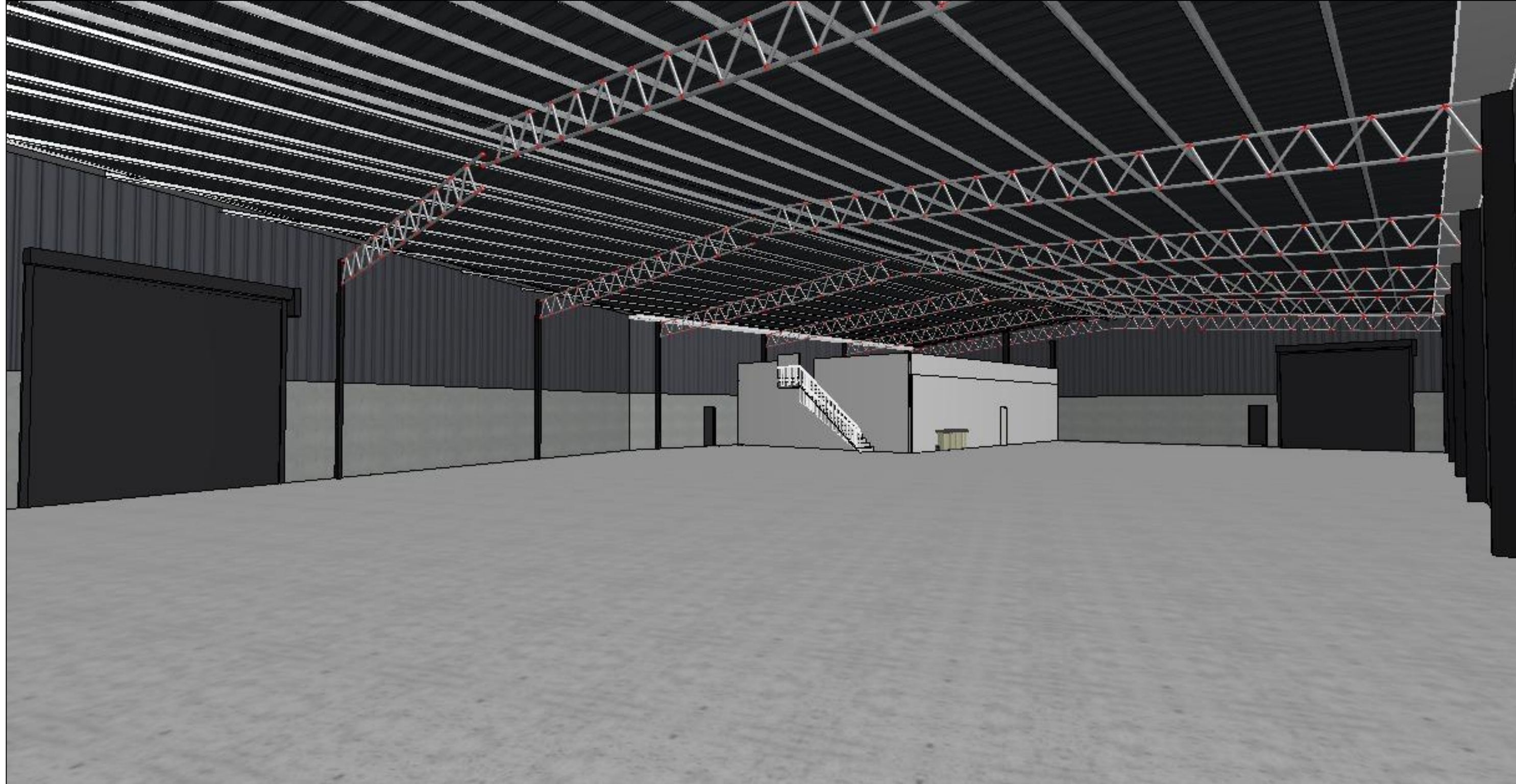
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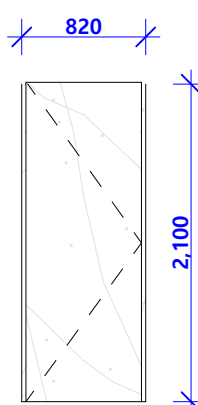
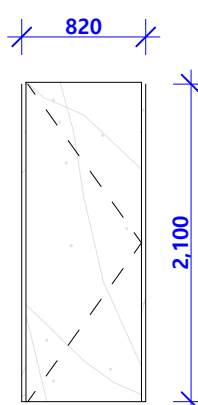
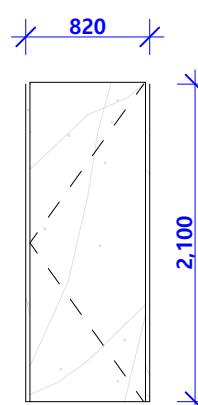
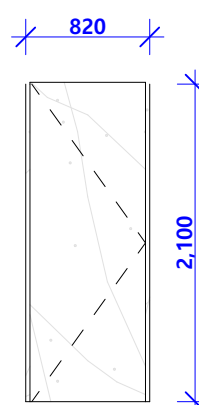
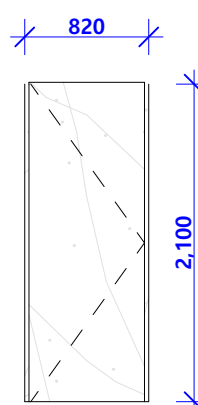
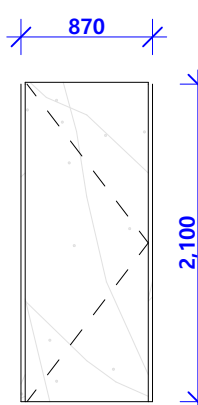
DATE

JAN 2024

DRAWN BY

501



DOOR SCHEDULE - LEVEL 00						
VIEW FROM INSIDE						
	DG.07	DG.08	DG.09	DG.10	DG.11	DG.12
	OFFICE/ WAREHOUSE	RECEPTION/ OFFICE	PO	MEETING	KITCHEN	WC
	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR
	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME
FRAME FINISH	FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	
ARCHITRAVES						
DOOR FURNITURE						
SEAL						
LOCK						

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