DRA	WING REGISTER
SHEET No	SHEET NAME
A01	LOCALITY, SITE PLAN
A01 A02	GENERAL NOTES
A02 A03	BUILDING SITE
A03 A04	EXISTING FLOOR PLAN - GROUND
A04 A05	PROPOSED FLOOR PLAN - GROUND
A05 A06	PROPOSED FLOOR PLAN - GROUND
A06 A07	FLOOR FINISHES
A07 A08	CIRCULATION SPACE
A08 A09	ELEVATIONS
A09 A10	SECTIONS
A10 A11	SECTIONS SECTIONS, ROOF PLAN
A11 A12	REFLECTED CEILING PLANS
	3D PERSPECTIVES
A13 A14	DETAILS
A14 A15	DETAILS
A15 A16	DETAILS
A16 A17	DETAILS
A18	
A19 A20	INTERNALS
A21	INTERNALS
A22	INTERNALS
A23	INTERNALS
A24	INTERNALS
A25	INTERNALS
A26	INTERNALS
A27	INTERNALS
A28	INTERNALS
A29	3D PERSPECTIVES



SITE DATA:-

Project Details:

Building Class: Class 5 & 9b

Envelope: For the purposes of—

the exterior of the building; or

Building Envelopes:

1800 434 110

DATE

REV

Ceiling/roof: External wall:

the floor above a carpark or warehouse; and the common wall with a carpark, warehouse or the like;

This report is based on the following architectural plans provided by the client,

Section J in NCC Volume One, the parts of a building's fabric that separate a conditioned space or habitable room from—

and the second s

admin@nrgeh.com.au

Project No: 7608 Revision: Prelim 5 Date: 10/04/2025

a non-conditioned space including— the floor of a rooftop plant room, lift-machine room or the like; and

Climate Zone: 6

ADDRESS:	28 DRAGE ROAD, WEST WODONGA VIC 3690
LOT NUMBER:	301
PS NUMBER:	610931
SITE AREA:	9.536 ha
CLIMATE ZONE:	6
LAND ZONE:	GRZ GENERAL RESIDENTIAL ZONE

AREA TABULATION.	APPROX ARE	AS. BUILDER TO	CONFIRM
NAME	AREA	SQUARES	LEVEL
PROPOSED FIRST FLOOR	452.99 m ²	48.71	1st F.L 3800
PROPOSED FIRST FLOOR VOID	149.73 m ²	16.10	1st F.L 3800
PROPOSED GROUND FLOOR	603.71 m ²	64.92	Ex. F.L 0000
	1206.43 m ²	129.72	

SECTION J REQUIREMENTS - REFER TO FULL SECTION J REPORT

CICS Efficient Homes

Summary of requirements:

1800 434 110

Ceiling / Roof	 Install R4.0 insulation & R1.3 roof blanket to all proposed ceiling/roof areas (Refer to Building Envelope) 		
	Or provide a ceiling and roof system with total performance of R1.3		
Walls	 Install R2.7 insulation to all external walls serving the building envelope, Install R0.20 Thermal Break wrap to all metal stud frame (where applicable) (Refer to Building Envelope) 		
	Or provide an external wall/glazing system/s with total performance of R2.6		
Glazing	 All external glazing to achieve a total U value of 6.7 & SHGC of 0.55. All internal glazing to achieve a total U value of 6.7 & SHGC of 0.75. 		
	Must achieve the same or lower U values as specified above. Must achieve the same SHGC values or within 5% +/- tolerance as specified above.		
Roof Lights	 Roof Lights to achieve a total U value of no more than 6.0 & SHGC of ≤0.60 		
Floor	1. No additional insulation required.		
Insulation	All reflective & bulk insulation must be installed in accordance with Part J4D3		
Building Sealing	Conditioned building envelope to be sufficiently sealed in accordance with Part J5		
Artificial lighting	The aggregate design illumination power load must not exceed Total 4639 watts		
Air-conditioning	Air-conditioning and ventilation systems and components will be designed in accord with the DTS requirements of Part J6 and a seperate report will be submitted by the mechanical services engineer/designer to verify compliance where required. Unitary <i>air-conditioning</i> equipment including packaged air-conditioners, split system variable refrigerant flow systems must comply with <i>MEPS (Minimum Energy Perform</i> <i>Standards)</i>		
Heated water supply	A heated water supply system for food preparation and sanitary purposes to be desi and installed in accordance with Part B2 of NCC Volume Three — Plumbing Code of Australia.		
Energy monitoring	The proposed building exceeds 500 m2 floor area, provide an energy meter configured record the time-of-use consumption of gas and electricity.		
Renewable energy and electric	A min. 7kW PV solar system required to service the proposed building.		
vehicle charging	The proposed building must have features that facilitate the future installation of on-s renewable energy generation and storage; and electric vehicle charging equipment (w applicable) in accordance with J9D4 & J9D5.		

LOCALITY, SITE PLAN THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING COLOUR USED FOR PRESENTATION ONLY MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK

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NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE AMENDMEN WRITTEN CONSENT OF ROB PICKETT DESIGN.

