

FALLS CREEK

Primary School



Proposed Alterations & Additions - Artists impression only



Existing Conditions - Artists impression only

Drawing List

No.	Sheet Name	Rev.	Date	Issued To	Description
A000	COVER SHEET	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A100	SITE PLAN & IMPLEMENTATION PLAN	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A110	EXISTING & DEMO PLAN - GROUND FLOOR	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A111	EXISTING & DEMO PLAN - LEVEL 1	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A140	EXISTING & DEMO - ELEVATIONS	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A200	GROUND FLOOR PLAN	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A201	LEVEL 1 & ROOF PLANS	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A300	RCP - GROUND FLOOR	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A301	RCP - LEVEL 1	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A400	ELEVATIONS	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A500	SECTIONS & DETAILS	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A510	WALL, DOOR & WINDOW SCHEDULE	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A700	INTERNAL ELEVATIONS - GROUND FLOOR	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A701	INTERNAL ELEVATIONS - AMENITIES	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER
A702	INTERNAL ELEVATIONS - APARTMENT	T1	03.08.2022	TENDERERS	ISSUED FOR TENDER

CLIENT | VSBA

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project Falls Creek Primary School
Redesign
project address 15 Slalom St, Falls Creek VIC 3699

client Victorian Schools Building Authority (VSBA)

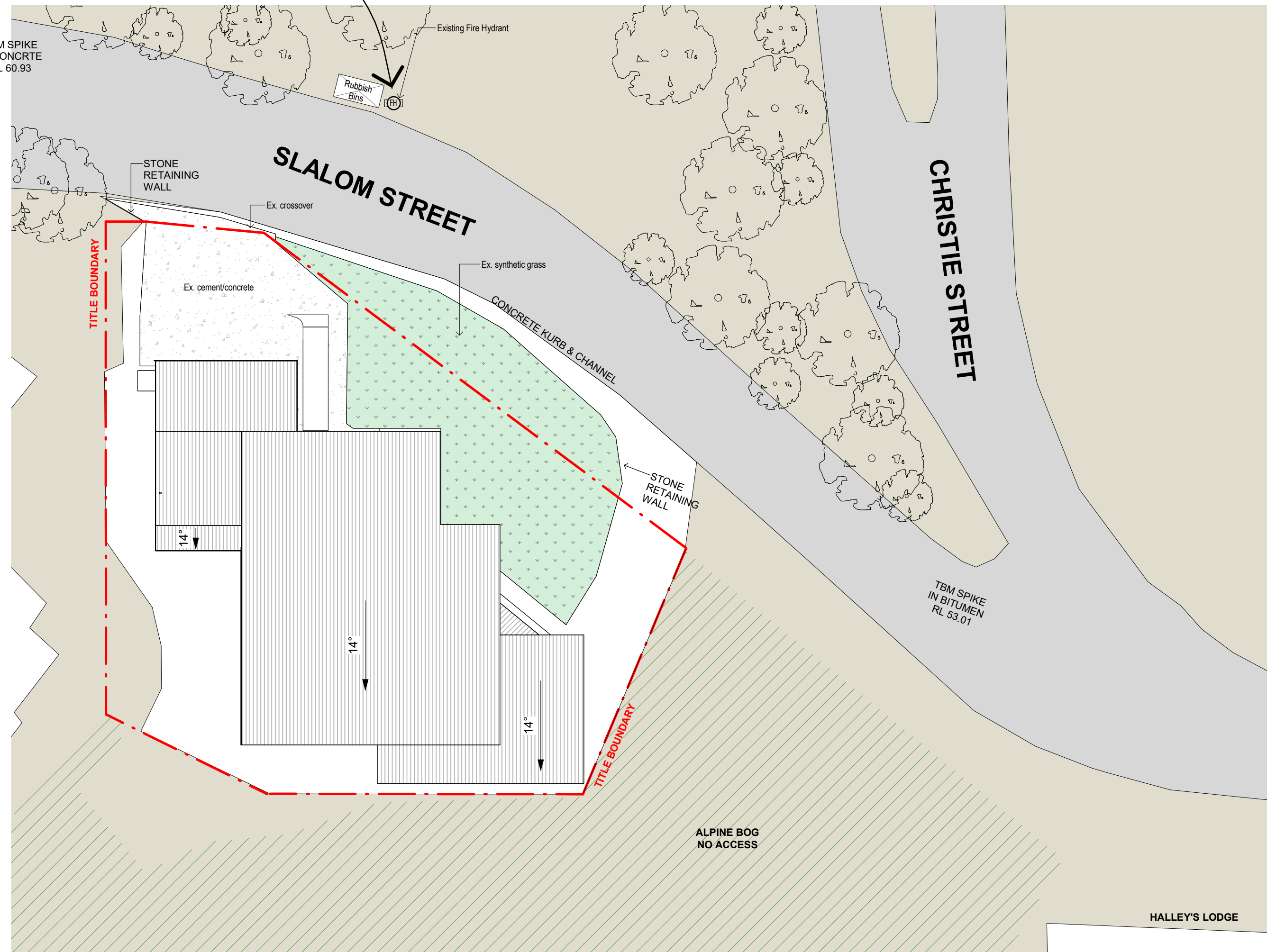
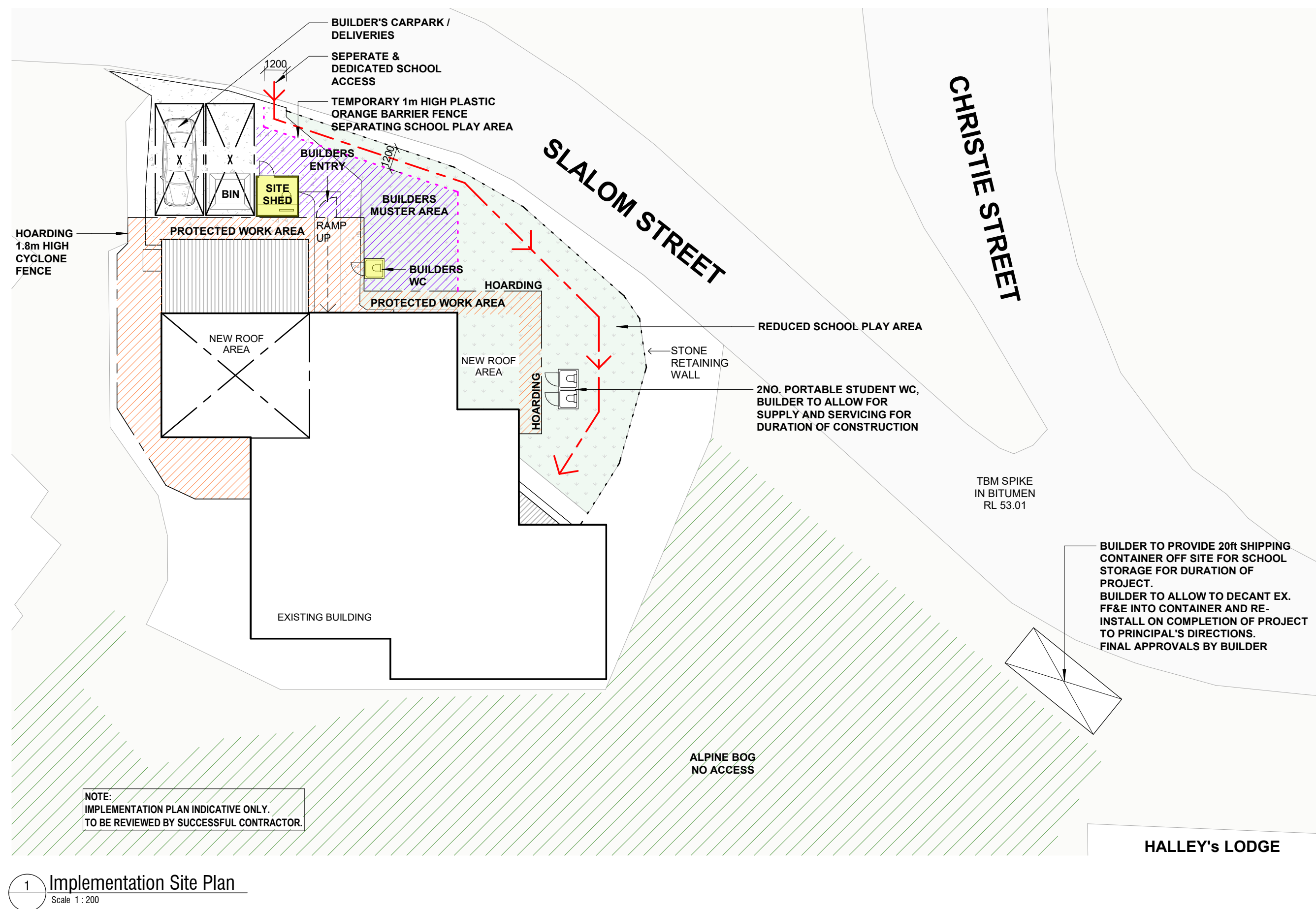
drawing COVER SHEET

drawing number A000 revision T1 drawn AF checked PM

scale 1 : 100 @A1 date 03.08.2022

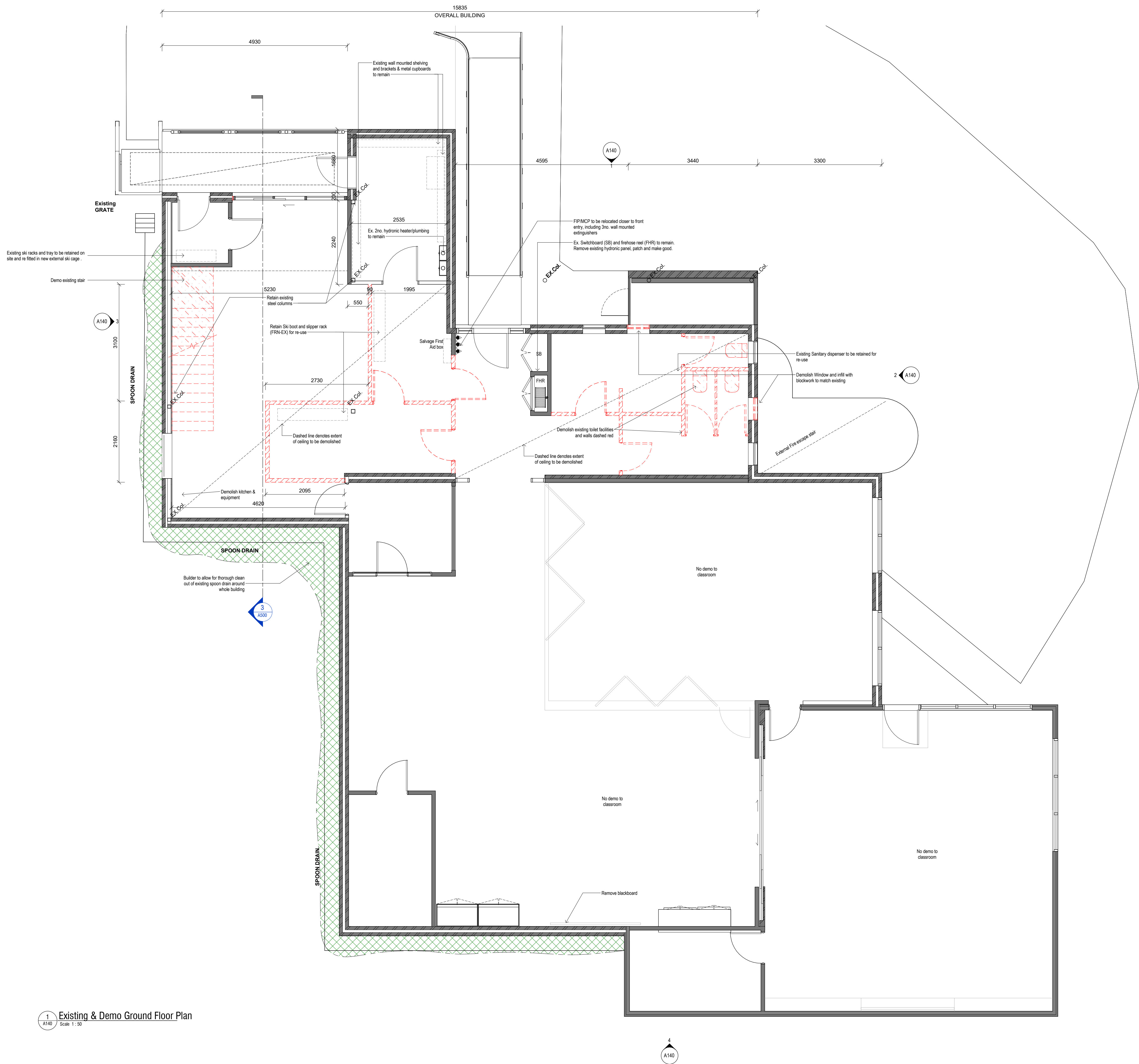
stage TENDER - NFC

Notes
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5. Do not scale the drawings.



Printed: 3/08/2022 4:57:10 PM

A1 841 x 594 File: \\mcd01\Users\JonnyMitchell\Documents\20220006_Falls_Creek_PS_CENTRAL_jmitchell2\W2WD.rvt



1 Existing & Demo Ground Floor Plan
A110 Scale 1:50

Rev.	Date	Description
T1	03.08.2022	ISSUED FOR TENDER

Legend - Demolition



GENERAL NOTES

- DEMOLISH AND DISPOSE OF LEGALLY ALL WORK AS SHOWN AND ALL OTHER ELEMENTS AND FEATURES AND REQUIRED IN ORDER FOR THE PROPOSED WORKS TO BE EXECUTED IN ACCORDANCE WITH THE REMAINDER OF THESE DRAWINGS.
- REFER TO ALL ENGINEERS DOCUMENTATION FOR DETAILS OF DEMOLITION OF EXISTING SERVICES AND COORDINATION OF ALL BUILDERS WORK AND STAGING IN RELATION TO ALL SERVICES AND STRUCTURE.
- ENSURE STRUCTURAL INTEGRITY TO SURROUNDING BUILDINGS DURING AND AFTER DEMOLITION WORKS.
- ENSURE ALL SERVICES TO EXISTING PREMISES ARE MAINTAINED UNTIL NEW SERVICES ARE INSTALLED. RETAIN EXISTING SECURITY CAMERAS AND EQUIPMENT TO BE RE-USED.
- EXISTING SERVICES TO BE DEMOLISHED OR CUT AND SEALED OFF AS REQUIRED. DIVERT SERVICES AFFECTED BY DEMOLITION IN ACCORDANCE WITH ENGINEERS DOCUMENTATION. REMAINING VERTICAL SERVICES TO BE RELOCATED TO NEAREST COLUMN OR WALL.
- REFER TO LAND SURVEY PLANS FOR EXISTING LEVELS AND SERVICES LOCATIONS.
- MAKING GOOD ALL WORKS AS REQUIRED FOLLOWING DEMOLITION IN PREPARATION FOR THE EXECUTION OF PROPOSED WORKS.
- REFER TO SOIL MANAGEMENT PLAN AND ARBORIST'S REPORT PRIOR TO UNDERTAKING ANY SITE WORKS.
- ALL DEMOLITION AND STAGING DRAWINGS TO BE PRINTED IN COLOUR. ALL EXISTING ITEMS, GRIDS & GRID DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO ANY WORKS. ANY DISCREPANCIES TO BE BROUGHT TO THE NOTICE OF PROJECT MANAGER, STRUCTURAL ENGINEER & THE ARCHITECTS.

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project address 15 Slalom St, Falls Creek VIC 3699

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drawing EXISTING & DEMO PLAN - GROUND FLOOR

drawing number A110 revision T1 drawn AF checked PM

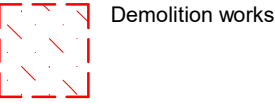
scale As indicated @A1 date 03.08.2022

stage TENDER - NFC north

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Legend - Demolition



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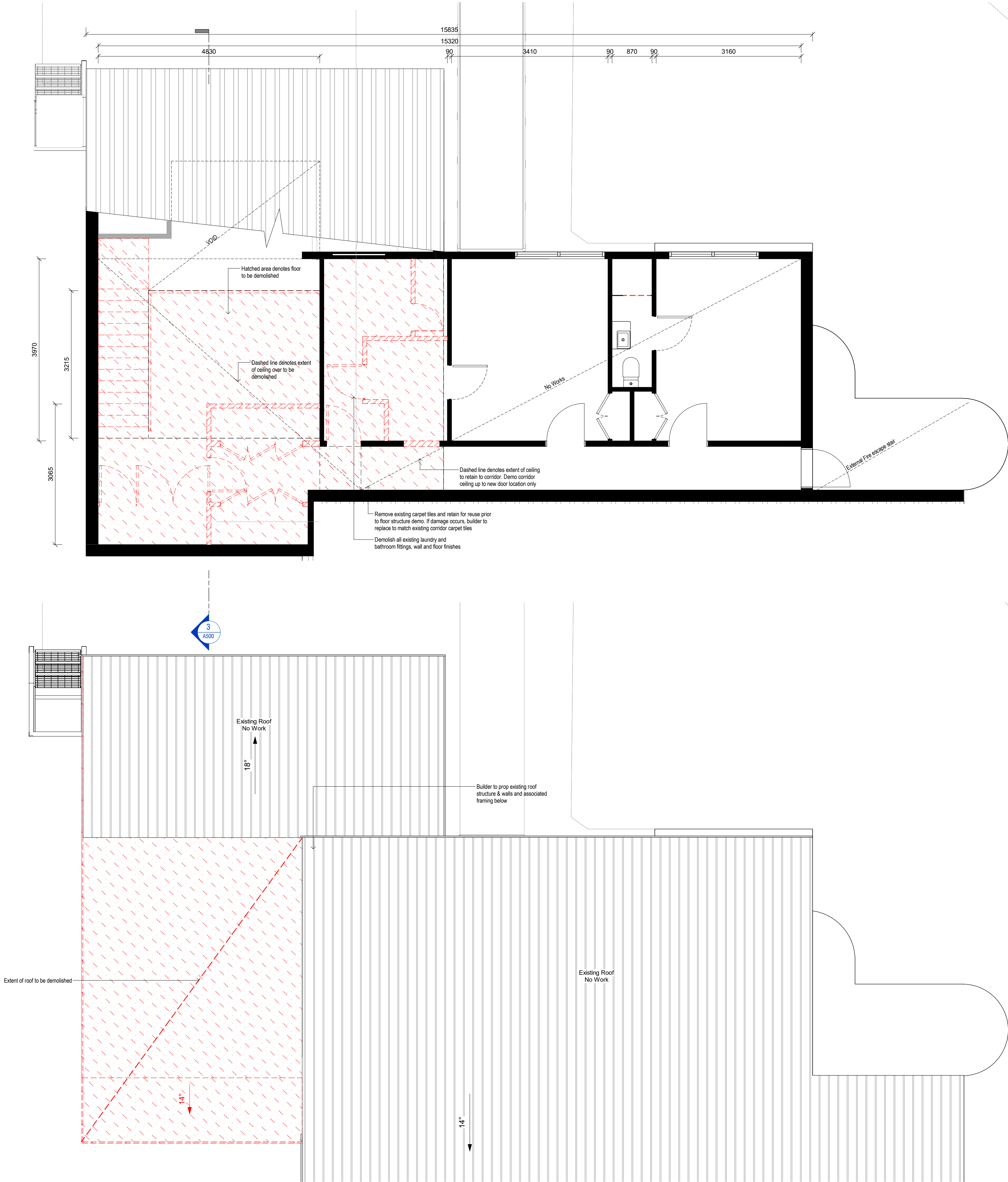
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drawing EXISTING & DEMO PLAN - LEVEL 1