NSW:- Certified

Building Designer

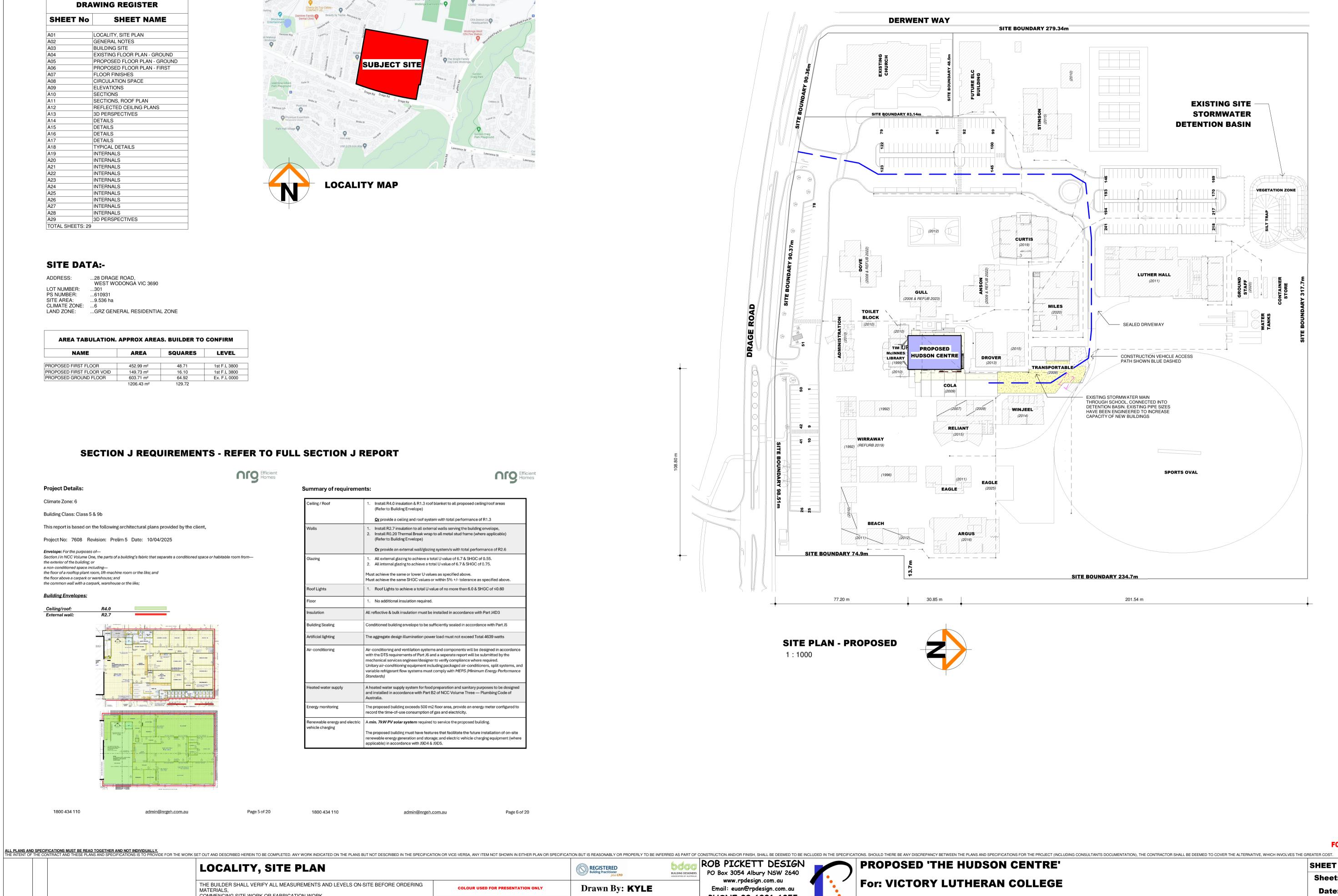
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SHEET SIZE "A1" REGISTERED Building Practitioner Sheet: A01 Drawn By: KYLE Date: 2-6-2025 PHONE 02 6021 1355 At: 28 DRAGE ROAD, WODONGA VIC 3690 Incredible Ideas Pty. Ltd. Job No: 7608 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246 Checked By: EUAN ABN 72 003 725 246 Trading as Rob Pickett Design. Z:\- REVIT\- Revit\- Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/06/2025 1:18:00 PM