drawing number A111 revision T1 drawn AF checked PM

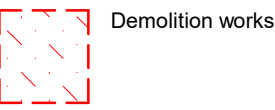
scale As indicated @A1 date 03.08.2022

stage TENDER - NFC north

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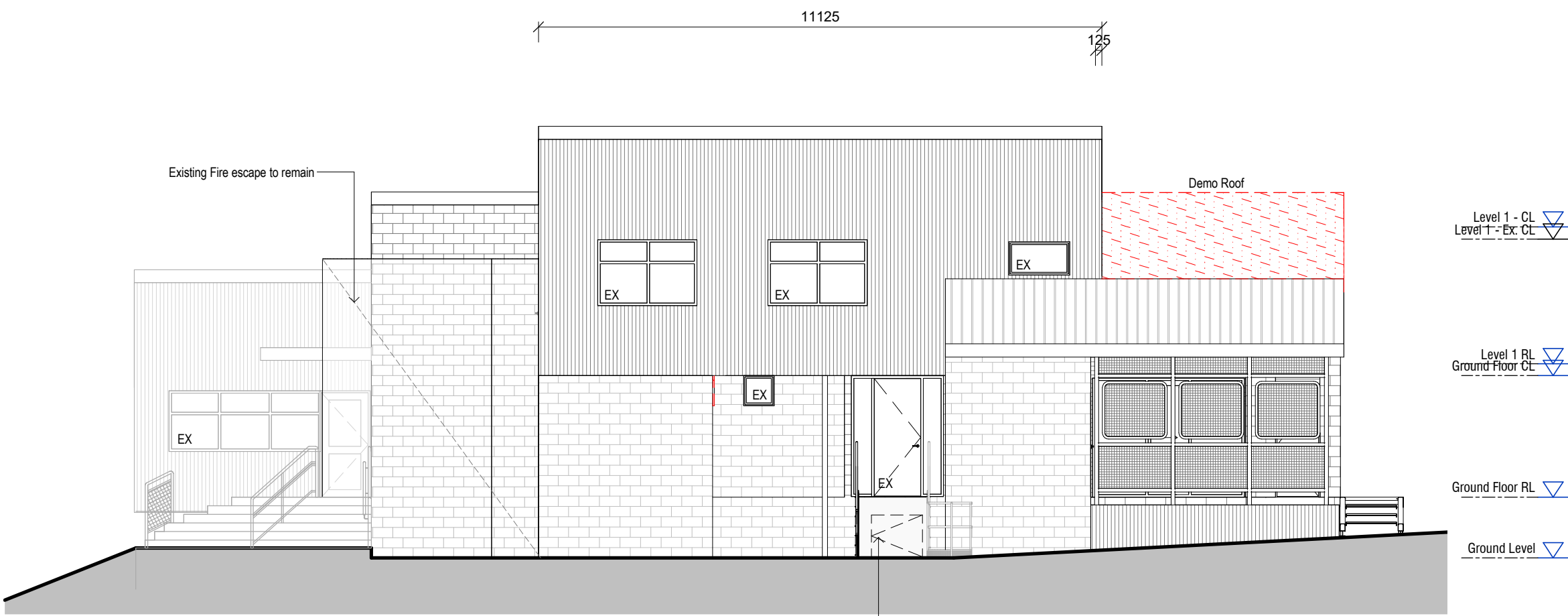
Legend - Demolition



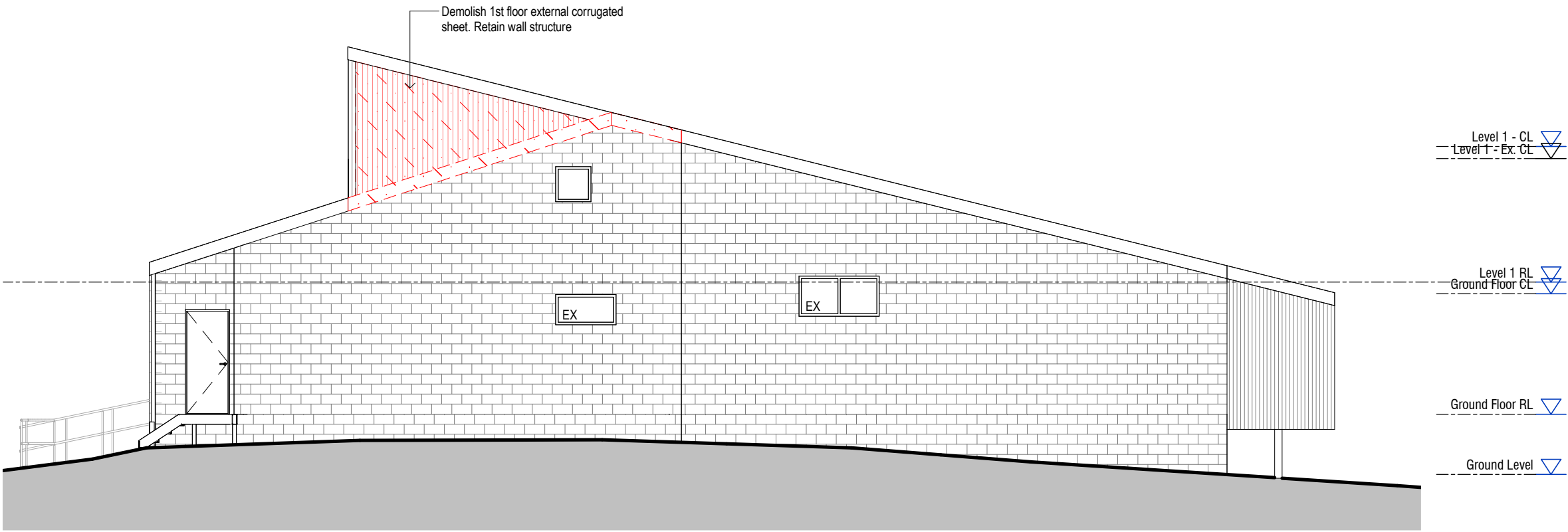
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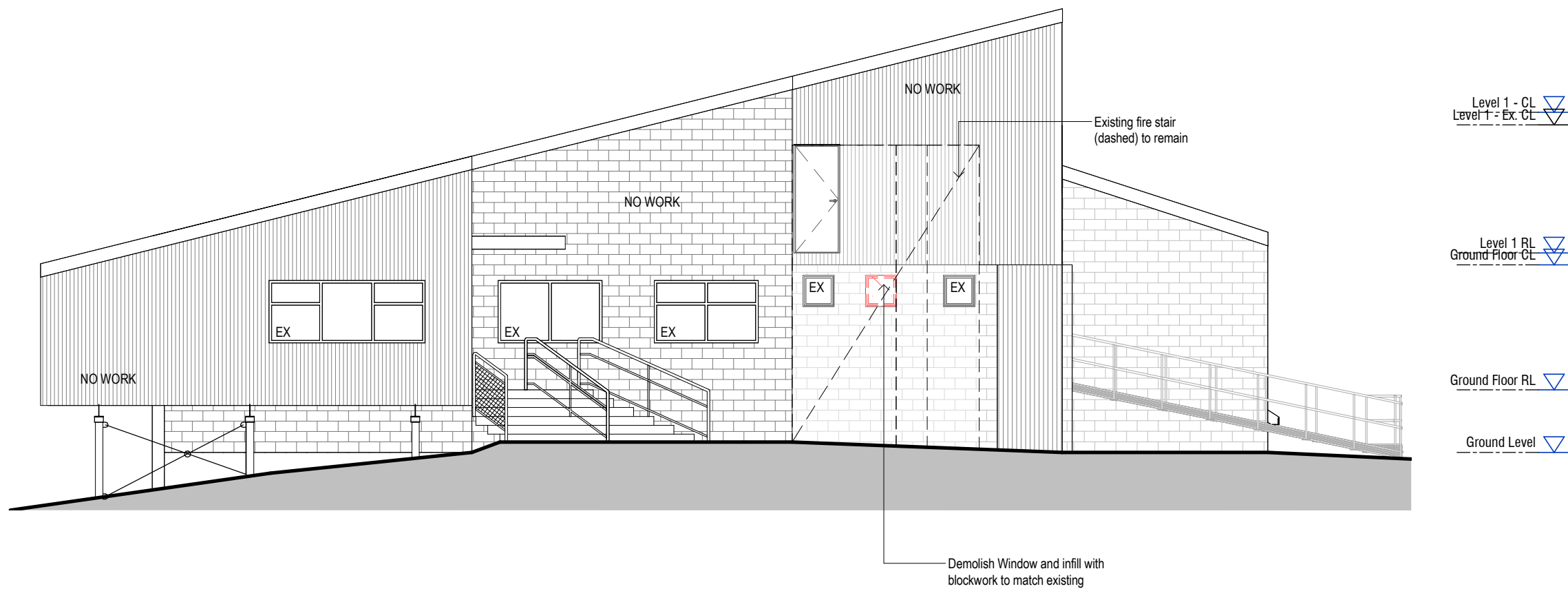
NOTE:
ALL ITEMS DASHED RED DENOTE EXISTING
BUILDING FABRIC TO BE DEMOLISHED



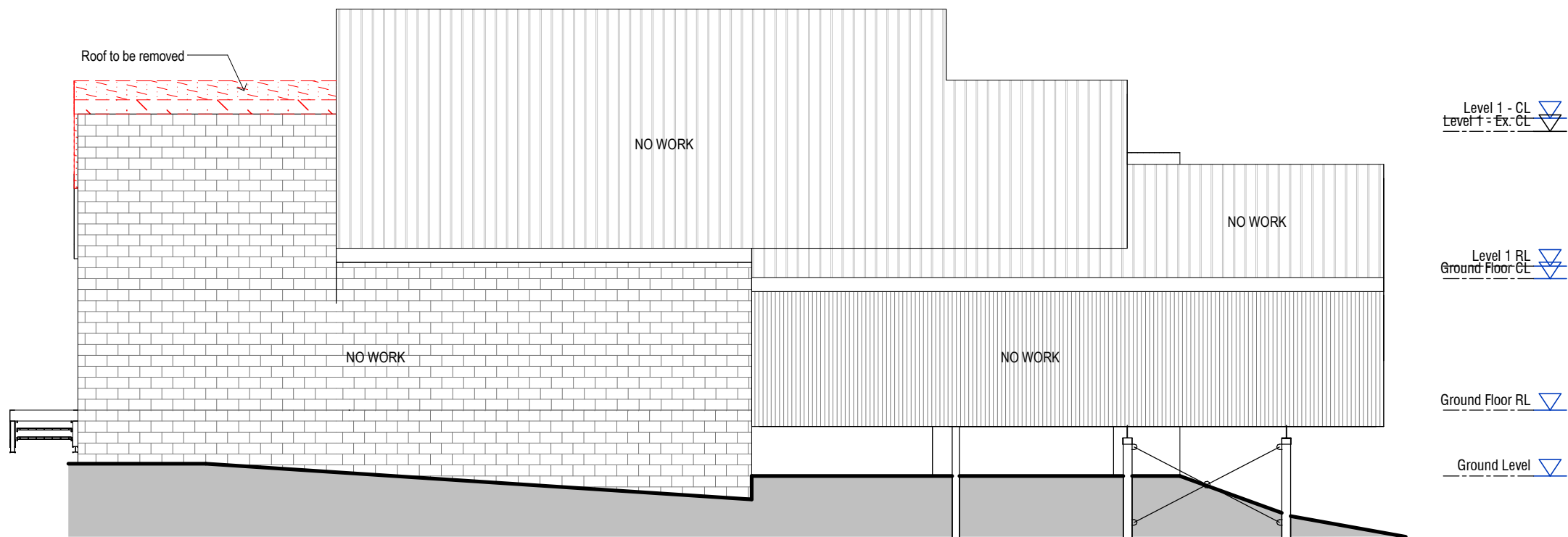
1 Existing & Demo - North Elevation
A110 Scale 1:100



3 Existing & Demo - West Elevation
A110 Scale 1:100



2 Existing & Demo - East Elevation
A110 Scale 1:100



4 Existing & Demo - South Elevation
A110 Scale 1:100

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project Falls Creek Primary School Redesign
project address 15 Slalom St, Falls Creek VIC 3699

client Victorian Schools Building Authority (VSBA)

drawing EXISTING & DEMO - ELEVATIONS

drawing number A140 revision T1 drawn AF checked PM

scale 1:100 @A1 date 03.08.2022

stage TENDER - NFC

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Insulation Notes

1. Existing metal clad walls has R2.0 insulation
2. All floors to have minimum R4.0 insulation
3. Existing roof to have R8.0 ceiling insulation
4. Proposed roof to have R8.0 ceiling insulation and vapour permeable sarking Enviroseal HTF-IT or similar below metal roof sheet.

 New Walls

----- Extent of New Work

TENDER OPTION 1 CLASSROOM PAINTING

EXCLUDE PAINTING TO THE WALLS OF CLASSROOMS 1,2,3 & WET AREA INCLUDING SKIRTINGS AND ARCHITRAVES. WALLS TO BE LEFT IN EXISTING CONDITION

TENDER OPTION 2 CLASSROOM SMART SCREEN

EXCLUDE MOBILE INTERACTIVE LED SCREEN

TENDER OPTION 3 OUTDOOR PLAY SPACE

EXCLUDE REPLACEMENT OF SYNTHETIC GRASS TO
OUTDOOR PLAY SPACE (REFER FINISHES PLAN FOR
SCOPE)

TENDER OPTION 4 STAFF JOINERY

DELETE STAFF KITCHENETTE, CAP SERVICES AND KEEP
EXISTING KITCHENETTE. REMOVE STOVE FROM
EXISTING KITCHENETTE AND REPLACE WITH APF-01
FRIDGE

TENDER OPTION 5 INTERNAL FINISH

SUBSTITUTE ALL SHIPLAP STYLE PAINTED WALL LININGS AND ALLOW 13mm PLASTERBOARD IN LIEU. SCOPE SHOWN DASHED.

TENDER OPTION 6 INTERNAL NOTICE BOARD

EXCLUDE NOTICEBOARD AT ENTRY FOYER

TENDER OPTION 7 ACOUSTIC PANELS

EXCLUDE ALL ACOUSTIC PANELS IN CLASSROOM 1,2 & 3

TENDER OPTION 8 TIMBER SCREEN

DELETE SOLID TIMBER SCREEN

project	project no
Falls Creek Primary School Redesign	20220006
project address	

15 Slalom St, Falls Creek VIC 3699

Victorian Schools Building Authority (VSBA)

drawing

GROUND FLOOR PLAN

drawing number	revision	drawn	checked
A200	T1	AF	PM

scale date
1 : 50 @A1 03.08.2022

stage

TENDER - NFC

north



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New Walls

Legend - Tender Options

TENDER OPTION 1 CLASSROOM PAINTING

TO-1 EXCLUDE PAINTING TO THE WALLS OF CLASSROOMS 1,2,3 & WET AREA INCLUDING SKIRTINGS AND ARCHITRAVES. WALLS TO BE LEFT IN EXISTING CONDITION

TENDER OPTION 2 CLASSROOM SMART SCREEN

TO-2 EXCLUDE MOBILE INTERACTIVE LED SCREEN

TENDER OPTION 3 OUTDOOR PLAY SPACE

TO-3 EXCLUDE REPLACEMENT OF SYNTHETIC GRASS TO OUTDOOR PLAY SPACE (REFER FINISHES PLAN FOR SCOPE)

TENDER OPTION 4 STAFF JOINERY

TO-4 DELETE STAFF KITCHENETTE, CAP SERVICES AND KEEP EXISTING KITCHENETTE. REMOVE STOVE FROM EXISTING KITCHENETTE AND REPLACE WITH APF-01 FRIDGE

TENDER OPTION 5 INTERNAL FINISH

TO-5 SUBSTITUTE ALL SHIPLAP STYLE PAINTED WALL LININGS AND ALLOW 13mm PLASTERBOARD IN LIEU. SCOPE SHOWN DASHED.

TENDER OPTION 6 INTERNAL NOTICE BOARD

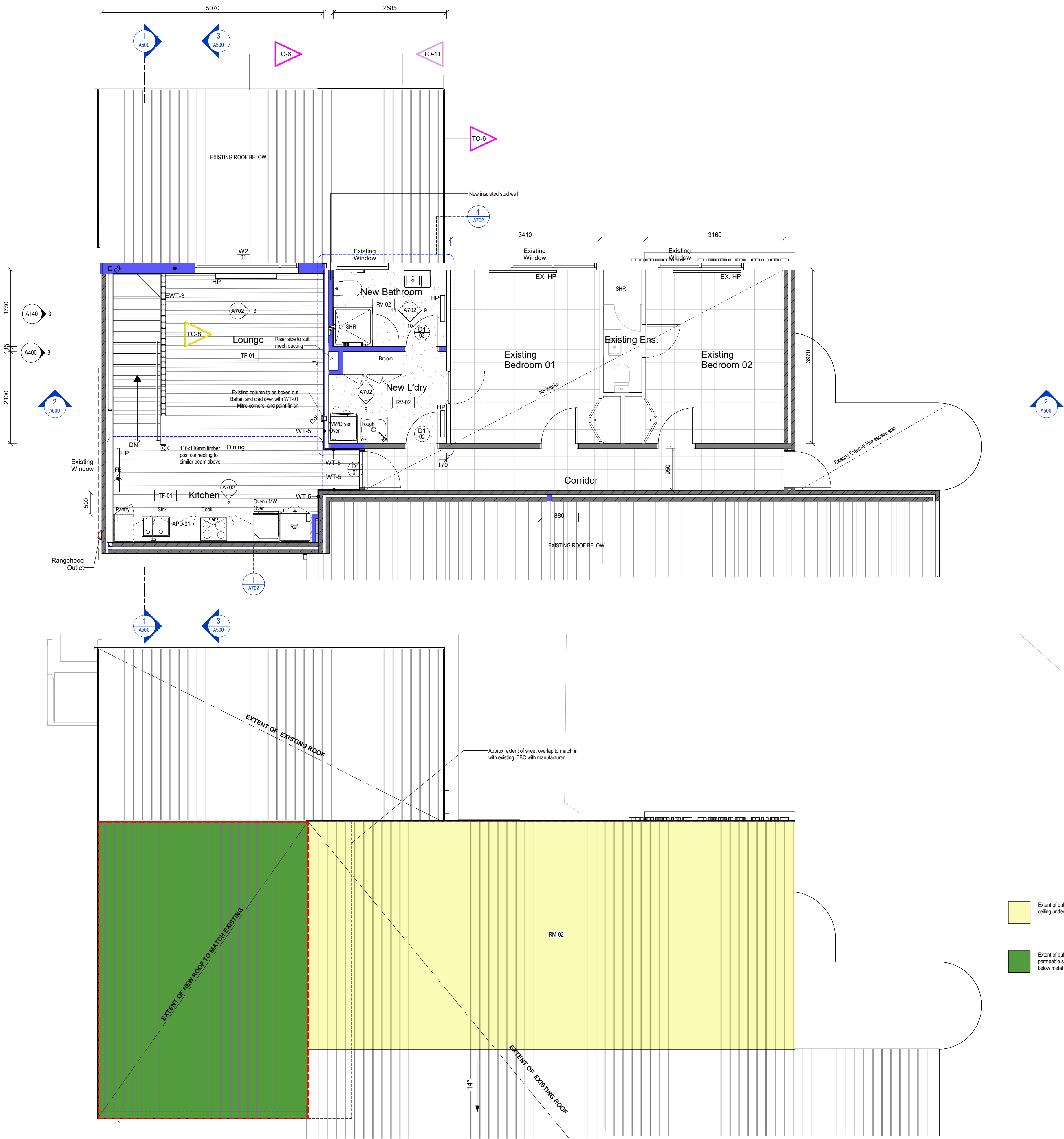
TO-6 EXCLUDE NOTICEBOARD AT ENTRY FOYER

TENDER OPTION 7 ACOUSTIC PANELS

TO-7 EXCLUDE ALL ACOUSTIC PANELS IN CLASSROOM 1,2 & 3

TENDER OPTION 8 TIMBER SCREEN

TO-8 DELETE SOLID TIMBER SCREEN



Extent of bulk R8.0 insulation above ceiling under existing roof

Extent of bulk R8.0 ceiling insulation and vapour permeable sarking Enviroseal HTF-IT or similar below metal roof sheet.

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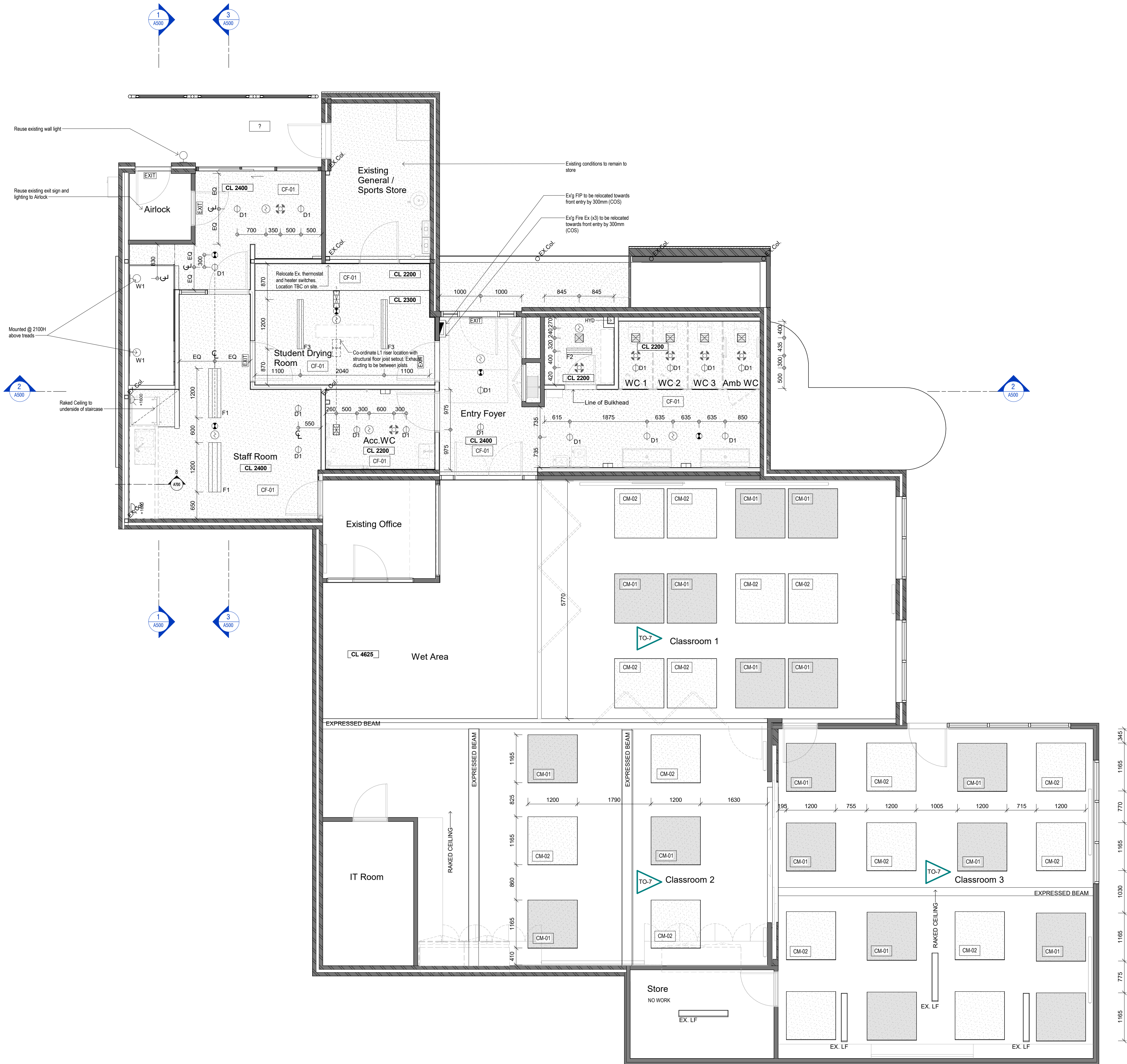
drawing LEVEL 1 & ROOF PLANS

drawing number A201 revision T1 drawn AF checked PM

scale 1 : 50 @A1 date 03.08.2022

stage TENDER - NFC north

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New Walls

CEILING SERVICES LEGEND

- PENDANT LIGHT FITTING. SET 1800mm FROM FFL TO UNDERSIDE OF FITTING
- RECESSED DOWNLIGHT FITTING.
- RECESSED DOWNLIGHT FITTING.
- SURFACE MOUNTED DOWNLIGHT FITTING.
- WALL MOUNTED LIGHT FITTING. SET @ 2100mm ABOVE RELEVANT FFL
- CEILING MOUNTED BATTEN LIGHT.
- CEILING RECESSED EMERGENCY LIGHT.
- SURFACE MOUNTED SMOKE DETECTOR
- EMERGENCY ALARM BELL
- MOTION SENSOR
- SURFACE MOUNTED EXIT SIGN
- CEILING RECESSED EXTRACTION FAN
- THERMAL DETECTOR

NOTE:
Ceiling finishes and fixtures/lighting only. Refer to electrical engineers drawings and specifications for more details and power requirements. Contractor to refer to architects drawings for setbacks and heights.

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project
Falls Creek Primary School Redesign
project address

project no
20220006

15 Slalom St, Falls Creek VIC 3699

client
Victorian Schools Building Authority (VSBA)

drawing
RCP - GROUND FLOOR

drawing number revision drawn checked
A300 T1 AF PM

scale date
1 : 50 @A1 03.08.2022

stage
TENDER - NFC



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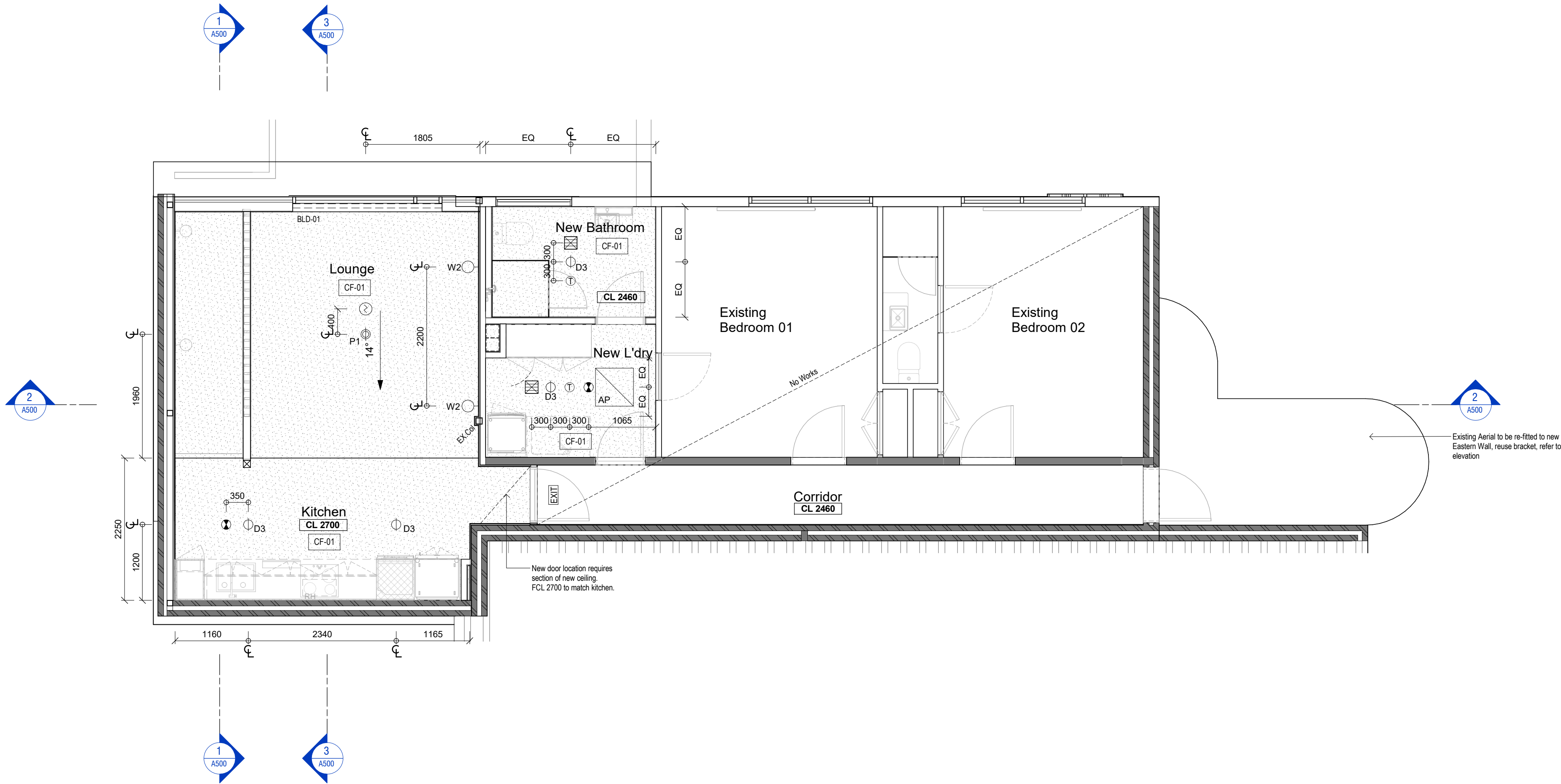
drawing RCP - LEVEL 1

drawing number A301 revision T1 drawn AF checked PM

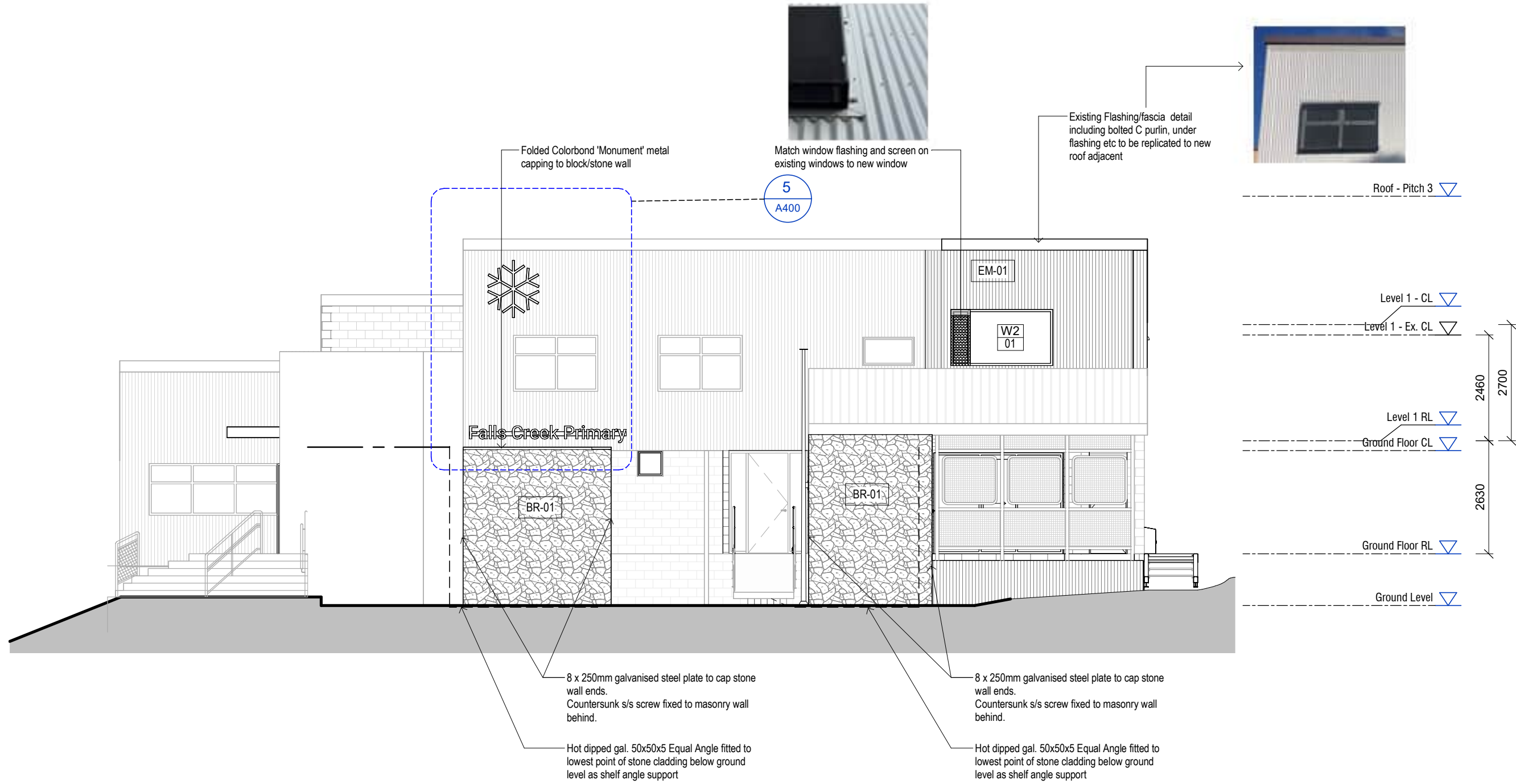
scale 1 : 50 @A1 date 03.08.2022

stage TENDER - NFC north

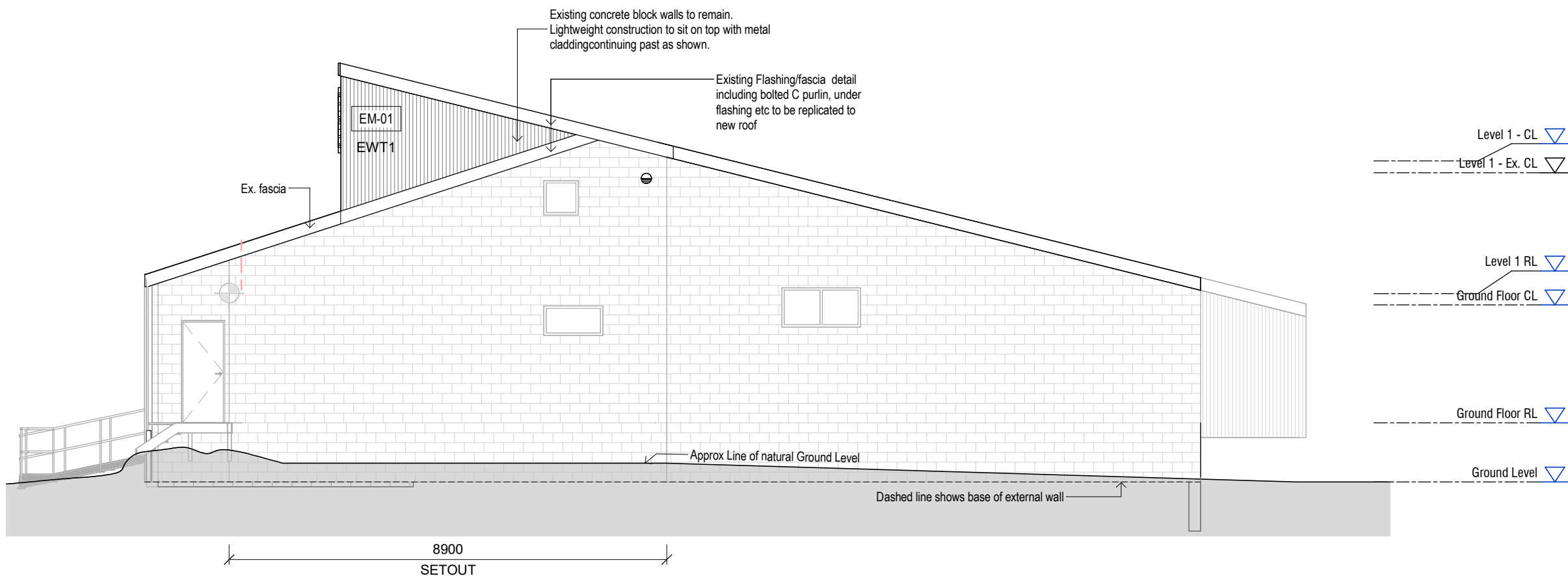
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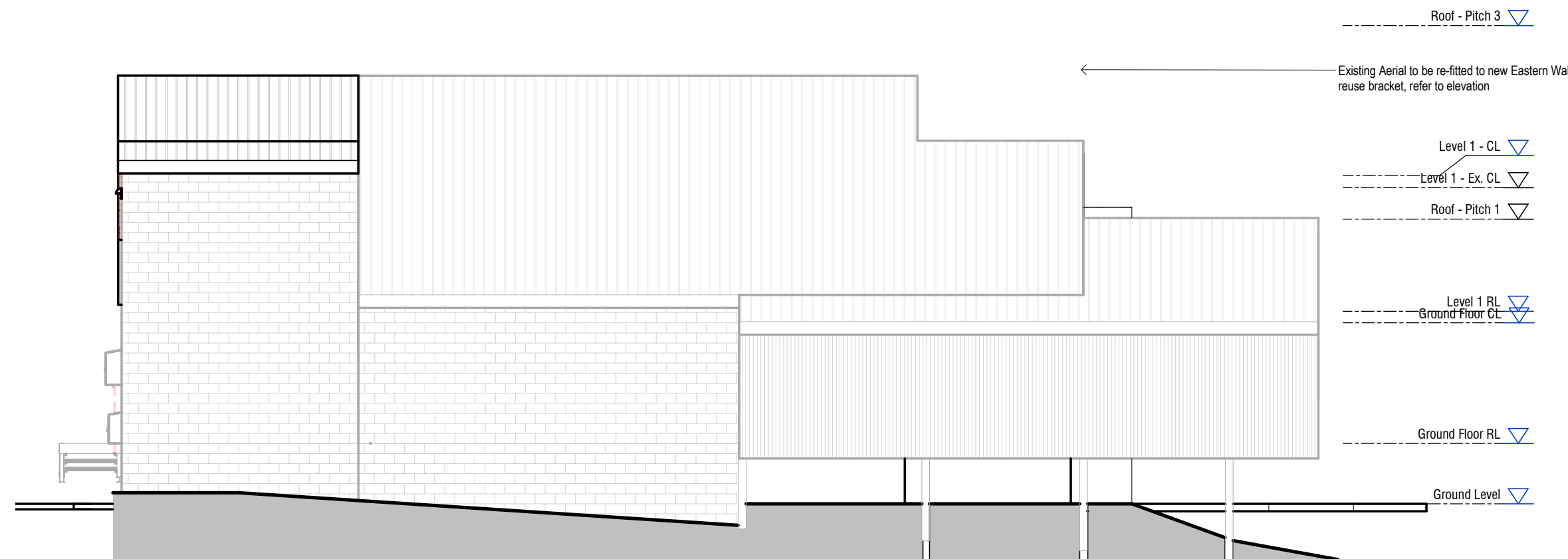
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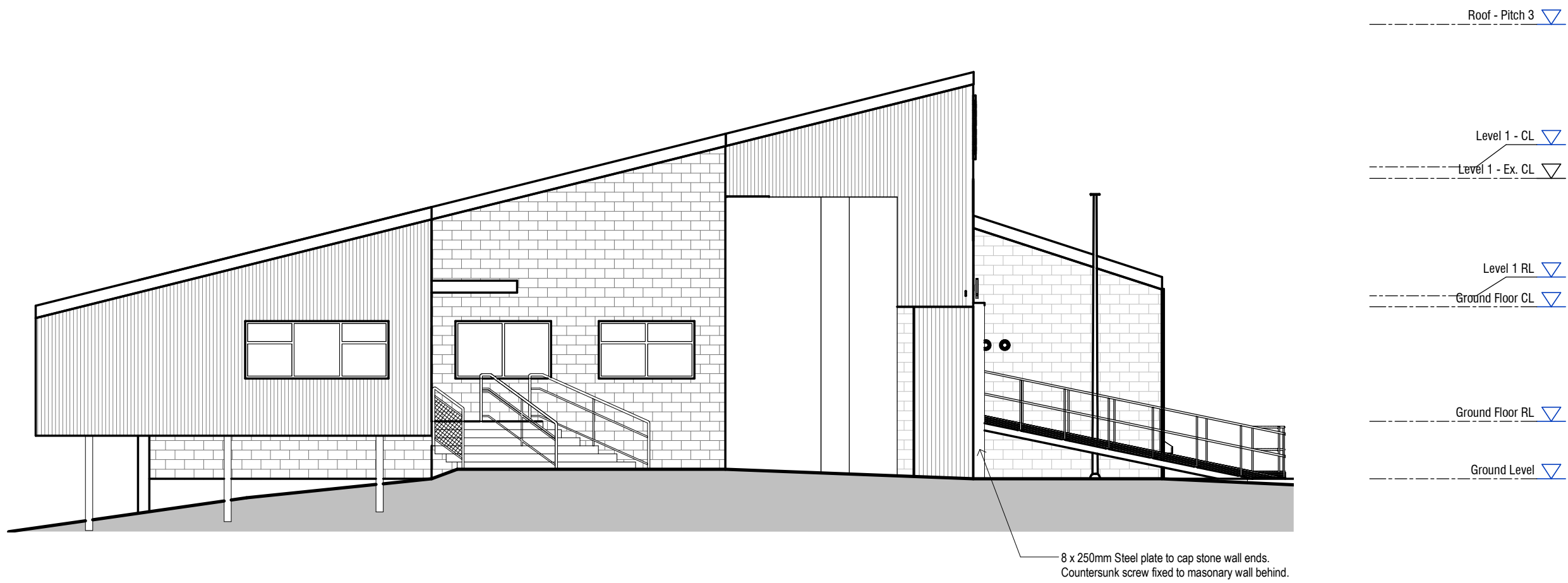
1 Proposed - North Elevation
Scale 1: 100