GENERAL NOTES - NCC VOL 1

INTELLECT	UAL PROPERTY AND USE OF THIS DOCUMENT
•	THIS DOCUMENT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF ROB PICKETT DESIGN , FOR THE PURPOSE EXPRESSLY NOTIFIED TO
	THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN
	RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE. THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS AND INFORMATION PROVIDED BY THE CONSULTANTS INVOLVED
•	WITHIN THE PROJECT, AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
	A BUILDING PERMIT/CONSTRUCTION CERTIFICATE IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THIS DOCUMENT
	IS CONDITIONAL ON THE CLIENT OBTAINING THE REQUIRED PERMIT.
MATERIAL	S AND TRADE PRACTICES
	ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF NATIONAL CONSTRUCTION CODE 2022 BUILDING CODE OF AUSTRALIA VOLUME 1 (HEREAFTER REFERRED TO AS BCA), AND ALL RELEVANT CURRENT AUSTRALIAN
	STANDARDS REFERRED TO THEREIN.
	WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.
•	IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER] AS MEETING BCA PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR INSTALLATION.
	AS INCLINED BOT FOR DATE AND A DA
,	THE BUILDER SHALL SUBMIT TO THE RELEVANT AUTHORITY A SITE ENVIRONMENTAL MANAGEMENT PLAN, OH&S SITE MANAGEMENT PLAN AND TRAFFIC
	MANAGEMENT PLAN PRIOR TO THE COMMENCEMENT OF ANY WORK.
ARIATION	S SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND BCA, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY
	SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS TAKEN.
	THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER,
	EXCEPT WHERE THE (RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER) MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING
	PERMIT APPLICATION, AND WHERE SUCH CHANGES ARE REPORTED BACK TO THE DESIGNER WITHIN 48 HOURS OF THEIR MAKING. THE BUILDER SHALL NOT ALTER, AMEND OR SUBSTITUTE WORKS OR SPECIFIED PRODUCTS OR MATERIALS WITHOUT THE AGREEMENT OF THE
	DESIGNER. THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR
	FOR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO
	THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER], PRIOR TO IMPLEMENTATION.
IEASURE	HENTS DO NOT SCALE OFF DRAWINGS, REFER TO DIMENSIONS INDICATED AT ALL TIMES AND SEEK CLARIFICATION FROM THE DESIGNER IF DIMENSIONS ARE
	DO NOT SCALE OFF DRAWINGS, REFER TO DIMENSIONS INDICATED AT ALL TIMES AND SEEK CLARIFICATION FROM THE DESIGNER IF DIMENSIONS ARE UNCLEAR.
,	DIMENSIONS ON DETAILED/ZOOMED IN PLANS AND DRAWINGS TAKE PRECEDENCE OVER THOSE THAT ARE GENERAL/ZOOMED OUT.
•	SITE PLAN MEASUREMENTS ARE IN METRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
•	ALL LEVELS ARE TO 'AUSTRALIAN HEIGHT DATUM' (AHD). ALL RELATIVE LEVELS (RLS) GIVEN ARE NOMINAL AND AS PER THE SURVEY DRAWING PREPARED BY THE RELEVANT LAND SURVEYOR.
•	UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT STRUCTURAL MEMBERS, NOT
	FINISHED LININGS/CLADDING.
•	THE BUILDER AND SUB-CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, RLS, SPECIFICATIONS, AND ALL OTHER RELEVANT
	DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ANY DISCREPANCIES TO THE PROJECT COORDINATOR OR DESIGNER FOR CLARIFICATION.
,	THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SURVEY DRAWING FOR SET-OUT PURPOSES.
CROSS RE	FERENCED DOCUMENTS
•	CONDITIONS SET DOWN IN PLANNING PERMIT/DEVELOPMENT APPLICATION FORM PART OF THIS DOCUMENTATION.
	THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH PLANS, DETAIL DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTATION PROVIDED BY FOR THE PROJECT.
PROTECTIO	I NE PROJECT AND ADJOINING BUILDINGS AND ASSETS
	THE BUILDER SHALL RELOCATE ASSETS SUCH AS PARKING METERS, LIGHT POLES AND STREET SERVICES ONLY WITH AND TO THE APPROVAL OF THE
•	THE BUILDER SHALL VERIFY THE LOCATION AND VERTICALITY OF ADJOINING BUILDINGS AND INFORM THE PROJECT SUPERVISOR OF ANY ABNORMALITIES OR ENCROACHMENT INTO THE NEW BUILDING ENVELOPE.
	THE BUILDER SHALL COMPLETE A DILAPIDATION SURVEY AND REPORT FOR ALL BUILDINGS ON ADJACENT SITES PRIOR TO THE COMMENCEMENT OF
	ANY WORKS AND SUBMIT A COPY TO THE PROJECT SUPERVISOR.
•	THE BUILDER SHALL REFER TO ARCHITECTURAL PLANS FOR EXTENT OF PROTECTION WORKS FOR THE FOLLOWING ADJOINING PROPERTIES [ENTER
	DETAILS OF PROPERTIES]. PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST
	DANGER TO LIFE OF ROPERTY; OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.
	WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH.
•	ALL PRACTICABLE MEASURES SHALL BE IMPLEMENTED TO MINIMISE WASTE TO LANDFILL. THE BUILDER MAY USE A CONSTRUCTION WASTE RECOVERY
	SERVICE, OR SORT AND TRANSPORT RECYCLABLE MATERIALS TO THE APPROPRIATE REGISTERED RECYCLER. MATERIALS SHALL NOT BE BURNED ON SITE.
	SILE. A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH
	[INSERT RELEVANT STATE/COUNCIL GUIDELINES OR REGULATION]. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND
	AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND 'SILT STOP' FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL
	STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.
Buii ding i	DUST-CREATING MATERIAL SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST. ELEMENTS
	ALL INTERNAL WALLS SHALL BE FULL HEIGHT UNLESS NOTED OTHERWISE.
•	THE BUILDER SHALL ENSURE ALL WALLS ARE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND COMPLETE WITH
	CONTROL JOINTS, DEFLECTION HEADS, INSULATION (ACOUSTIC, THERMAL) AND FIRE RESISTANCE LEVELS (FRL).
FIMBER FR	GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH BCA B1D4.
	STANDARD TIMBER ROOF AND WALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION)
	AND ALL RELEVANT SUPPLEMENTS.
•	REFER TO STRUCTURAL ENGINEER'S DESIGN AND SPECIFICATION FOR ALL TIMBER FRAMING, LINTELS AND LOAD-BEARING MEMBERS. ALL
	STRUCTURAL TIMBERWORK AND ASSOCIATED CONNECTIONS SHALL COMPLY WITH AS1720. ARCHITECTURAL DRAWINGS DO NOT SHOW ALL STRUTTING BEAMS/HANGING BEAMS/RAFTERS/CEILING JOISTS ETC. ANY ADDITIONAL MEMBERS
	ARCHITECTURAL DRAWINGS DO NOT SHOW ALL STRUTTING BEAMS/HANGING BEAMS/HAPTERS/CEILING JOISTS ETC. ANY ADDITIONAL MEMBERS REQUIRED SHALL COMPLY WITH AS1720.
•	ALL TIMBER MEMBERS SHALL BE STRESS GRADED AND MARKED IN ACCORDANCE WITH AS2858, AS1748 AND AS1749.
,	ALL KDRP AND KDHW MEMBERS SHALL BE SEASONED TO NOT MORE THAN 15% MOISTURE CONTENT.
	ALL WALL BRACING IN EXTERNAL WALLS SHALL BE LOCATED WITHIN THE CAVITY. SECONDARY IN-WALL FRAMEWORK (PREFERABLY IN TIMBER) SHALL BE PROVIDED TO ALL WALL AREAS REQUIRING WALL MOUNTED FIXTURES.
	SECONDARY IN-WALL FRAMEWORK (FREE FRABLY IN TIMBER) SHALL BE PROVIDED TO ALL WALL AREAS REQUINING WALL MOUNTED INTURES, INCLUDING OVERHEAD JOINERY, WALL MOUNTED BASINS AND VANITY CABINES, TOILET SUITES, SHOWER SCREENS, TOWEL RAILS, SHOWER SHELVES
	AND ADUSTABLE SHOWER HEADS AND RAILS.
MASONRY	
,	MASONRY, BRICK AND CONCRETE BLOCK CONSTRUCTION IS TO COMPLY WITH THE RELEVANT STANDARD AS REFERENCED IN BCA B1D4(A) AND AS3700-2011 MASONRY STRUCTURES.
PROTECTIC	ASS/00-2011 MASUNAY STRUCTORES. NO FTHE BUILDING FABRIC
	THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING
	STRUCTURES DURING ALL WORKS.

STRUCTURES DURING ALL WORKS. WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND. WHERE THE BUILDING IS IN A TERMITE-PRONE AREA] ALL PENETRATIONS AND THE PERIMETER OF CONCRETE SLABS SHALL BE TREATED TO MINIMISE THE RISK OF ATTACK BY TERMITES TO PRIMARY BUILDING ELEMENTS IN ACCORDANCE WITH AS3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK. [WHERE A BUILDING IS LOCATED IN A TERMITE-PRONE AREA] THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT VITH AS3660.1 OR AS3660.2. COMPLIANCE WITH F3P1 FOR WEATHERPROOFING OF AN EXTERNAL WALL SHALL BE VERIFIED VIA METHODS AS PER BCA F3V1. COMPLIANCE WITH F3P1 FOR WEATHERPROOFING OF ROOF COVERINGS SHALL BE VERIFIED AS PER BCA F3D2. SARKING-TYPE MATERIAL USED FOR WEATHERPROOFING OF ROOFS AND WALLS SHALL COMPLY WITH AS4200.1 AND AS4200.2 AS PER BCA F3D3.

a) WORKING AT HEIGHTS

1. FALLS, SLIPS, TRIPS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility

DURING OPERATION OR MAINTENANCE For houses or other low-rise buildings where scaffolding is

appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slipperv when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen. FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES Due to design restrictions for this building, steps and/or ramps are

included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below. 1. Prevent or restrict access to areas below where the work is being carried out.