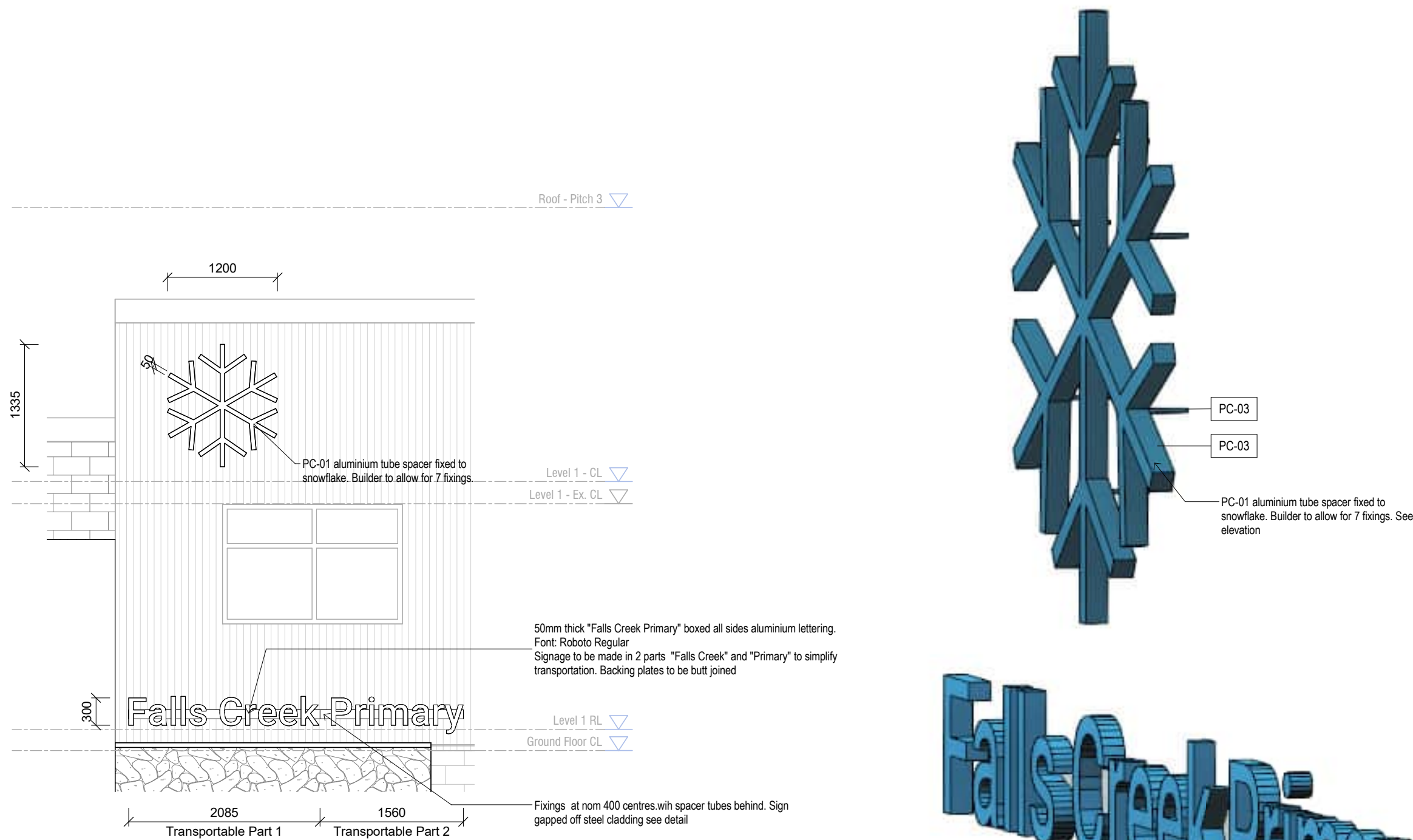
3 Proposed - West Elevation
Scale 1: 100



2 Proposed - South Elevation
Scale 1: 100

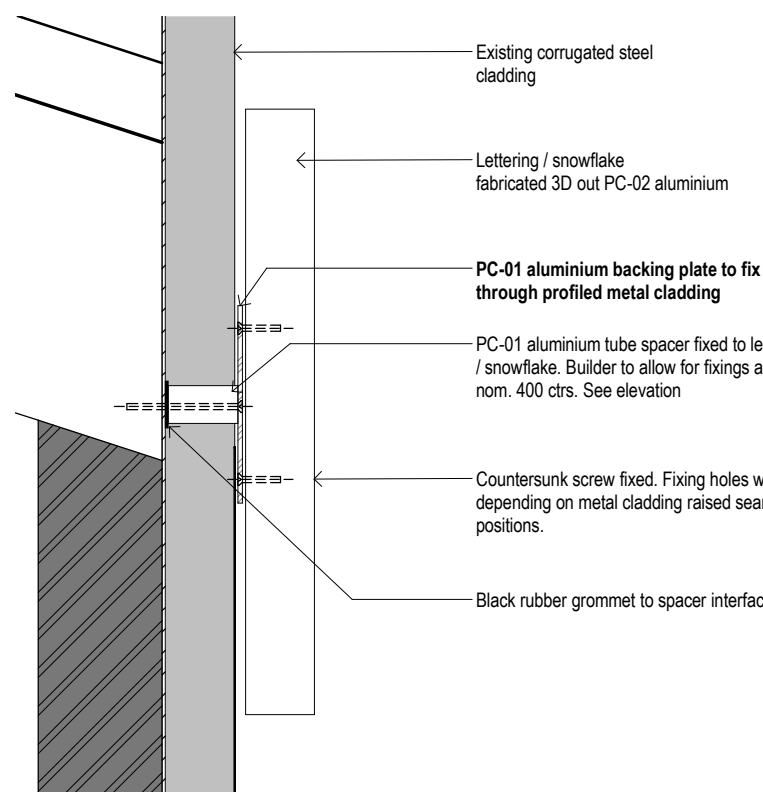


4 Proposed - East Elevation
Scale 1: 100



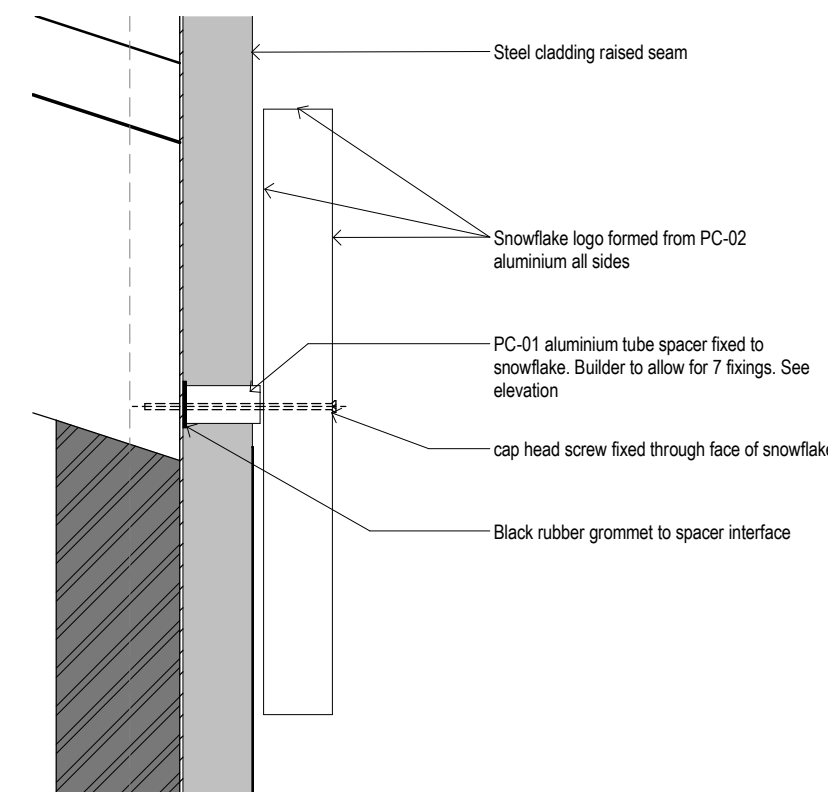
5 Proposed - North Elevation - Signage
Scale 1: 50

NOTE: Shop drawings to be submitted to architect for approval prior to fabrication



8 Section Detail - Letter Signage
Scale 1: 5

NOTE: Gauge of Aluminium to be nom. 2mm thick to avoid cupping or distortion. Grind all welds back smooth



9 Section Detail - Snowflake
Scale 1: 5

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project no
20220006

Falls Creek Primary School
Redesign

project address
15 Slalom St, Falls Creek VIC 3699

client
Victorian Schools Building Authority (VSBA)

drawing
ELEVATIONS

drawing number revision drawn checked
A400 T1 AF PM

scale date
As indicated @A1 03.08.2022

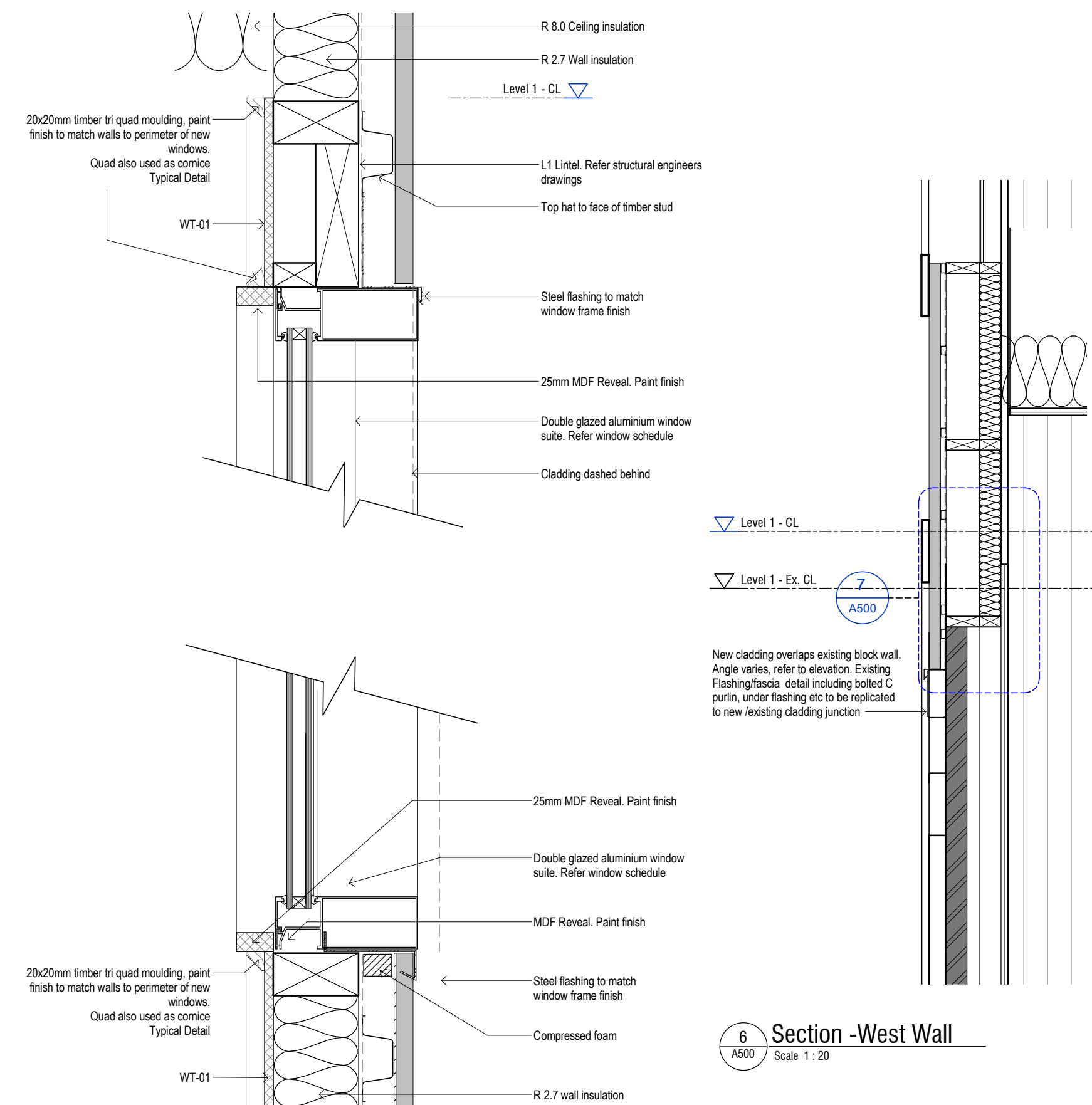
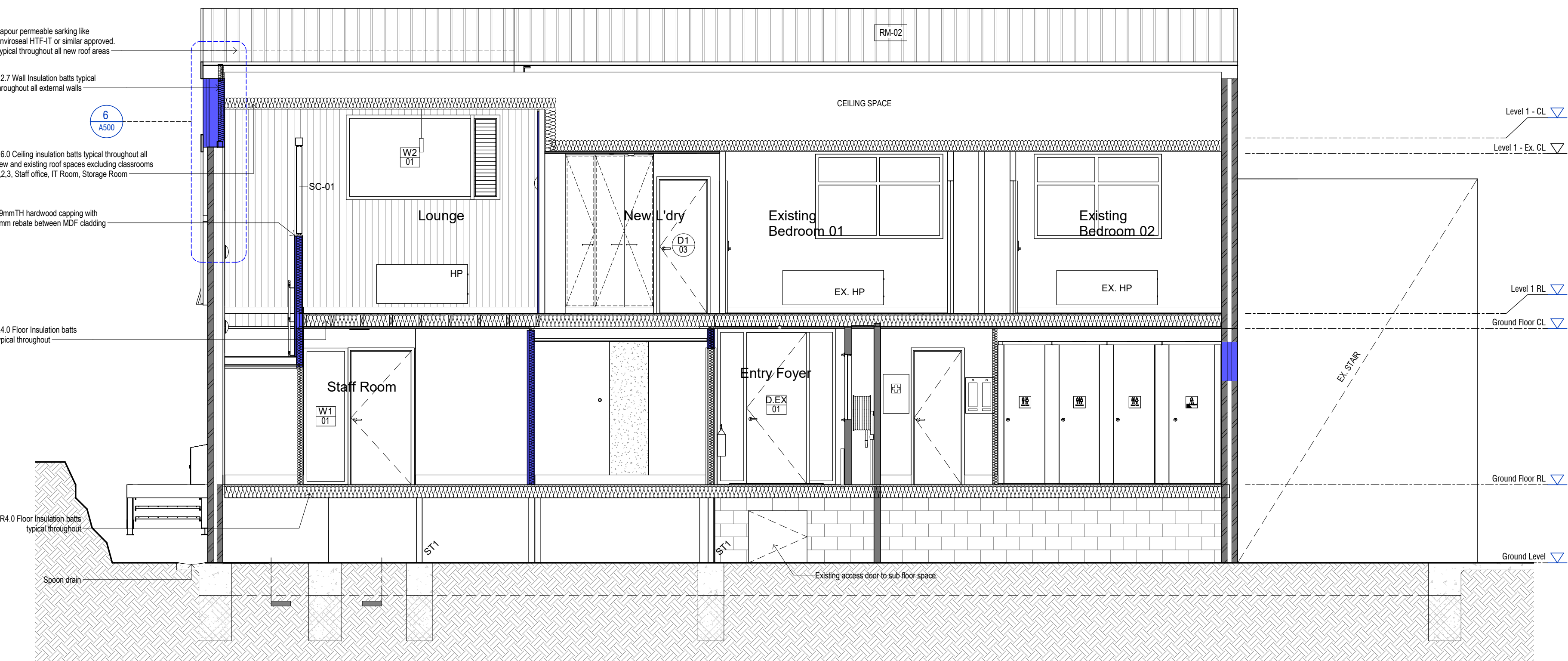
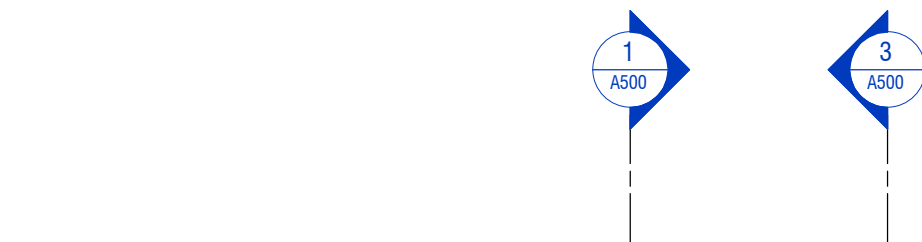
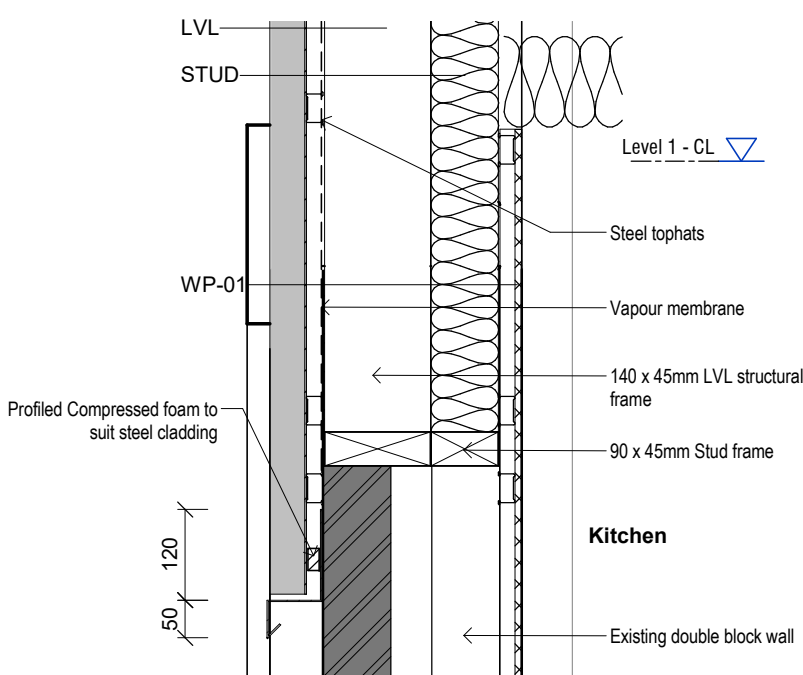
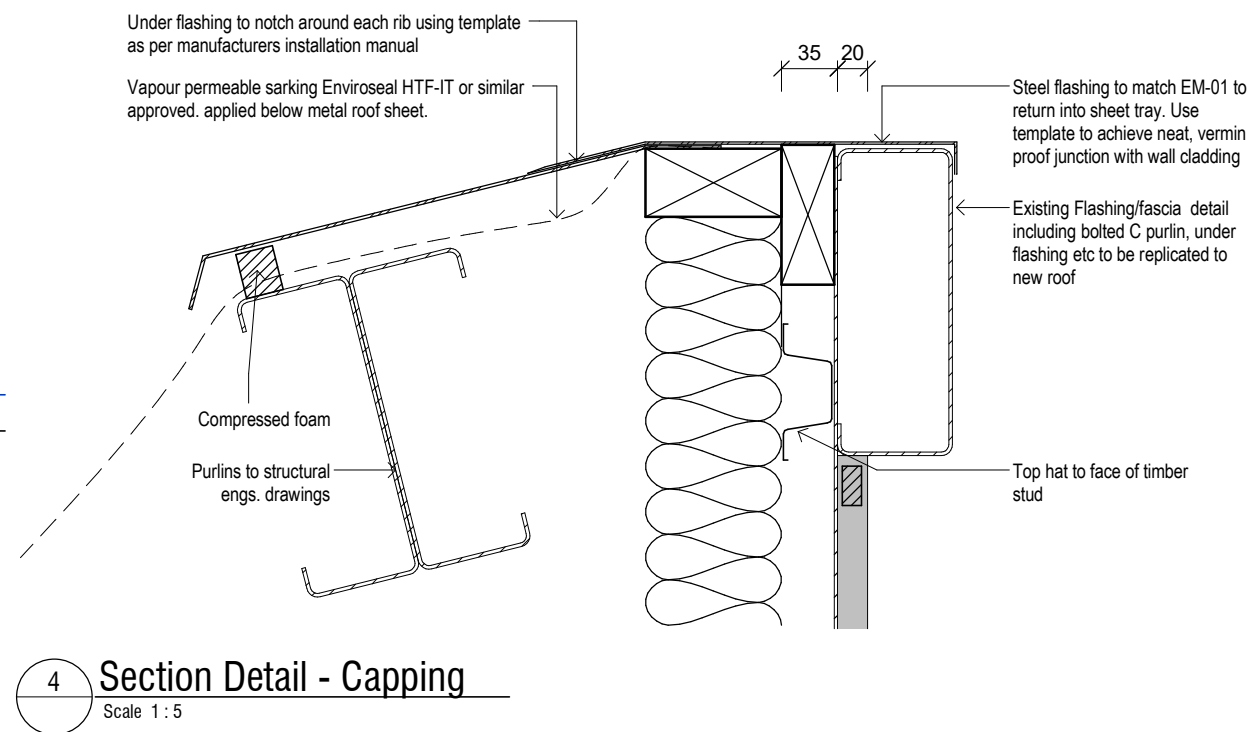
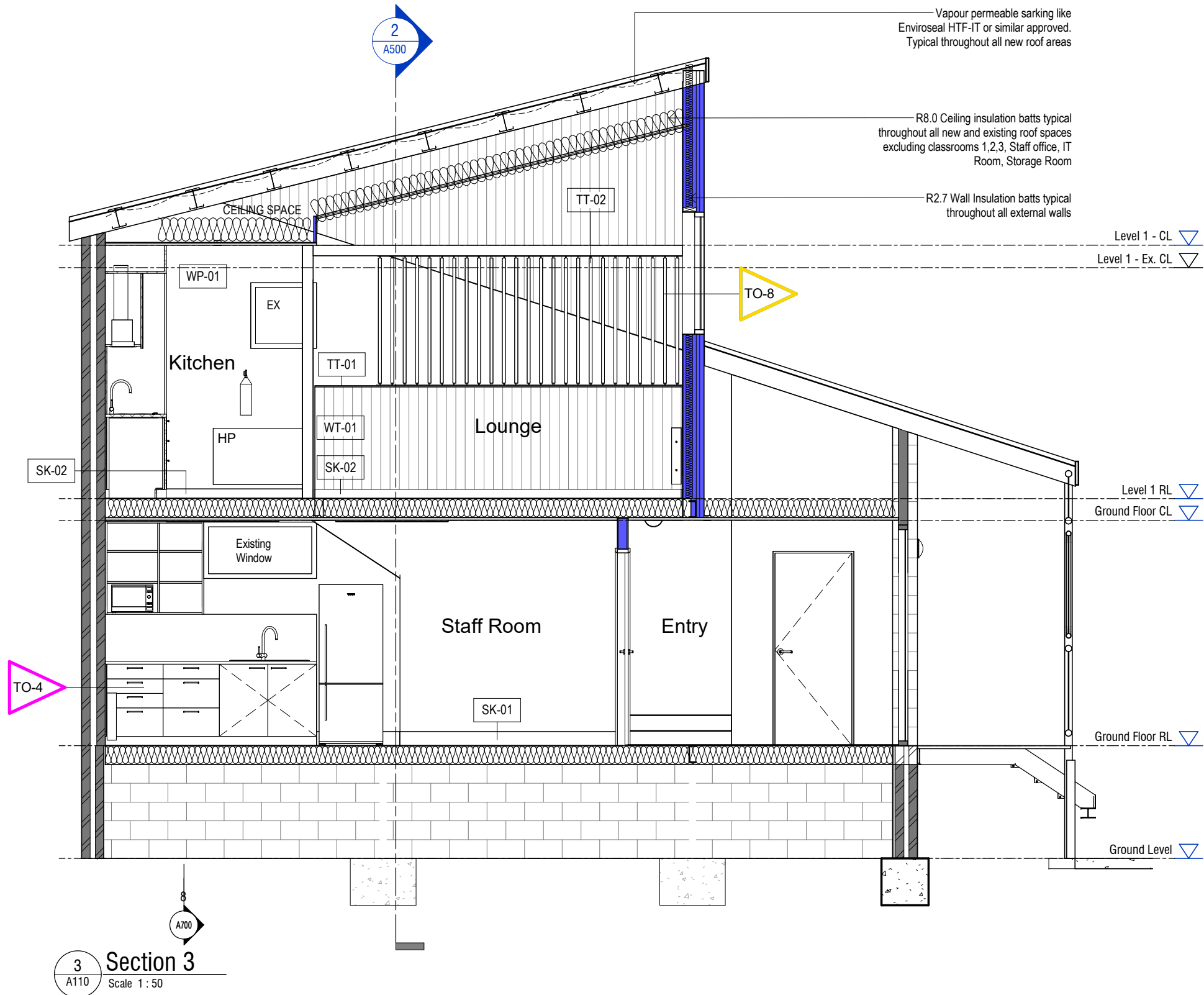
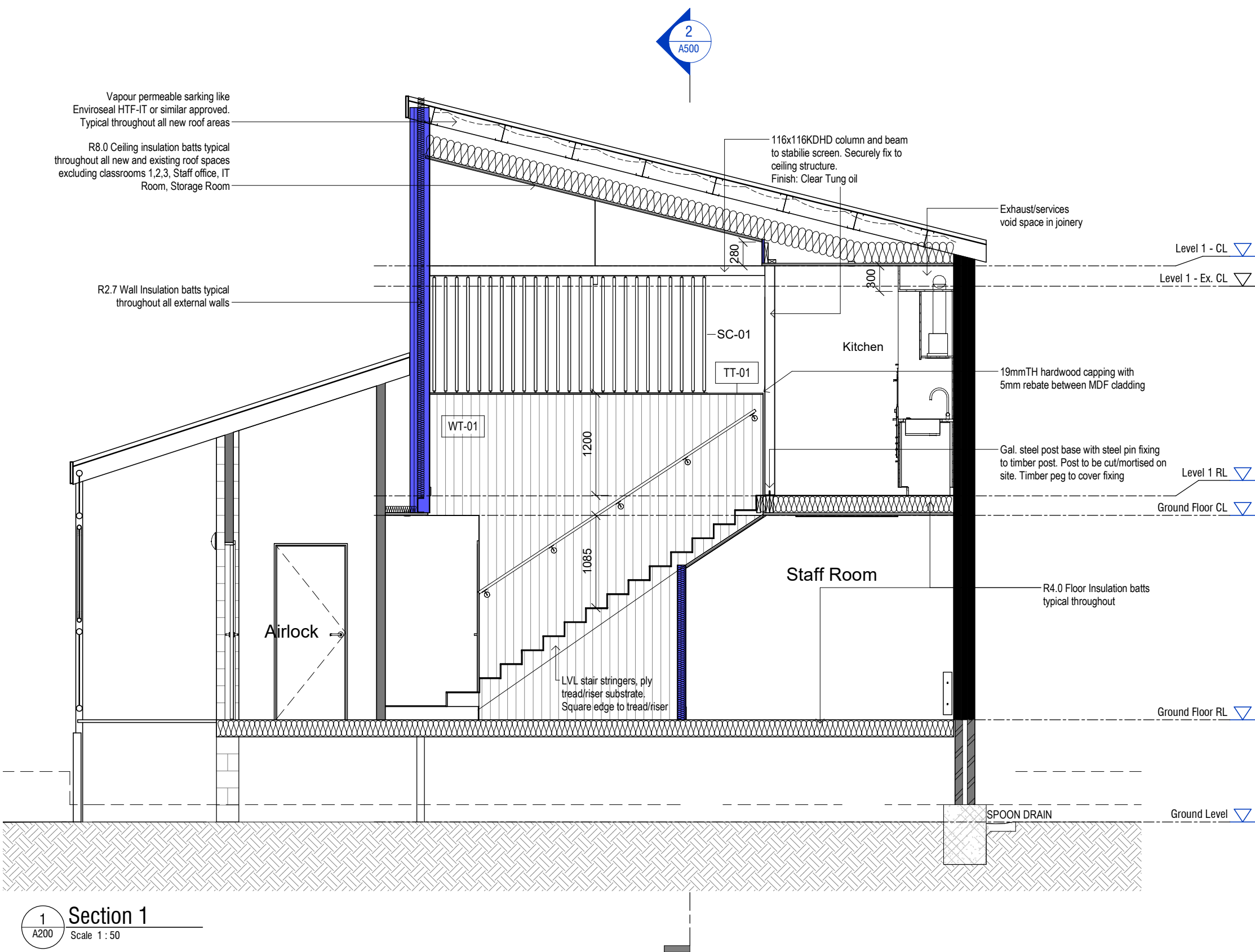
stage
TENDER - NFC

Notes
1. All existing conditions, dimensions and levels to be checked on site prior to commencing construction.
2. All existing levels are indicative only. Survey drawing to take precedence over architectural drawings.
3. Builder to refer any inconsistencies to the Architect for clarification.
4. Builder to check that this drawing is the most recent amendment.
5. Do not scale the drawings.

Rev.	Date	Description
T1	03.08.2022	ISSUED FOR TENDER

- Insulation Notes**
- Existing metal clad walls has R2.0 insulation
 - All floors to have minimum R4.0 insulation
 - Existing roof to have R8.0 ceiling insulation
 - Proposed roof to have R8.0 ceiling insulation and vapour permeable sarking Enviroseal HTF-IT or similar below metal roof sheet.

New Walls



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project Falls Creek Primary School Redesign project address 15 Slalom St, Falls Creek VIC 3699

client Victorian Schools Building Authority (VSBA)

drawing SECTIONS & DETAILS

drawing number A500 revision T1 drawn AF checked PM

scale As indicated @A1 date 03.08.2022

stage TENDER - NFC

Notes
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4. Builder to check that this drawing is the most recent amendment.
5. Do not scale the drawings.

EXTERNAL WALL TYPES

WT-01

LVL

BATTEN

EM-01

BATTEN

STUD

BR-01

WT-01

STUD

BATTEN

EM-01

EW-1

EXTERNAL WALL

9mm MDF (WT-01) / 90mm TIMBER STUD / 150mm LVL STUD / REFLECTIVE VAPOUR BARRIER MEMBRANE / 45mm TIMBER BATTEN / CORRUGATED SHEET TO MATCH EXISTING

Nom. 315mm THICKNESS

MIN FRL: 60/60/60
MIN ACOUSTIC RATING: N/A
THERMAL: R2.7 CSR BATTS OR SIMILAR APPROVED

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH
2. EM-01 ROOF SHEET TO OVERLAP EXISTING BLOCKWORK WALL TO CREATE DESIRED ANGLE

EW-2

EXTERNAL WALL

2mm GLUE / 40mm STONE

Nom. 42mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: N/A

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH
2. EM-01 ROOF SHEET TO OVERLAP EXISTING BLOCKWORK WALL TO CREATE DESIRED ANGLE

EW-3

EXTERNAL WALL

9mm MDF (WT-01) / 140mm TIMBER STUD / REFLECTIVE VAPOUR BARRIER MEMBRANE / 35mm BATTEN / CORRUGATED SHEET TO MATCH EXISTING

Nom. 155mm THICKNESS

MIN FRL: 60/60/60
MIN ACOUSTIC RATING: N/A
THERMAL: R2.7 CSR BATTS OR SIMILAR APPROVED

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH
2. EM-01 ROOF SHEET TO OVERLAP EXISTING BLOCKWORK WALL TO CREATE DESIRED ANGLE

INTERNAL WALL TYPES

WP-02

STUD

WP-01

STUD

WT-1

INTERNAL WALL

13mm PB / 90mm TIMBER STUD / 13mm PB

Nom. 116mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: R2.5 GLASS FIBRE BATT

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR FINISHES

WP-01

STUD

WP-01

STUD

WT-2

INTERNAL WALL

9mm MDF (WT-01) / 90mm TIMBER STUD / 13mm MRPB

Nom. 116mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: R2.7 SIMILAR TO KNAUF KTW355

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR FINISHES

WP-01

STUD

WP-01

STUD

WT-3

INTERNAL WALL

13mm MRPB / 90mm TIMBER STUD / 13mm MRPB

Nom. 116mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: R2.7 SIMILAR TO KNAUF KTW355

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR FINISHES

STUD

WP-01

STUD

WP-01

WT-4

STANDARD INTERNAL PARTITION

90mm TIMBER STUD / 13mm MRPB

Nom. 103mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: R2.0

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH
2. BATHROOM CORRIDOR FINISHED WITH VINYL, WALL JUNCTION MUST BE FINISHED FLUSH.

STUD

WT-01

STUD

WT-01

WT-5

CLAD EXISTING WALL

16mm CHANNEL / 9mm MDF (WT-01)

Nom. 25mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: N/A

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH.

WT-01

STUD

WT-01

STUD

WT-5

CLAD EXISTING WALL

16mm CHANNEL / 9mm MDF (WT-01)

Nom. 25mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: N/A

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH.

WT-01

STUD

WT-01

STUD

WT-5

CLAD EXISTING WALL

16mm CHANNEL / 9mm MDF (WT-01)

Nom. 25mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: N/A

NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH.

WT-01

STUD

WT-01

STUD

WT-5

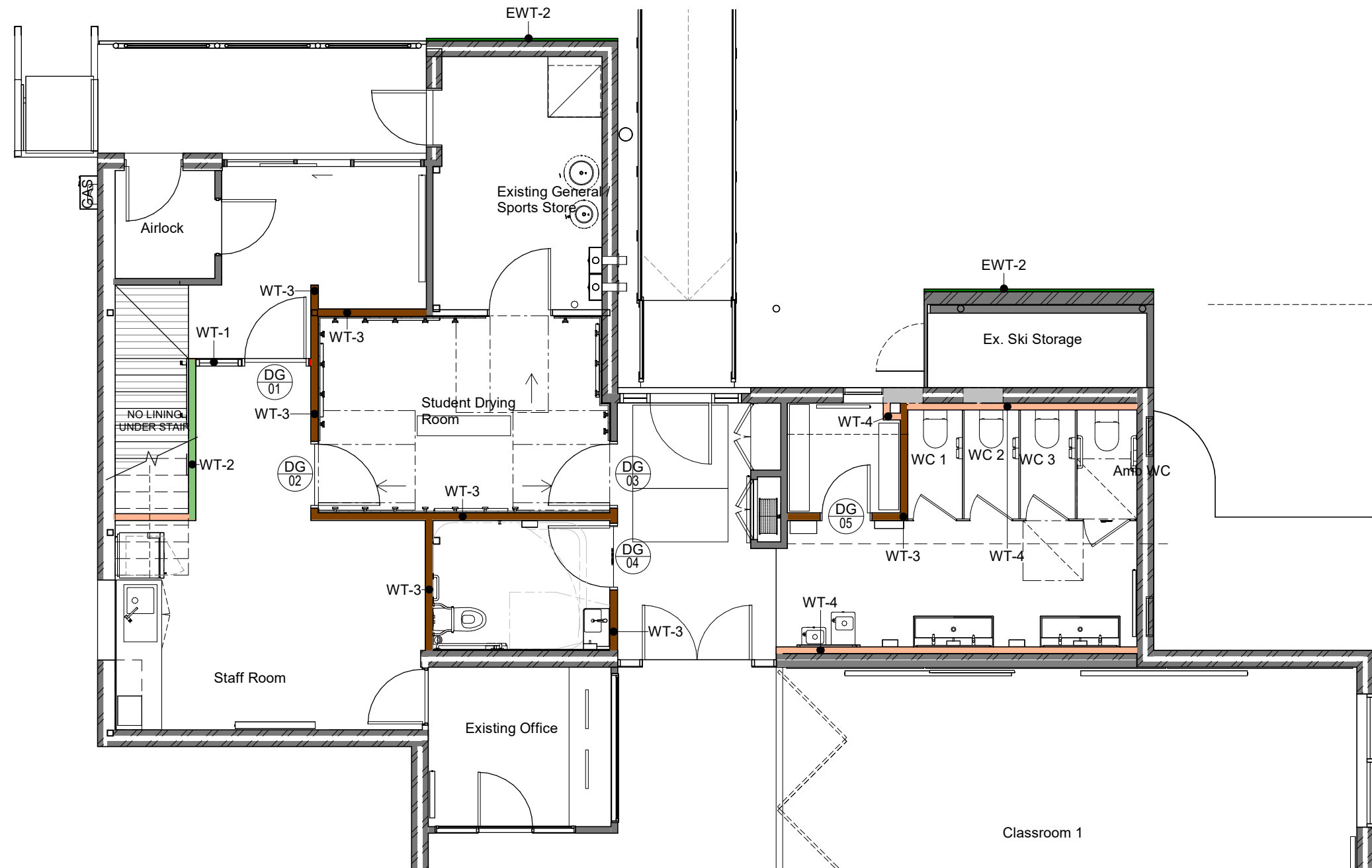
CLAD EXISTING WALL

16mm CHANNEL / 9mm MDF (WT-01)