Provide toeboards to scaffolding or work platforms Provide protective structure below the work area. 4. Ensure that all persons below the work area have Personal

Protective Equipment (PPE). BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic

management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical,

disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

ALE NET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS3740. WET AREA SUBFLOOR SET DOWNS SHALL PROVIDE FALLS PER AS3740-2021 AND BE OF SUFFICIENT DEPTH TO ALLOW FOR REQUIRED SCREEDS AND FLOOR FINISHES. INTERIOR WATERPROOFING M IMPERVIOUS SUBSTRATE AND SELECTED SURFACE FINISH SHALL BE APPLIED TO ALL FLOORS WITHIN 1500MM OF AN UNENCLOSED WALL TILES SHALL BE MOUNTED TO THE FOLLOWING MINIMUM HEIGHTS: 300MM ABOVE TROUGHS 600MM ABOVE SINKS AND KITCHEN BENCHES 600MM ABOVE BATH RIMS BOOMIN ABOVE BATH HINS 1800MM ABOVE SHOWER FLOORS NEW TILED AREAS SHALL INCLUDE 25-50MM THICK CONCRETE SCREED FOR PRESCRIBED FALLS TO FLOOR WASTE. WATERPROOF MEMBRANES, FLOOR WASTES, THRESHOLD PLATES AND PUDDLE FLANGES SHALL BE INSTALLED AS SPECIFIED BY THE MANUFACTURER. FLOOR WASTES SHOWN ARE INDICATIVE ONLY. REFER TO ID DRAWINGS FOR SET OUT EXTERNAL WATERPROOFING ALL EXTERNAL WET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS4654.1 EXTERNAL WATERPROOFING MEMBRANES, INCLUDING ON ROOFS, BALCONIES, PODIUMS OR SIMILAR HORIZONTAL SURFACES, SHALL ET DOWNS TO BALCONY/TERRACE AREAS FROM INTERNAL FLOOR LEVEL SHALL BE 100MM UNLESS INDICATED OTHERWISE INSTALLATION OF WATERPROOFING MEMBRANES FOR ALL EXTERNAL BALCONIES/DECKS SHALL BE IN ACCORDANCE WITH AS4654.1 AND THE MATERIALS USED TO BE IN ACCORDANCE WITH AS4654.2. ALL BALCONY FLOORS SHALL HAVE <1:100 FALLS TO FLOOR WASTE OR BALCONY OUTLETS. FLOOR WASTES SHOWN ARE INDICATIVE ONLY. REFER TO ID DRAWINGS FOR SET OUT. FLOOR WASTES, THRESHOLD PLATES AND PUDDLE FLANGES SHALL BE INSTALLED AS SPECIFIED BY THE MANUFACTURER. PROVISION SHALL BE MADE FOR OVERFLOWS FROM BALCONIES SEPARATE FROM MAIN BALCONY OUTLETS STORMWATER AND SEWERS STORMWATER DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3 IN COMPLIANCE WITH BCA F1D3. REFER TO CIVIL ENGINEER'S DRAWINGS AND COMPUTATIONS. STORMWATER RUN-OFF SHALL BE COLLECTED AND DRAINED TO THE LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY ACCESS & EGRESS ALL ACCESSIBLE PARTS OF THE BUILDING SHALL COMPLY WITH CURRENT AS1428.1 AND BCA PART D1. ALL ACCESSIBLE PARTS OF THE BUILDING SHALL COMPLY WITH CURRENT AS 1420.1 AND BOA PART DT. TACTILE INDICATORS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1428. PART 4. SIGNAGE TO ALERT PERSONS OF THE OPERATION OF CERTAIN DOORS SHALL COMPLY WITH BCA D3D28 AND SHALL BE IN ACCORDANCE NITH AS1428.1 CLEAR AND LEGIBLE BRAILLE AND TACTILE SIGNAGE SHALL BE SUPPLIED. COMPLYING WITH SPECIFICATION D3.6 AND INCORPORATING THE TERNATIONAL SYMBOL OF ACCESS OR DEAFNESS OR OTHER SYMBOL AS APPROPRIATE. IN ACCORDANCE WITH AS1428. PART 4. BRAILLE IGNAGE SHALL STATE "EXIT" AND "LEVEL" AND EITHER THE FLOOR LEVEL NUMBER, DESCRIPTOR OR A COMBINATION OF THE TWO. ALL DOORWAYS SHALL MEASURE 850MM CLEAR OPENINGS. DOORWAYS SHALL BE PROVIDED WITH CIRCULATION CLEARANCES IN ACCORDANCE WITH CURRENT AS1428.1 FIGURES 31 AND 32. ALL PUBLIC STAIRS AND ALL PATHS OF TRAVEL TO AN EXIT SHALL HAVE A >1000MM CLEAR UNOBSTRUCTED PATH. AFTER DISCHARGING FROM AN EXIT TO AN OPEN SPACE THE PATH OF TRAVEL TO THE ROAD SHALL HAVE AN UNOBSTRUCTED WIDTH THROUGHOUT OF NOT LESS THAN 1000MM OR THE WIDTH OF THE REQUIRED EXIT, WHICHEVER IS THE GREATER. EXITS AT GROUND FLOOR SHALL NOT BE BLOCKED AT THE WINT OF DISCHARGE AND WHERE NECESSARY, SUITABLE BARRIERS SHALL BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING AN EXIT, OR ACCESS TO IT. DOORS SHALL BE DEMOUNTABLE FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS. A DOOR IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT SHALL BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS BY A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900 MM AND 1.1 M FROM THE FLOOR AND IF SERVING AN AREA REQUIRED TO BE ACCESSIBLE BY BCA D4: BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH; AND HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE OF NOT LESS THAN 35 MM AND NOT MORE THAN 45 MM; OR A SINGLE HAND PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900 MM AND 1.2 M FROM THE FLOOR IN ACCORDANCE WITH BCA D3D26 OPERATION OF LATO DOOR HARDWARE, OTHER THAN IN "REQUIRED" DOORS, SHALL BE INSTALLED 900MM - 1100MM ABOVE THE FINISHED FLOOR UNO. DOOR HARDWARE, OTHEN THAN IN "REQUIRED" DOORS, SHALL BE INSTALLED 900MM – 1100MM ABOVI SAFETY & WELLBEING OF BUILDING USERS WHERE STAIRS ARE TO BE CONSTRUCTED, THESE SHALL COMPLY WITH ALL PROVISIONS OF D3D14. [FOR A PUBLIC BUILDING] OTHEN THAN A SPIRAL STAIR: RISERS SHALL BE <190MM AND >150MM GOINGS SHALL BE <190MM AND >250MM OD OF UNL DE CARDWARE OD O 2B+G SHALL BE <700MM AND >550MM THERE SHALL BE LESS THAN 125MM GAP BETWEEN OPEN TREADS. [FOR A PRIVATE BUILDING] OTHER THAN A SPIRAL STAIR: RISERS SHALL BE <190MM AND >115MM ODUBO SHALL BE <190MM AND >115MM GOINGS SHALL BE <355MM AND >240MM R+G SHALL BE <700MM AND >550MM HANDRAILS ON STAIRS, LANDINGS AND RAMPS SHALL BE CONTINUOUS, WITH TOPS SET >865MM VERTICALLY ABOVE STAIR NOSING AND LOOR SUBFACE OF BAMPS ERNAL FINISHED FLOOR SURFACES FOR STAIR TREADS, RAMPS AND LANDINGS SHALL HAVE A SLIP-RESISTANCE NOT LESS THAN THAT LISTED IN THE TABLE BELOW, WHEN TESTED IN ACCORDANCE WITH AS4586. ALL FLOOR FINISHES TO COMMON AREAS, INCLUSIVE OF FOYER, CORRIDORS & GARDENS, AND WET AREA THING AND EXTERNAL BALCONY TILING TO APARTMENTS, SHALL COMPLY FULLY WITH AS/NZS 4586 & 4663 AND STANDARDS AUSTRALIA & CSIRO HANDBOOK HEIP7 AN INTRODUCTORY GUIDE TO THE SLIP RESISTANCE OF PEDESTRIAN SURFACE MATERIALS. PROVIDE TEST CERTIFICATION TO VERIFY COMPLIANCE AS 4586 APPLIES TO ALL NEW PEDESTRIAN SURFACES. THE NCC REQUIREMENTS ONLY APPLY TO STAIRWAYS, RAMPS AND LANDINGS. WHERE A GENERAL SURFACE REQUIREMENT IS IN CONFLICT WITH A STAIRWAY, RAMP OR LANDING REQUIREMENT, THE LATTER TAKES PRECEDENCE.