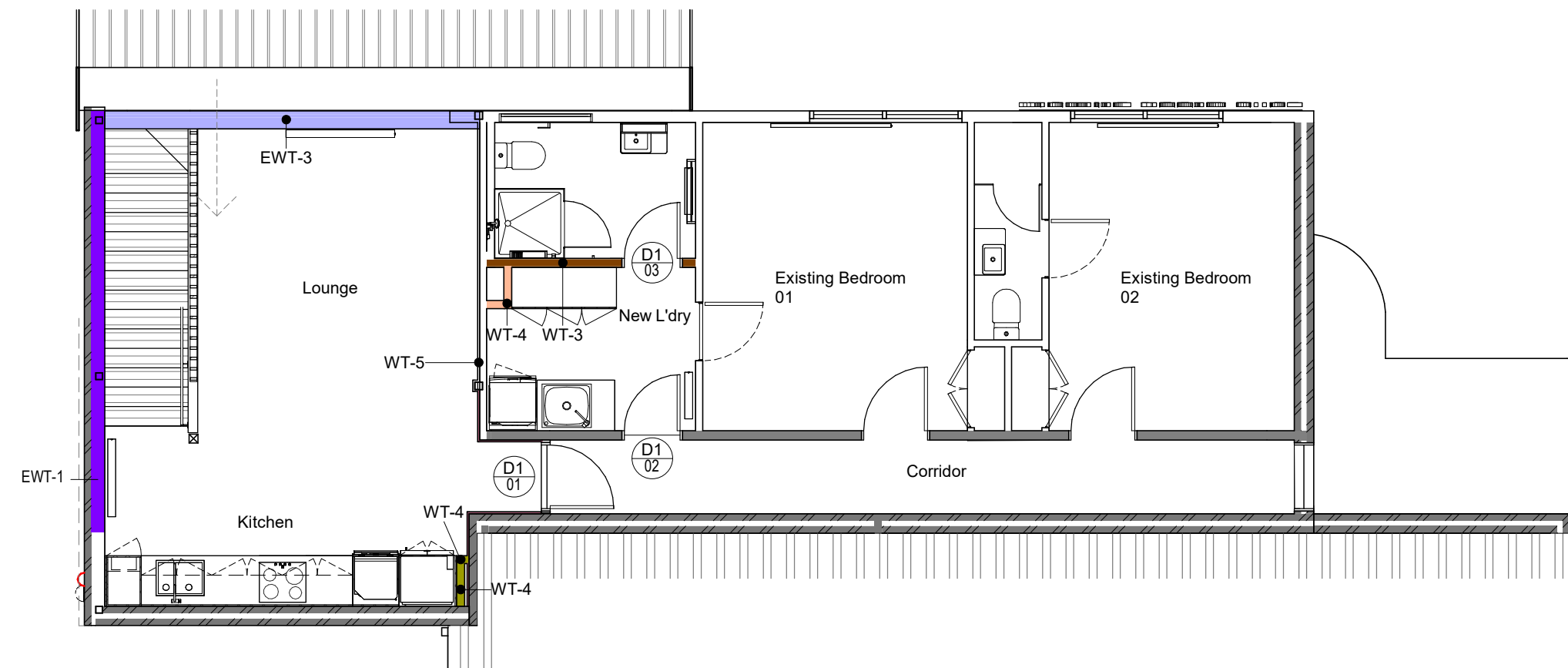
Nom. 25mm THICKNESS

MIN FRL: N/A
MIN ACOUSTIC RATING: N/A
THERMAL: N/A

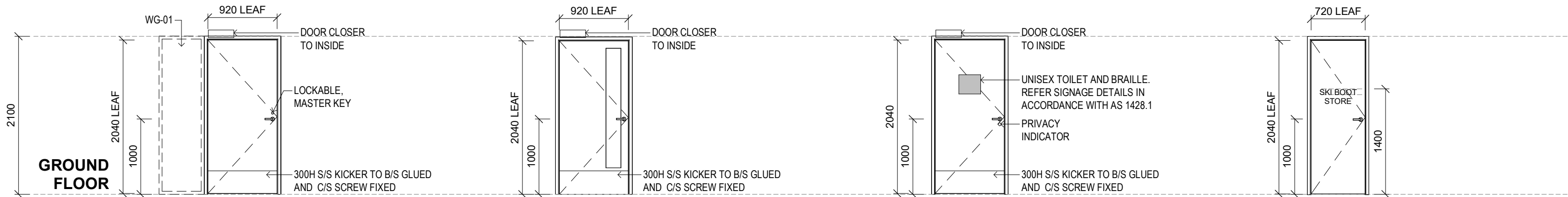
NOTES:
1. REFER TO INTERNAL ELEVATIONS FOR ALTERNATE WALL FINISH.



1 Ground Floor (Wall Type Key Plan)
Scale 1: 75



2 Level 1 (Wall Type Key Plan)
Scale 1: 75

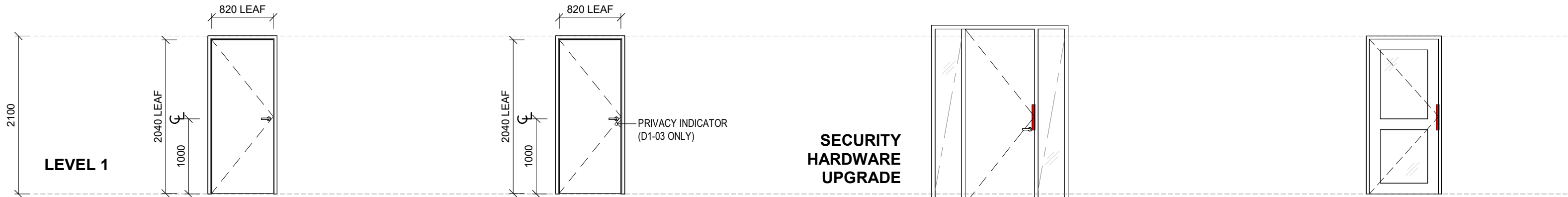


DG-01
APARTMENT ENTRY/STAFFROOM
DESCRIPTION 40mm SOLID CORE DOOR WITH PLY FACE (C GRADE RADATA PINE)
FRAME 42W x 19mmTH HARDWOOD TO SUIT WALL THICKNESS
NOTES ARCHITRAVE: 42x12mm HARDWOOD, SQUARE PROFILE FINISH: PP-01 AS SCHEDULED HARDWARE: REFER TO LOCKING & HARDWARE SCHEDULE

DG-02, DG-03
STUDENT DRYING ROOM
DESCRIPTION 40mm SOLID CORE DOOR WITH PLY FACE (C GRADE RADATA PINE) WITH VIEWING PANEL
FRAME 42W x 19mmTH HARDWOOD TO SUIT WALL THICKNESS
NOTES ARCHITRAVE: 42x12mm HARDWOOD, SQUARE PROFILE FINISH: PP-04 AS SCHEDULED HARDWARE: REFER TO LOCKING & HARDWARE SCHEDULE VIEWING PANEL: 6.38mm TOUGHENED GLASS

DG-04
ACCESSIBLE BATHROOM
DESCRIPTION 40mm SOLID CORE DOOR WITH PLY FACE (C GRADE RADATA PINE)
FRAME 42W x 19mmTH HARDWOOD TO SUIT WALL THICKNESS
NOTES ARCHITRAVE: 42x12mm HARDWOOD, SQUARE PROFILE FINISH: PP-04 AS SCHEDULED HARDWARE: PRIVACY SNIB, REFER TO LOCKING & HARDWARE SCHEDULE

DG-05
SKI BOOT STORE
DESCRIPTION 40mm SOLID CORE DOOR WITH PLY FACE (C GRADE RADATA PINE)
FRAME 42W x 19mmTH HARDWOOD TO SUIT WALL THICKNESS
NOTES ARCHITRAVE: 42x12mm HARDWOOD, SQUARE PROFILE FINISH: PP-01 AS SCHEDULED HARDWARE: REFER TO LOCKING & HARDWARE SCHEDULE



D1-01
CORRIDOR
DESCRIPTION 40mm SOLID CORE DOOR WITH PLY FACE (C GRADE RADATA PINE)
FRAME 42W x 19mmTH HARDWOOD TO SUIT WALL THICKNESS
NOTES ARCHITRAVE: 42x12mm HARDWOOD, SQUARE PROFILE FINISH: PP-01 AS SCHEDULED HARDWARE: REFER TO LOCKING & HARDWARE SCHEDULE

D1-02, D1-03
LAUNDRY, BATHROOM
DESCRIPTION 40mm SOLID CORE DOOR WITH PLY FACE (C GRADE RADATA PINE)
FRAME 42W x 19mmTH HARDWOOD TO SUIT WALL THICKNESS
NOTES ARCHITRAVE: 42x12mm HARDWOOD, SQUARE PROFILE FINISH: PP-01 AS SCHEDULED HARDWARE: REFER TO LOCKING & HARDWARE SCHEDULE

DX-01
MAIN RAMP ENTRY DOOR
DESCRIPTION BLOCKER PLATE RETROFITTED TO EXISTING DOOR HARDWARE
FRAME
NOTES

DX-02
LAUNDRY ENTRY DOOR
DESCRIPTION BLOCKER PLATE RETROFITTED TO EXISTING DOOR HARDWARE
FRAME
NOTES

Rev.

Date

Description

T1

03.08.2022

ISSUED FOR TENDER

Insulation Notes

1. Existing metal clad walls has R2.0 insulation

2. All floors to have minimum R4.0 insulation

3. Existing roof to have R8.0 ceiling insulation

4. Proposed roof to have R8.0 ceiling insulation and vapour permeable sarking Enviroseal HTF-IT or similar below metal roof sheet.

DOOR AND WINDOW GENERAL NOTES

1. ALL DOOR AND WINDOW SIZES INDICATE NOMINAL UNIT SIZE. VERIFY STRUCTURAL OPENINGS ON SITE AND CONFIRM ALL UNIT SIZES PRIOR TO FABRICATION. REFER TO PLAN FOR SWING DIRECTION

2. NO GAPS LARGER THAN 3MM IN ACCORDANCE WITH AS 3699 CONSTRUCTION OF BUILDINGS IN BUSHFIRE ZONES. ALL GLAZING TO BE IN ACCORDANCE WITH AS1288 & BCA SECTION J

3. REFER TO DOOR HARDWARE SCHEDULE FOR DOOR HARDWARE U.N.O.

4. ALL ALUMINIUM DOOR SYSTEMS TO BE OF COMMERCIAL QUALITY AND FINISHED WITH PT-01 FINISH.

5. PROVIDE WHEELCHAIR THRESHOLDS TO EXTERNAL DOOR SILLS

6. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO BE READILY OPENABLE WITHOUT THE USE OF KEY VIA A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1.1M FROM THE FLOOR BY ANY PERSON SEEKING EGRESS OUT OF THE BUILDING

7. FOR ALL EXTERNAL SIDE HUNG DOORS, WEATHER STRIPS AND DRAFT SEALS TO BE INCLUDED

8. ALL EXTERNAL DOORS TO BE ALARMED AND CONNECTED TO STAFF ROOM CONTROL BOX. REFER SERVICE ENGINEER DOCUMENTATION

9. EXTERNAL GLAZING TO HAVE U VALUE 3.5 OR LOWER SHGC 0.5 OR HIGHER INCLUDING FRAME

10. BUILDER TO PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL PRIOR TO FABRICATION OF ALL DOORS AND WINDOWS

11. REFER TO STRUCTURAL, ELECTRICAL, MECHANICAL, LANDSCAPING AND HYDRAULIC ENGINEERING DOCUMENTATION IN CONJUNCTION WITH ARCHITECTURAL DOCUMENTATION AS REQUIRED

12. ALL DOOR AND WINDOW LOCKS TO BE KEYPED ALIKE WITH BOSH (DET/CLIENT) PREFERRED KEYING SYSTEM

13. ALL EXTERNAL FIXED GLAZING TO BE DOUBLE GLAZED AND HAVE U VALUE 3.0 OR LOWER SHGC 0.55 (+/- 10%) INCLUDING FRAME

14. ALL OTHER EXTERNAL GLAZING TO BE DOUBLE GLAZED AND HAVE U VALUE 3.6 OR LOWER SHGC 0.52 (+/- 10%) INCLUDING FRAME

15. ALL DOOR IDENTIFICATION TO BE BLACK AND WRITTEN IN HELVETICA FONT (ALL CAPITALS)

16. ALL ACCESSIBLE DOORS TO HAVE MIN 850mm CLEAR OPENING & 2.0m UNOBSTRUCTED HEAD HEIGHTS OR GREATER AS NOMINATED ON THE SCHEDULE

17. ALL ACCESSIBLE DOORS TO HAVE MIN. LUMINANCE CONTRAST OF 30% AS PER CLAUSE 13.1-AS 1428.1-2009.

18. ALL DOORS WITH EXIT SIGNS TO HAVE BRAILLE & TACTILE SIGNAGE IN ACCORDANCE WITH SPEC D3.6-AS 1428.1

19. ALL DISABLED WC TO HAVE BRAILLE & TACTILE SIGNAGE IN ACCORDANCE WITH SPEC D3.6-AS 1428.1

20. ALL GLAZED DOORS SHALL HAVE MINIMUM OF 5mm TOUGHENED GLASS IN ACCORDANCE WITH AS3699

21. ALL DOOR HANDLES TO BE MOUNTED AT 1000mm AFL

MASTER KEY SCHEDULE

MASTER KEY TO OPEN ALL DOORS NEW AND EXISTING

MASTER KEY TO OPEN DOORS - DG-02, DG-03, D1-01, D1-02

MASTER KEY TO SCHOOL ENTRY FOYER (EXISTING)

NOTES:

BUILDER TO ENSURE ALL SUPPLIED KEYS FIT WITH EXISTING AND NEW LOCKING AND DOOR HARDWARE

BUILDER TO LIAISE WITH SCHOOL PRIOR TO ORDERING

BUILDER TO ENSURE KEY COLOURS SHOWN TO IDENTIFY KEY TYPE INCLUDED ON PHYSICAL KEY

SECURITY REQUIREMENTS

BUILDER TO ENSURE EXISTING & NEW BUILDING ENTRY DOORS TO ACCESS SCHOOL ARE FITTED WITH MINIMUM 5mm THICK SECURITY HINGES AND BLOCKER PLATES

EXISTING DOORS (D-EX-01, D-EX-02) TO ENTRY POINTS OF SCHOOL REQUIRE NEW SECURITY 5mm HINGES AND BLOCKER PLATE INSTALLED AS PER DOOR HARDWARE SCHEDULE.

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project no
20220006

project address
15 Slalom St, Falls Creek VIC 3699

client
Victorian Schools Building Authority (VSBA)

drawing
WALL, DOOR & WINDOW SCHEDULE

drawing number
A510

revision
T1

drawn
AF

checked
PM

scale
As indicated @A1

date
03.08.2022

stage
TENDER - NFC

north

Notes

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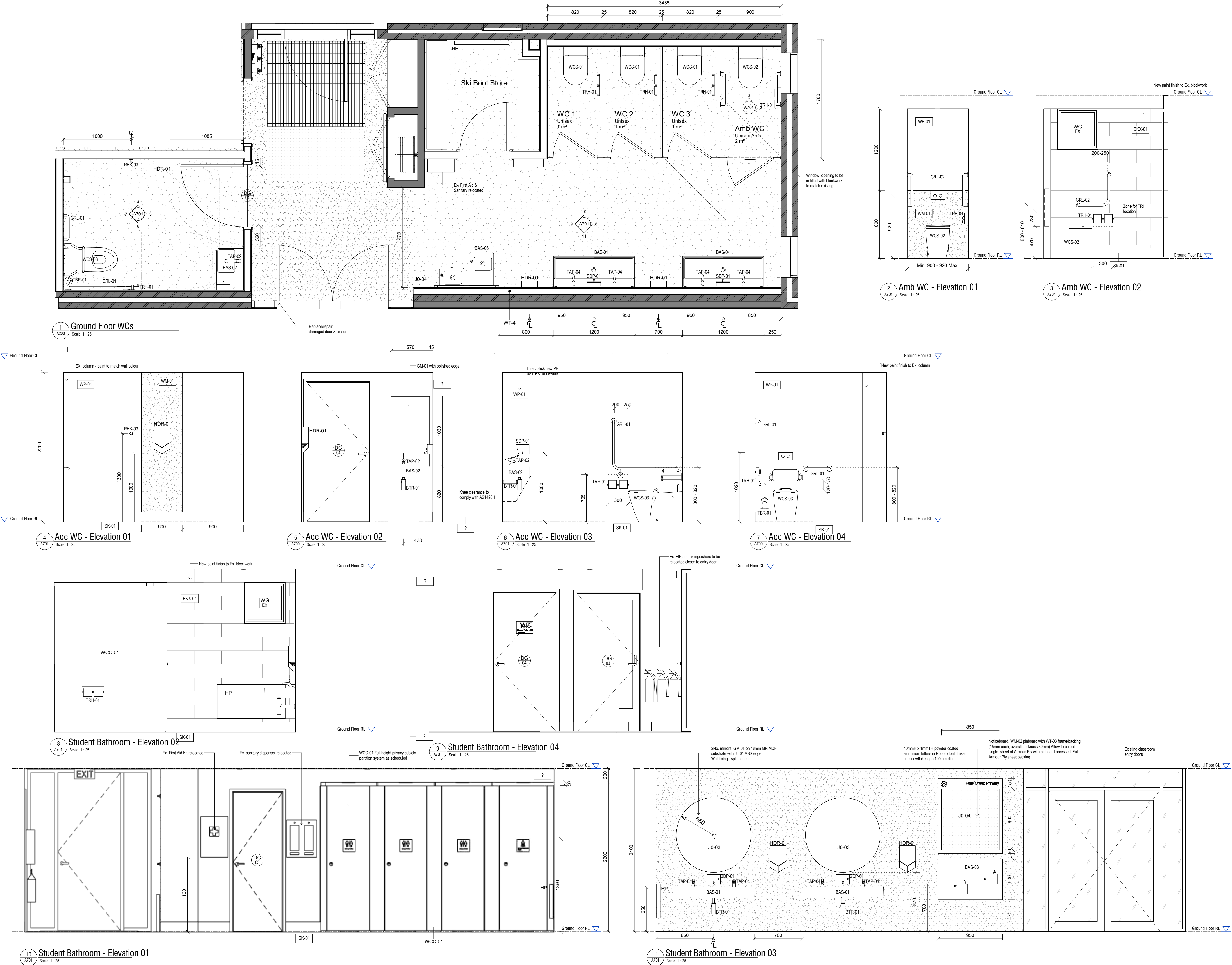
Builder to check that this drawing is the most recent amendment.

Do not scale the drawings.

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Rev.	Date	Description
T1	03.08.2022	ISSUED FOR TENDER



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project
Falls Creek Primary School
Redesign
project address

project no
20220006

15 Slalom St, Falls Creek VIC 3699

client
Victorian Schools Building Authority (VSBA)

drawing
INTERNAL ELEVATIONS - AMENITIES

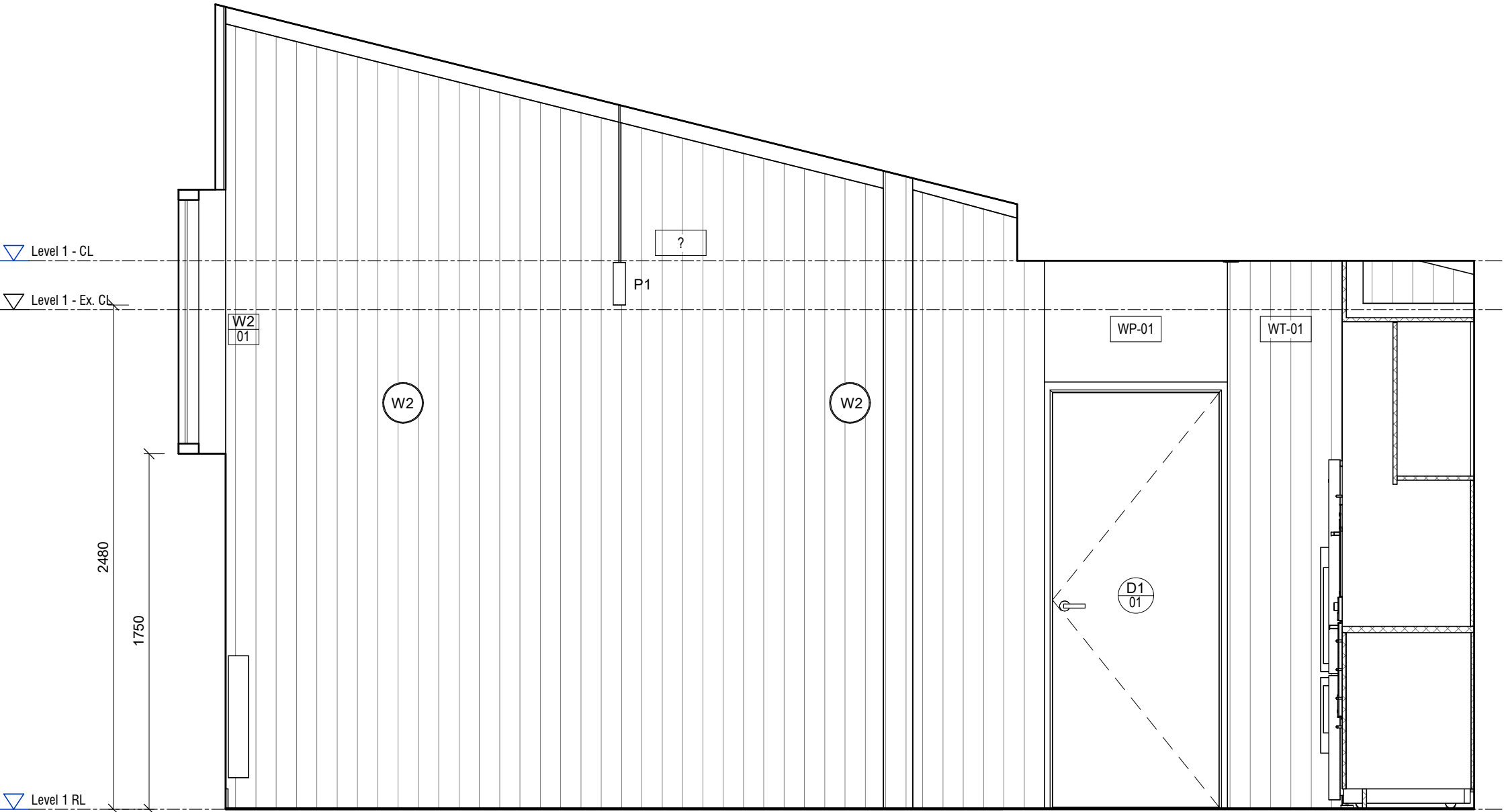
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A701 T1 AF PM

scale date
1:25 @A1 03.08.2022

stage
TENDER - NFC

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Rev.	Date	Description
T1	03.08.2022	ISSUED FOR TENDER

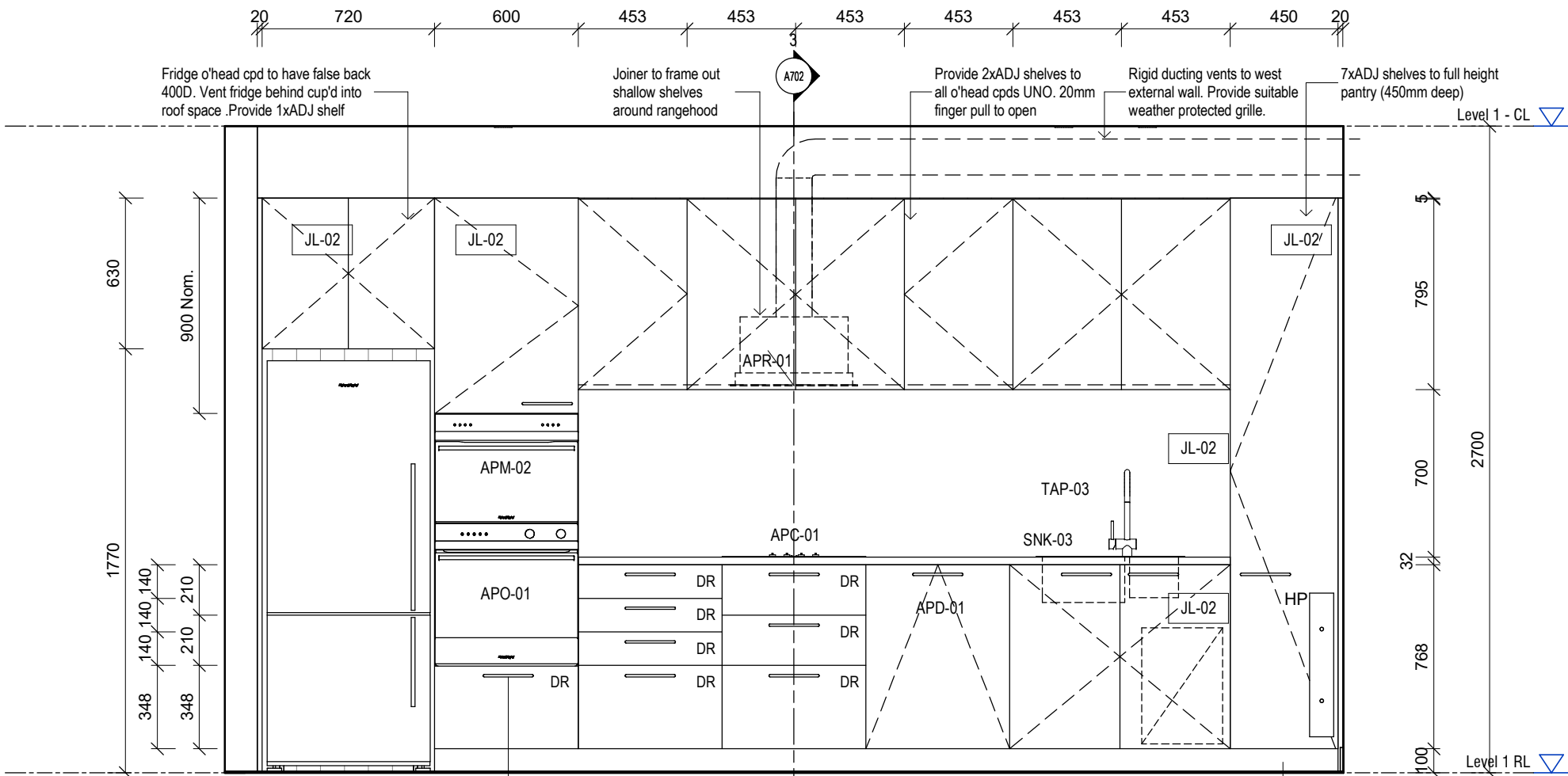


13 Living - Elevation 01

A201

Scale 1: 25

W2

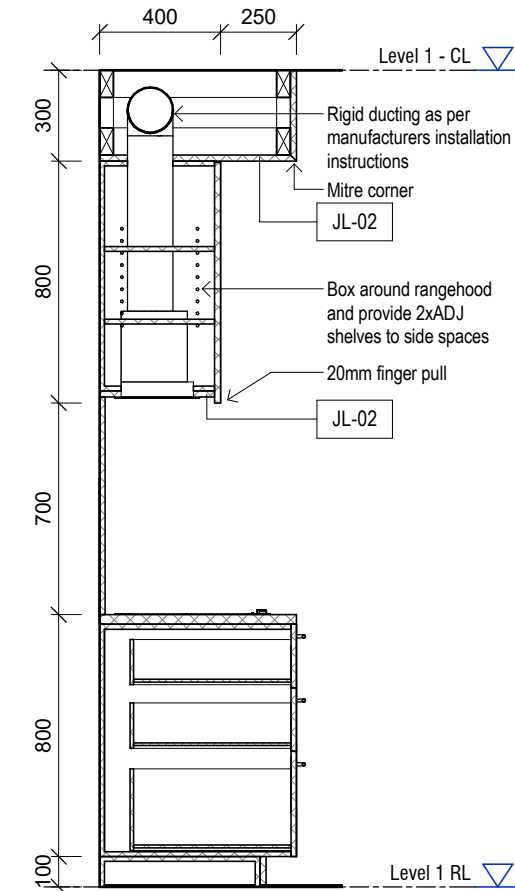


2 J1-01 Kitchen - Elevation 1

A201

Scale 1: 25

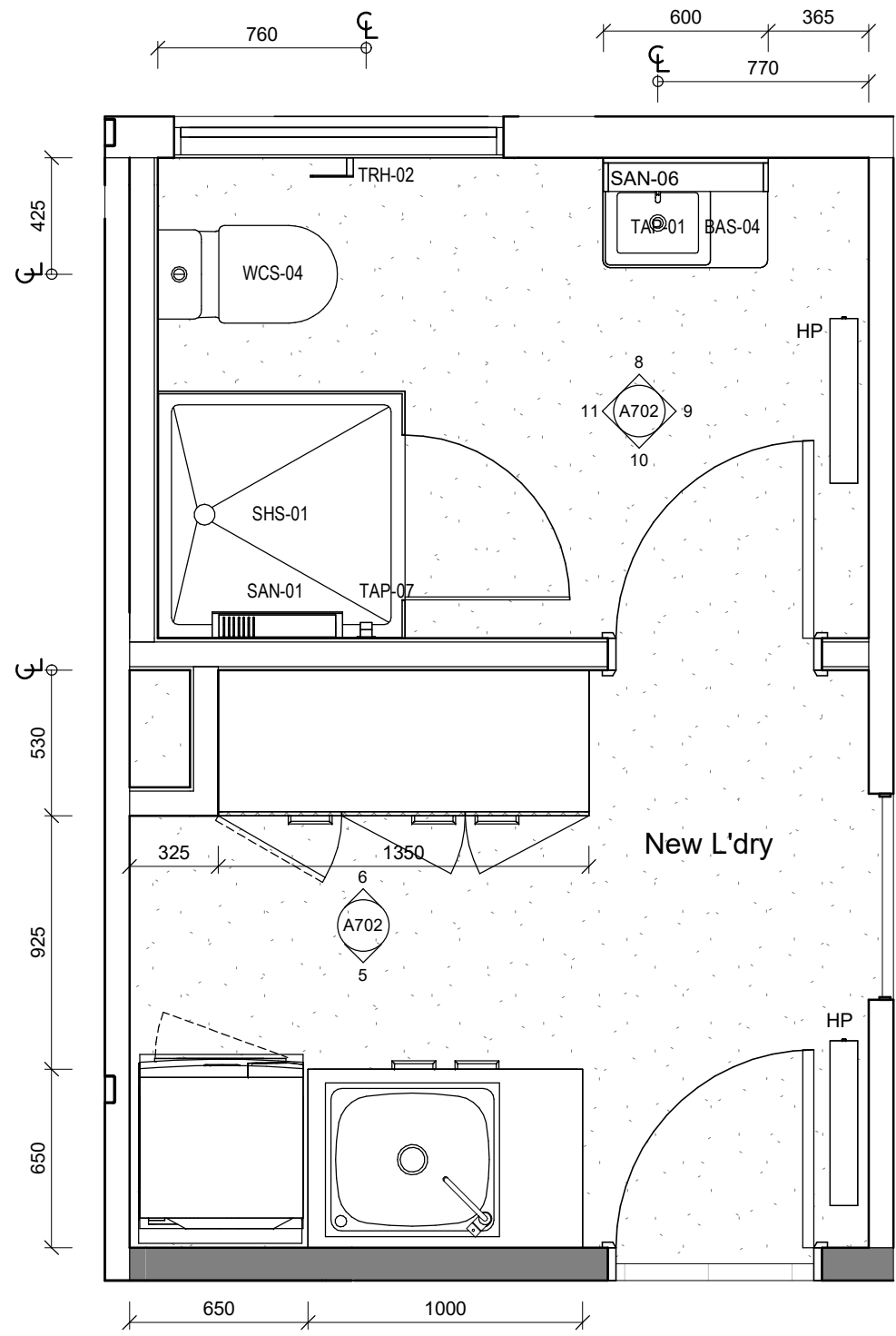
NOTE: JL-03 BLACK MELAMINE TO ALL INTERNALS



3 J1-01 Kitchen Section

A702

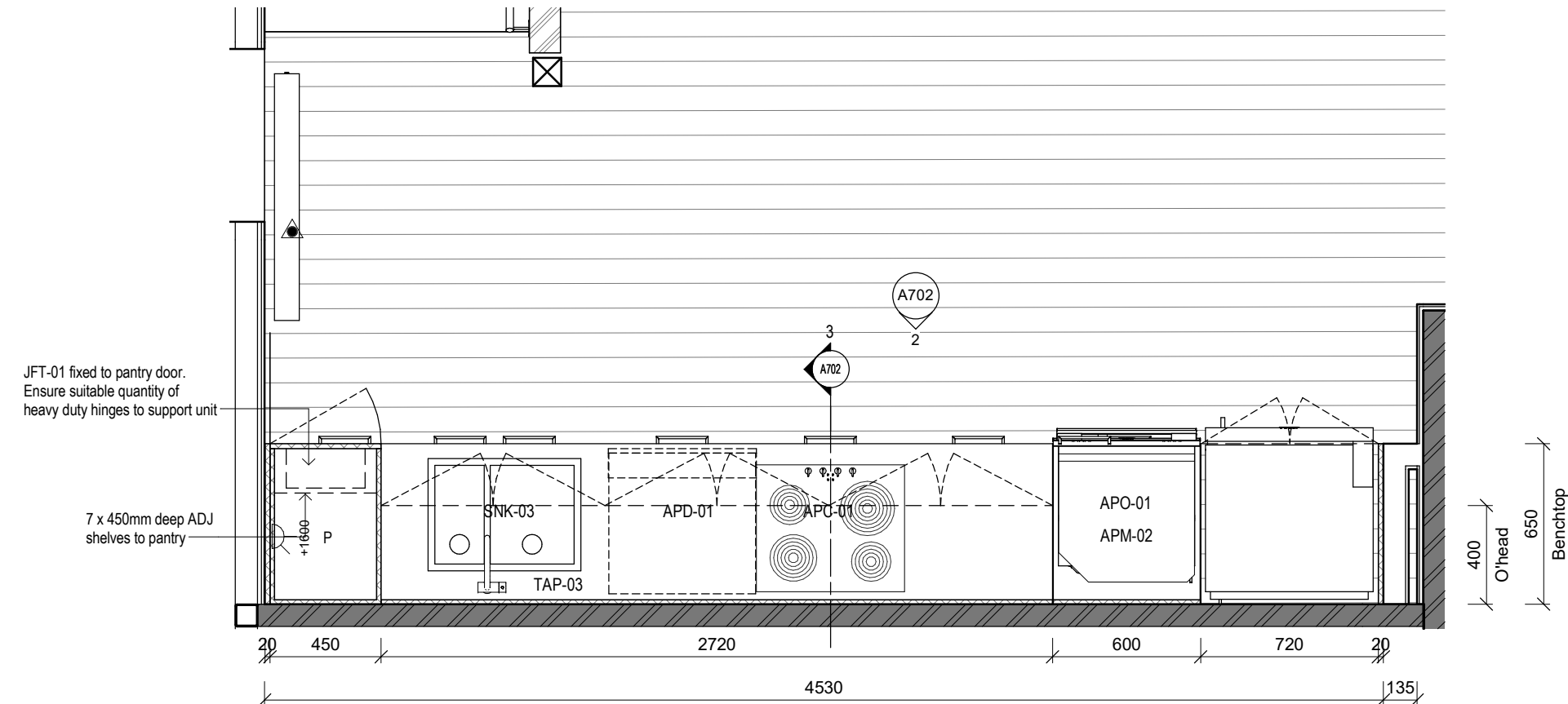
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4 Level 1 - Ens 01/Ldy/Pdr

A201

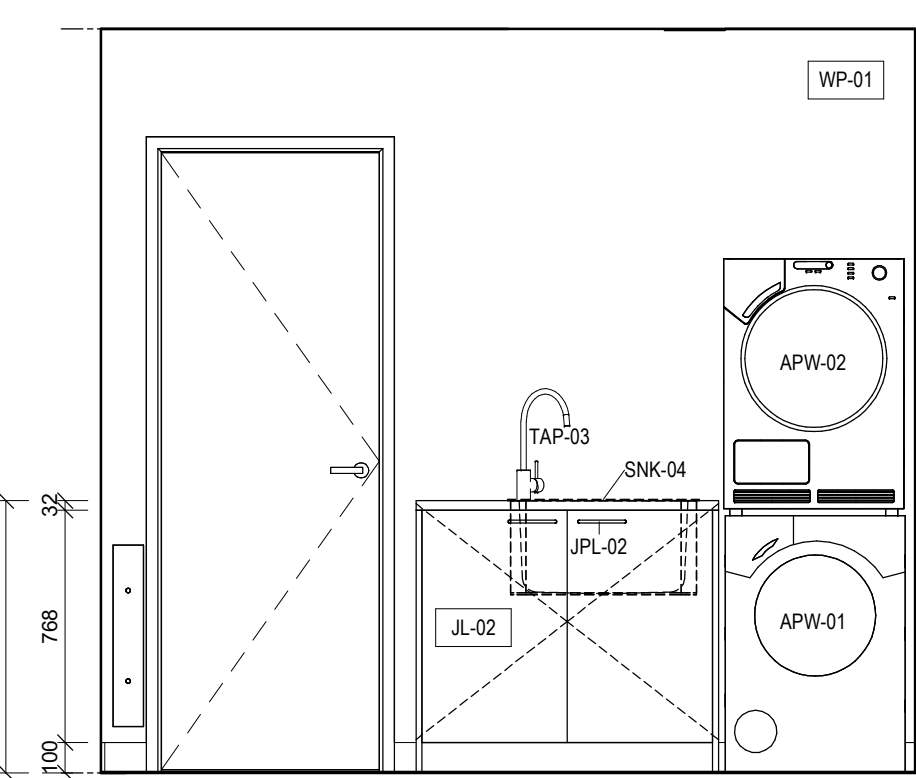
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1 Level 1 - J1-01 Kitchen