WHERE A FALLS BISK EXISTS AS SET OUT IN D1P3. THEN CONTINUOUS BALUSTRADES SHALL BE PROVIDED, AND BE <1000MM ABOVE FFL OF BALCONIES, LANDINGS OR THE LIKE, AND
 <865MM ABOVE STAIR NOSING OR RAMP, AND
 <865MM ABOVE STAIR NOSING OR RAMP, AND
 VERTICAL WITH A 120MM MAXIMUM GAP BETWEEN OPENINGS (125MM SPHERE NOT TO PASS THROUGH OPENINGS).
 COMPLIANCE FOR WIRE FALL PREVENTION BARRIERS SHALL BE VERIFIED ACCORDING TO THE METHOD SET OUT IN BCA DIV1. THERE SHALL BE A LEVEL TRANSITION BETWEEN ABUTTING INTERNAL SUFFACES (A MAXIMUM VERTICAL TOLERANCE OF 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED). • SWIMMING POOL SAFETY MEASURES SHALL COMPLY WITH AS1926 SWIMMING POOL SAFETY PART 1 & PART 2. [FOR A CLASS 2 OR 3 BUILDING] SOUND TRANSMISSION BETWEEN WALLS AND FLOORS SHALL COMPLY WITH F7P1 AND F7P2 AND VERIFIED ACCORDING TO F7V1 AND F7V2. [SUBSTITUTE PROVISIONS FOR OTHER CLASSES OF BUILDING AS APPROPRIATE]

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. nstruction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance

6. HAZARDOUS SUBSTANCES ASBESTOS

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to:

1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos

with manufacturer's specification.

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material. TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

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:- Certified ing Designer	Incredible I ABN 72 00

PROJECT.

			GENERAL NOTES		
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.	COLOUR USE	ED FOR PI
			COPYRIGHT RESERVED.	NSW:- Certified	Incre ABN
DATE	REV	AMENDMENT	NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.	Building Designer VIC:- DP/AD 1076	Tradi

EXCAVATION

all excavations should be provided. ENCLOSED SPACES For buildings with enclosed spaces where maintenance or other access may be required:

should be provided. SMALL SPACES For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

9. OPERATIONAL USE OF BUILDING

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

RESIDENTIAL BUILDINGS

7. CONFINED SPACES

Construction of this building and some maintenance on the

building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment

8. PUBLIC ACCESS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel

construction and concrete placement. All the above applies. THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE

THIS INCLUDES (but is not excluded to): **OWNER, BUILDER, SUB-CONTRACTORS** CONSULTANTS, RENOVATORS, **OPERATORS, MAINTENORS, DEMOLISHERS.**

		IFICATIONS MUST BE READ TOGETHER AND NOT INDIVIDUALLY. ONTRACT AND THESE PLANS AND SPECIFICATIONS IS TO PROVIDE FOR THI	WORK SET OUT AND DESCRIBED HEREIN TO BE COMPLETED. ANY WORK INDICATED ON THE PLANS BUT NOT DESCRIBED IN THE SPECIFIC	ATION OR VICE-VERSA, ANY II	TEM NOT SHOWN IN EITHER PLAN OR SPECIFI	CATION BUT IS REASONABLY OR PROPERLY TO BE INI	FERRED AS PART OF CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO
			GENERAL NOTES			REGISTERED Building Practitioner	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA PO Box 3054 Albury NSW 2640
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.	COLOUR US	ED FOR PRESENTATION ONLY	Drawn By: KYLE	www.rpdesign.com.au Email: euan@rpdesign.com.au
DATE	REV	AMENDMENT	COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.	NSW:- Certified Building Designer VIC:- DP/AD 1076	Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.	Checked By: EUAN	PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725



PROPOSED 'THE HUDSON CENTRE For: VICTORY LUTHERAN COLLEGI At: 28 DRAGE ROAD, WODONGA VI

ELEMENT	REFERENCE	SIGNAGE TO
FIRE DOORS	BCA D3D28	SIGNS ARE R LETTERS NO AND STATE.
PORTABLE FIRE EXTINGUISHERS	BCA D1D14 AS 2444	ALL PORTABL THE SIGNAGE STATE IN 32M
SANITARY FACILITIES FOR PEOPLE WITH DISABILITIES	BCA D4D7 AS 1428.1	ALL SANITAR' WITH THE INT SHALL BE GE FLOOR LEVEI
IDENTIFICATION OF ACCESSIBLE FACILITIES, SERVICES AND FEATURES	BCA D4D7	SIGNAGE COI DISABILITIES ACCESSIBLE
EXIT DOORS	BCA E4D5	WHERE ILLUN WITHIN THE E AREAS, MAIN TRANSFORMI THE HEIGHT /

APARTMENTS. ALL DOCUMENTATION SHALL BE READ IN CONJUNCTION WITH THE [COMPLETE] (ESD/SDA) REPORT, SECTION J AND THE ENERGY RATING REPORT. THE BUILDER SHALL COMPLY WITH ALL ENVIRONMENTAL OBJECTIVES AND CRITERIA SPECIFIED IN THE ARCHITECTURAL, ENGINEERING AND OTHER ASSOCIATED DOCUMENTATION. WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY [INSERT], ACCREDITED THERMAL PERFORMANCE ASSESSOR DMXXXX, WITHOUT ALTERATION. THE NATHERS/NABERS [DELETE AS APPROPRIATE] ENERGY RATING CONTAINS INBUILT ASSUMPTIONS ABOUT THE INTEGRITY OF THE BUILDING FABRIC WITH REGARDS INSULATION, DRAUGHTPROOFING AND GLAZING, WORKS SHALL COMPLY WITH THE FOLLOWING MEASURES, TO ENSURE THAT THE AS-BUILT PERFORMANCE CORRESPONDS TO THAT MODELLED IN THE ENERGY RATING. INSULATION SHALL BE INSTALLED TIGHT AND CONTINUOUS, WITHOUT GAPS AND CRACKS, HARD UP AGAINST INTERNAL LININGS (INCLUDING SUBFLOOR). THERE SHALL BE NO AIR GAP BETWEEN AN INTERNAL LINING AND INSULATION. JUNCTIONS BETWEEN INTERNAL AND EXTERNAL WALLS SHALL BE INSULATED. INSULATION SHALL NOT BE CRUSHED OR COMPRESSED. BOX GUTTERS AND ACCESS COVERS SHALL BE INSULATED TO THE SAME R-VALUE AS THE ROOF, USING INSULATION BATTS OR BLANKET OR CLOSED-DOWNLIGHTS SHALL BE STAMPED AS IC4 RATED, AIRTIGHT AND COVERED BY INSULATION. L TRADES SHALL BE INSTRUCTED TO REPLACE ANY INSULATION THEY HAVE REMOVED IN THE COURSE OF THEIR WORK AND TO TAPE ANY CUTS/PENETRATIONS IN BUILDING WRAP, ALL PENETRATIONS SHALL BE CAULKED USING A FIT-FOR-PURPOSE FLEXIBLE SEALANT. CAULKING PRODUCTS SHALL BE APPROPRIATE FOR THE INTENDED APPLICATION. FIT FOR PURPOSE GROMMETS SHALL BE USED TO SEAL PENETRATIONS IN MEMBRANES THAT ARE NOT PART OF FIRE-RATED BUILDING ELEMENTS. SOLAR COLLECTOR PANEL LOCATIONS ARE INDICATIVE ONLY. LOCATION AND SIZE ARE DEPENDENT ON MANUFACTURER'S/INSTALLER'S DUCTWORK FOR EXHAUST FANS AND HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH REQUIREMENTS OF BCA J6. [IN A CLASS 2 OR 3 BUILDING OR A CLASS 9C BUILDING] PIPES AND DUCTS SHALL BE LAGGED AS SPECIFIED TO ACHIEVE THE ACOUSTIC PERFORMANCE REQUIRED BY BCA F7. LAGGING SHALL PROVIDE COMPLETE COVERAGE FOR THE FULL EXTENT OF PIPE OR DUCT. REFER TO MECHANICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS FOR MECHANICAL VENTILATION UNO. LIFTS, ESCALATORS AND MOVING WALKS SHALL COMPLY WITH AS1735.12 AND NCC SPECIFICATION 24 E3D2. THIS BUILDING IS PROTECTED BY A SPRINKLER SYSTEM. REFER TO FIRE ENGINEER'S SERVICES DRAWINGS FOR DETAILS. THE FOLLOWING SHALL BE INSTALLED IN COMPLIANCE WITH BCA SECTION E AND TO THE SPECIFICATIONS OF THE RELEVANT SERVICE ENGINEER AND/OR FIRE ENGINEER AUTOMATIC WARNING OF THE PRESENCE OF SMOKE OR FIRE FIRE-FIGHTING EQUIPMENT MEASURES TO ENSURE CONDITIONS WITHIN EVACUATION ROUTES REMAIN TENABLE LONG ENOUGH FOR OCCUPANTS EVACUATE SAFELY AND TO FACILITATE FIRE BRIGADE INTERVENTION. ELECTRICAL POWER AND DATA POINTS SHOWN ARE FOR THE PURPOSE OF SET OUT ONLY. REFER TO SERVICES CONSULTANT DRAWINGS FOR NUMBER AND SPECIFICATION. UIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION 900MM - 1100MM ABOVE THE FINISHED FLOOR LEVEL HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM. POWER POINTS SHALL NOT BE INSTALLED LOWER THAN 300MM ABOVE FINISHED FLOOR LEVEL. ALL ELECTRICAL PENETRATIONS SHALL BE SEALED USING MATERIAL APPROPRIATE TO THE RATING OF THE CABLE AND/OR DEVICE. DOWNLIGHTS SHALL BE STAMPED IC4-RATED AND INSULATION SHALL NOT BE PENETRATED FOR DOWNLIGHTS NUMBER OTES APPLY WHERE INTERNAL JOINERY AND INTERIOR WET AREAS ARE DOCUMENTED AS PART OF ARCHITECTURAL DRAWINGS. DIMENSIONS FOR WET AREAS AND JOINERY ARE TAKEN FROM FINISHED FLOOR LEVEL (FEL) VERTICAL AND HORIZONTAL DIMENSIONS SHALL BE VERIFIED BY A SITE-MEASURE PRIOR TO MANUFACTURE OF JOINERY. THE PRACTICALITY OF INSTALLING FIT-OUT ITEMS SHALL BE CONFIRMED ON SITE PRIOR TO ORDERING OR MANUFACTURE. ALUMINIUM TRANSITION ANGLES SHALL BE INSTALLED BETWEEN FLOOR FINISHES. REFER TO FINISHES, FIXTURES AND FITTINGS SCHEDULE FOR DETAILS. ALL FIXING SHALL BE CONCEALED IN THE FINISH WORK. ALL KITCHEN JOINERY ABOVE BENCH HEIGHT SHALL BE SEALED ON ALL FACES. JUNCTIONS WHERE AN OVERHEAD CUPBOARD OR RANGEHOOD ABUTS SURROUNDING SURFACES SHALL BE CAULKED. ALL JOINERY TO KITCHENS, BATHROOM, LAUNDRIES, ENSUITES AND OTHER WET AREAS SHALL BE CONSTRUCTED USING HIGH MOISTURE