A201

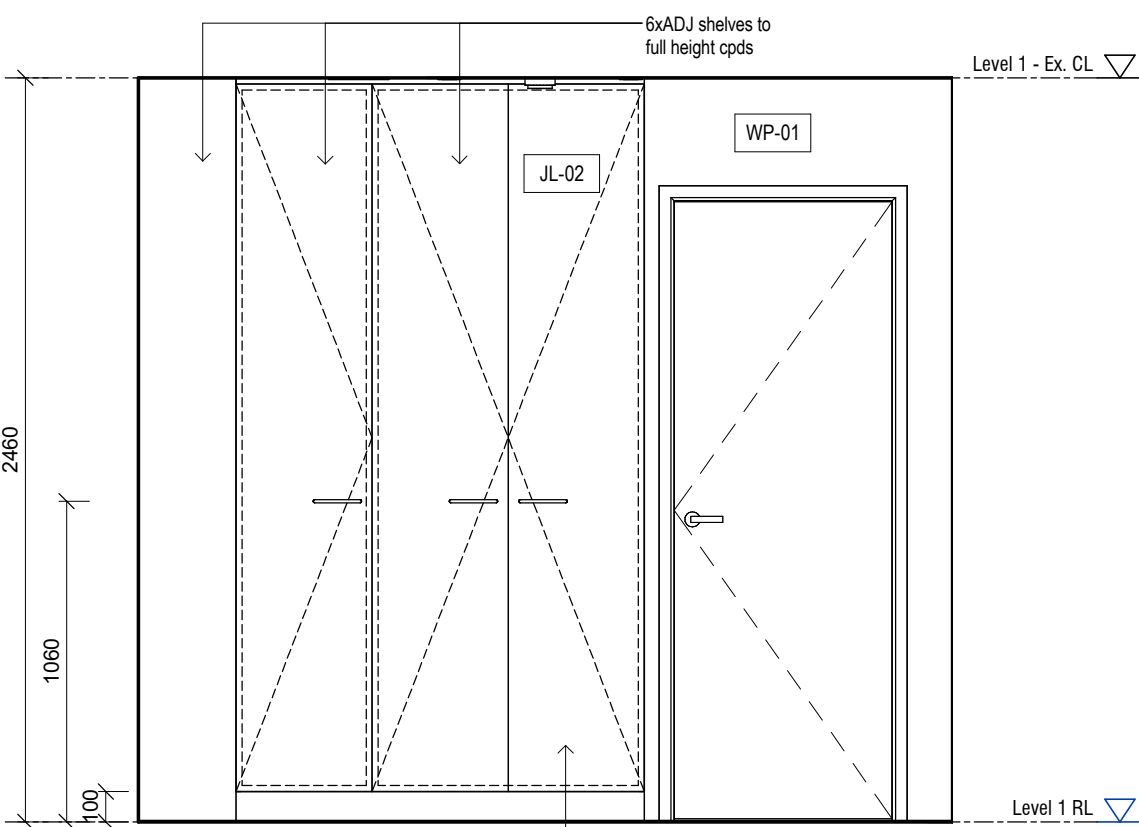
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5 Laundry - Elevation 01

A201

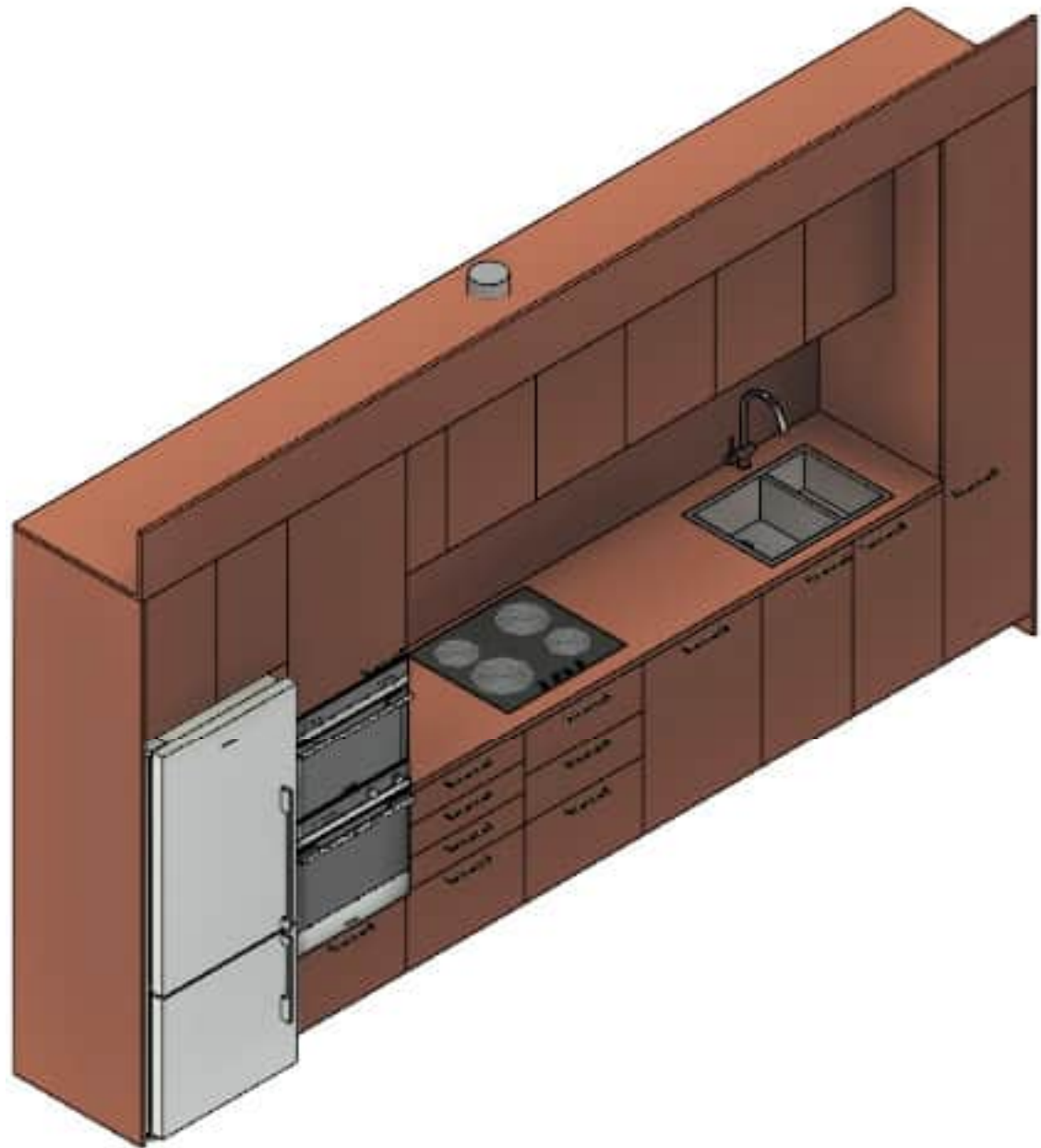
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6 Laundry - Elevation 02

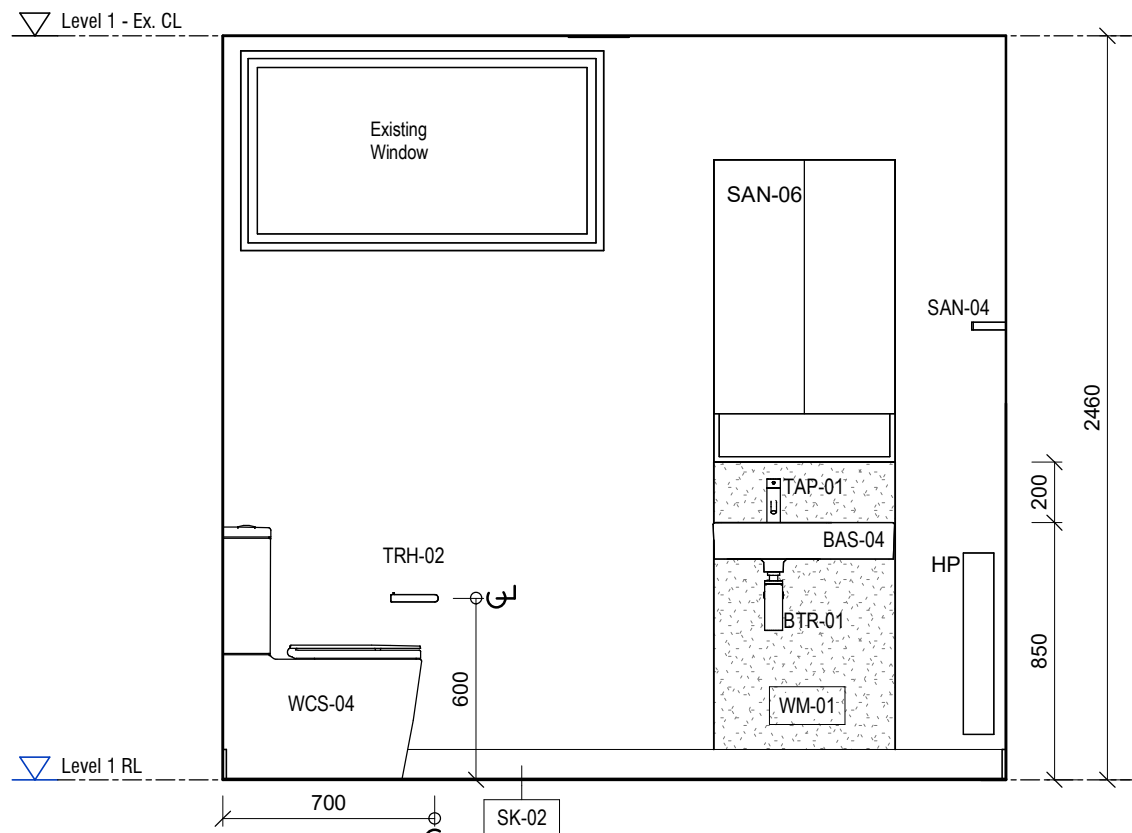
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Scale 1: 25



7 3D View - J1-01 Kitchen

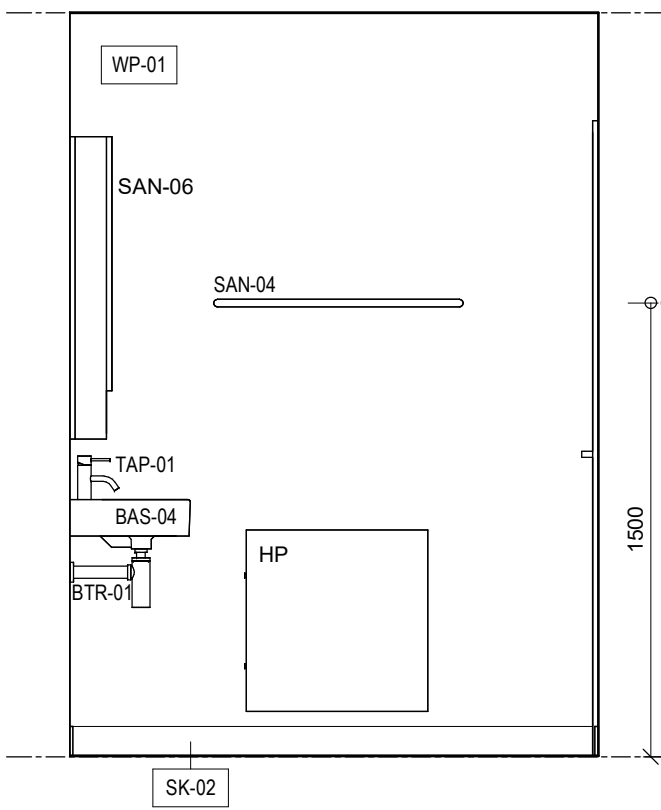
Scale



8 Bathroom - Elevation 01

A201

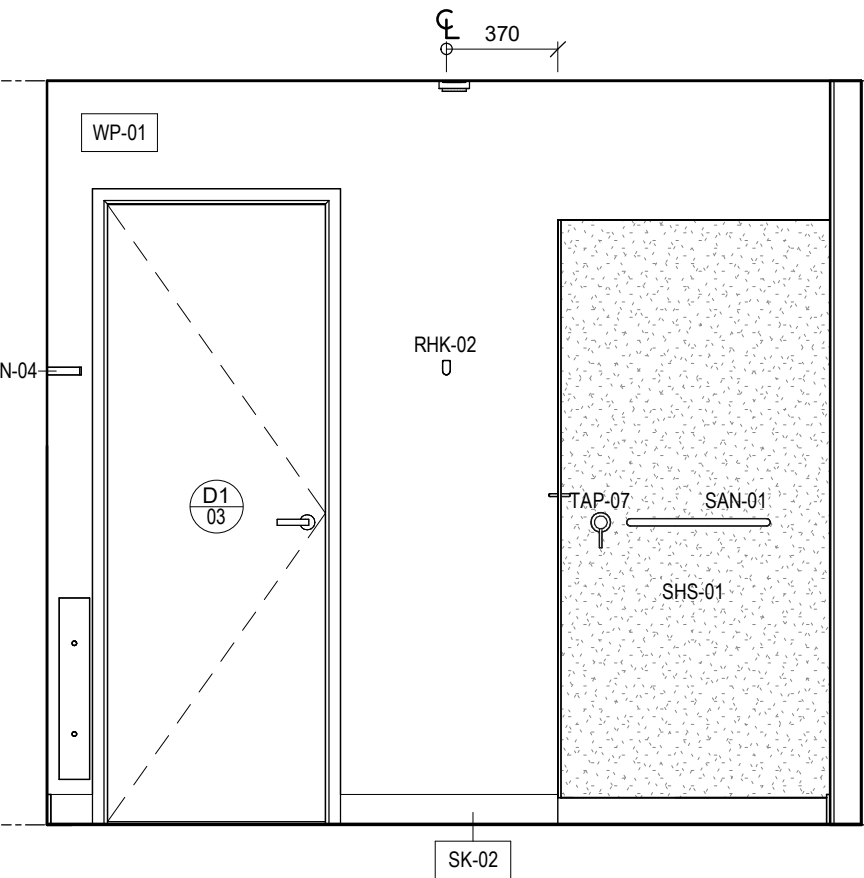
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9 Bathroom - Elevation 02

A201

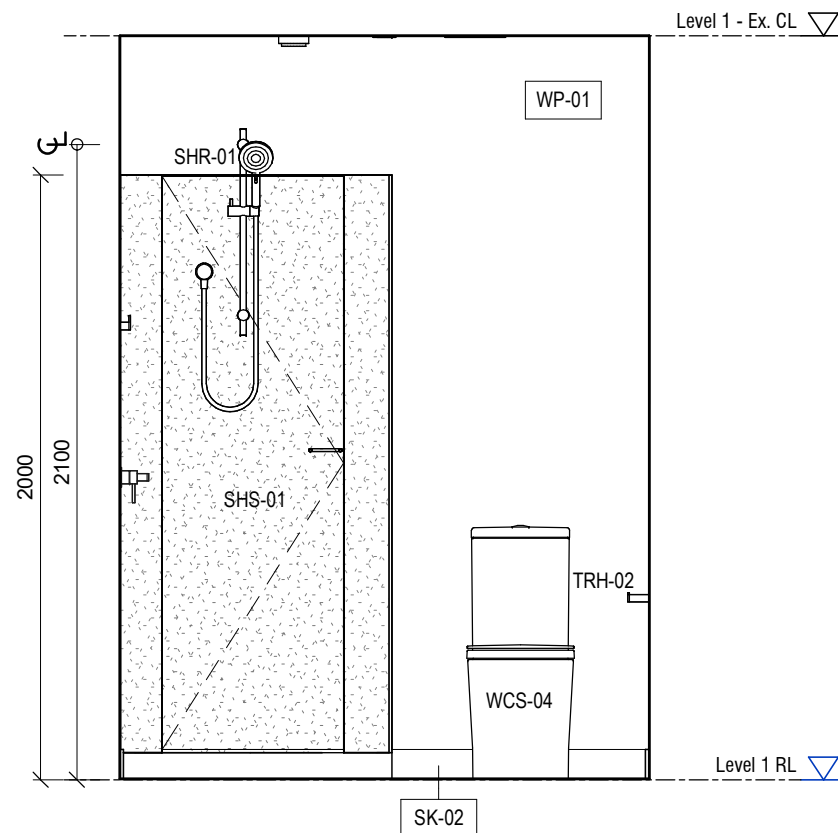
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10 Bathroom - Elevation 03

A201

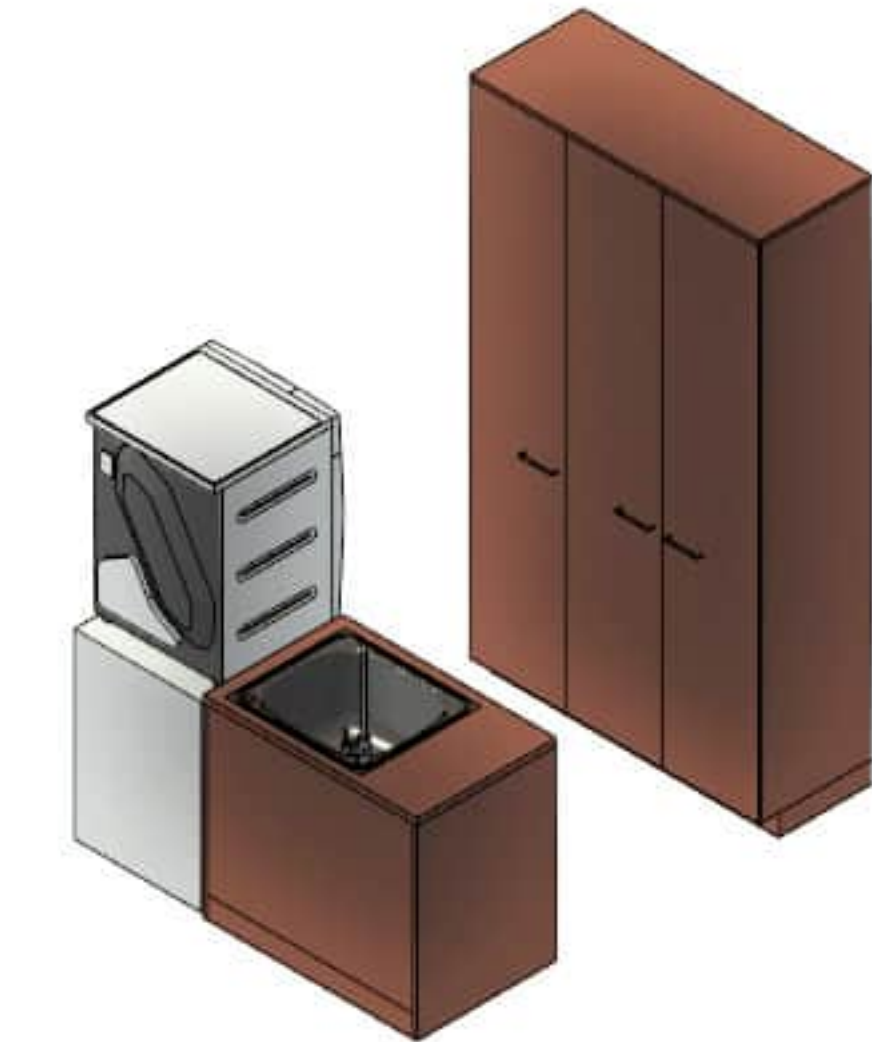
Scale 1: 25



11 Bathroom - Elevation 04

A201

Scale 1: 25



12 3D View - Laundry

Scale

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project Falls Creek Primary School Redesign project address 15 Slalom St, Falls Creek VIC 3699

client Victorian Schools Building Authority (VSBA)

drawing INTERNAL ELEVATIONS - APARTMENT

drawing number A702 revision T1 drawn AF checked PM

scale 1: 25 @A1 date 03.08.2022

stage TENDER - NFC

Notes

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