GLASS SPLASHBACKS SHALL BE CAULKED WITH CLEAR SILICON AT THEIR JUNCTION WITH BENCHTOPS. GLUE MARKS SHALL NOT BE VISIBLE

THROUGH GLASS. LOOSE FURNITURE, TV, FRIDGE AND MICROWAVE, WHERE INDICATED, SHALL BE SUPPLIED BY PROPRIETOR. ALL DISHWASHERS SHALL HAVE AN ENERGY EFFICIENCY RATING WITHIN 1 STAR OF THE BEST AVAILABLE AT THE TIME OF CONSTRUCTION. REFER TO

(WHERE APPLICABLE) TOWN PLANNING ENDORSED ESD/SDA REPORTS FOR ENERGY STAR RATING FOR APPLIANCES, WHITE GOODS AND FIXTURE

BOILDING FIRE RESISTING CONSTRUCTION IS DEEMED TO BE TYPE [INSERT]] THIS DOCUMENTATION SHALL BE READ WITH ALL DOCUMENTATION PROVIDED BY THE SERVICES ENGINEER AND FIRE SAFETY ENGINEER. FOR THE PURPOSE OF FIRE HAZARD PROPERTIES THIS BUILDING IS [NON-SPRINKLERED / SPRINKLERED/BOTH NON-SPRINKLERED AND SPRINKLERED]

THE INDICES FOR ALL FIXED SURFACE FINISHES, LININGS, MATERIALS AND ASSEMBLIES IN CLASS 2 TO 9 BUILDINGS SHALL COMPLY WITH THE APPROPRIATE PROVISIONS DESCRIBED IN BCA TABLE STO2. SERVICES PENETRATIONS IN FIRE RATED STRUCTURES AND FLOOR, WALL AND CEILING LININGS – INCLUDING ELECTRICAL, SWITCHES AND GPOS, HYDRAULIC PIPES, VENTS AND MECHANICAL DUCTS – SHALL BE FITTED WITH APPROPRIATE AS 4072.1 COMPLIANT DAMPERS, COLLARS OR SWITCH BOXES OF THE SAME FIRE RATING OF THE WALL, CEILING OR FLOOR BEING PENETRATED. ALL SERVICES AND EQUIPMENT LOCATED IN THE PATH OF TRAVEL TO AN EXIT SHALL BE ENCLOSED BY NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTION COVERING WITH THE DOORS SUITABLY SEALED AGAINST SMOKE SPREAD. PERFORMANCE

FIRE INDICES FOR ALL FIXED SURFACE FINISHES, LININGS, MATERIALS AND ASSEMBLIES IN CLASS 2 TO 9 BUILDINGS SHALL COMPLY WITH THE

THIS PROJECT HAS BEEN CERTIFIED UNDER THE ICOMPLETEI ASSESSMENT TOOL TO ACHIEVE AN AVERAGE OF ICOMPLETEI STARS FOR ALL

FIRE RESISTANCE
 THE BUILDING SHALL COMPLY WITH BCA 2022 VOL 1 SECTION C - FIRE RESISTANCE.

BUILDING FIRE RESISTING CONSTRUCTION IS DEEMED TO BE TYPE [INSERT]

RESISTANCE PARTICLEBOARD OR HIGH MOISTURE RESISTANCE MEDIUM DENSITY FIBREBOARD

ALL CABINETRY/JOINERY FIXINGS SHALL BE CONCEALED IN THE FINISH WORK

CLASS OF BUILDING IS TYPE [INSERT]

COMPLYING WITH SPECIFICATION 17.

THERMAL PERFORMANCE

SERVICES

TO BE INCLUDED IN THE SPECIFICATIONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLUDING CONSULTANTS DOCUMENTATION), THE CONTRACTOR SHALL BE DEEMED TO COVER THE ALTERNATIVE, WHICH INVOLVES THE GREATER COST

Z:\- REVIT\- Revit\- Commercial\7608 Victory

SIGNAGE O BE PROVIDED

EQUIRED ON EACH SIDE OF THE FIRE DOOR AND A SIGN SHALL BE IN CAPITAL T LESS THE 20MM HIGH IN A COLOUR CONTRASTING WITH THE BACKGROUN FOR AN AUTOMATIC DOOR HELD OPEN BY AN AUTOMATIC HOLD OPEN DEVICE: - 'FIRE SAFETY DOOR. DO NOT OBSTRUCT'; OR

- FOR SELF-CLOSING FIRE DOOR: - FIRE SAFETY DOOR. DO NOT OBSTRUCT. DO NOT KEEP OPEN.

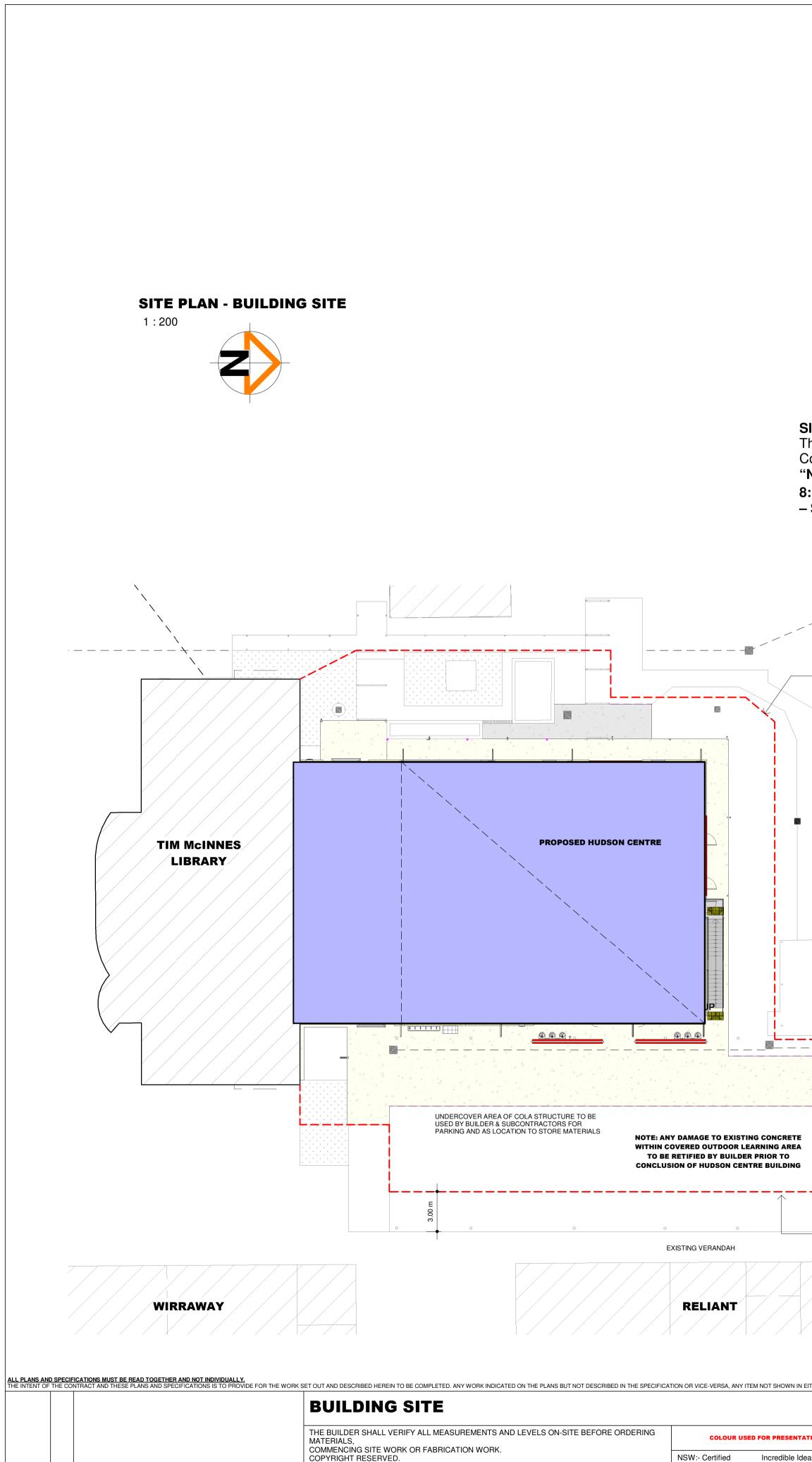
LE FIRE EXTINGUISHERS SHALL BE PROVIDED WITH APPROPRIATE SIGNAGE. IS SHALL BE AT A HEIGHT OF NOT LESS THE 2M ABOVE THE FLOOR LEVEL AND IM HIGH CAPITAL LETTERS

Y FACILITIES FOR USE BY PEOPLE WITH DISABILITIES SHALL BE PROVIDED GNISED DISABLED SYMBOL ON THE DOOR. THE SYMBO NERALLY AT THE HEIGHT OF BETWEEN 1200MM AND 1600MM ABOVE THE

MPLYING WITH AS1428.1 SHALL BE PROVIDED DIRECTING PEOPLE WITH TO EACH ACCESSIBLE ENTRANCE, INCLUDING THE PATH OF TRAVEL TO THE ENTRANCE, FROM ANY NON - ACCESSIBLE ENTRANCES.

MINATED EXIT SIGNS ARE NOT TO BE PROVIDED TO OTHER SPECIFIC AREAS. BUILDING INCLUDING IDENTIFICATION OF THE GENDER SPECIFIC AMENITY SWITCHBOARD ROOM, EMERGENCY GENERATOR ROOM AND ER ROOM, ETC. WE ARE NOT AWARE OF ANY SPECIFIC REQUIREMENT FOR AND TYPE OF SIGNAGE TO IDENTIFY THESE AREAS.

	SHEET S	IZE "A1"
E	Sheet:	A02
	Date:	2-6-2025
IC 3690	Job No:	7608
Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt	3/06/2025 1:18:01 PI	N



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WRITTEN CONSENT OF ROB PICKETT DESIGN.

DATE

REV

AMENDMEN

Building Designer

VIC:- DP/AD 1076

ING CONCRETE EARNING AREA ER PRIOR TO ITRE BUILDING	DOUBLE GATES	NOTE: EXISTING PIT LIDS ANY EXISTING SERVICES EXPOSED PIT LIDS ARE TO BE PROVIDED WITH A PROTECTIVE COVER TO ENABLE VEHICLE MOVEMENTS OVER, WITHIN THE BUILDERS COMPOUND AREA <u>NOTE: EXCAVATION</u> WHEN EXCAVATION IS PROPOSED TO OCCUR, INFORM VLC SO GROUND STAFF CAN BE PROVIDE ASSISTANCE TO LOCATING EXISTING IN-GROUND SERVICES	
	TEMPORARY FENCE SHOWN RED DASHED TO BE LOCATED AT EXISTING VERANDAH FOOTPATH HEIGHT	NOTE: DOUBLE GATES ON BOTH SIDES ARE TO E TWICE A DAY (AT RECESS AND LUNCH TH ACCESS TO THE CANTEEN. THEY ARE TO DURATION OF EACH BREAK. ANY BUILDIN ORGANISED OUTSIDE OF THESE TIMES. WINJEEL	MES) FOR STUDENT REMAIN OPEN FOR THE
TEM NOT SHOWN IN EITH	HER PLAN OR SPECIFICATION BUT IS REASONABLY OR PROPERLY TO BE INF	FERRED AS PART OF CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INCLUDED IN THE SPI BUILDING DESIGNERS BUILDING DESIGNERS PO Box 3054 Albury NSW 2640	CIFICATIONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLUINT)
ED FOR PRESENTATION	DN ONLY Drawn By: KYLE	www.rpdesign.com.au Email: euan@rpdesign.com.au	For: VICTORY LUTHERAN COLLEGE
Incredible Ideas ABN 72 003 72 Trading as Rob	^{5 246} Checked By: EUAN	PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246	At: 28 DRAGE ROAD, WODONGA VIC

SITE T	NATED LOCATION OF BUILDERS EMPORARY FENCE N RED DASHED	MILES
		BUILDERS SITE OFFICE AND AMENITIES BUILDERS SITE OFFICE AND AMENITIES TO BE LOCATED WITHIN THE SITE TEMP FENCING ENCLOSURE. ALLOW TO CONNECT SITE AMENITIES INTO EXISTING SEWER AND DISCONNECT AT COMPLETION OF PROJECT, MAKE GOOD TO EXISTING SEWER AND SURROUNDS

APPROX LOCATION OF EXISTING

SEWER TO CONNECT TO. REFER

BY VLC BEFORE CONNECTING

TO EXISTING SITE SERVICES PLAN.

LOCATION OF SEWER CONNECTION TO

HARDSTAND ACCESS ROAD TO BE REMOVED, RECTIFY GRASSED AREA & NEW LAWN SEED BY BUILDER PRIOR TO CONCLUSION OF HUDSON CENTRE BUILDING TRANSPORTABLE

VLC TO RE-INSTATE SHADE SAIL AT COMPLETION OF PROJECT

AT COMPLETION OF PROJECT, EXISTING CONCRETE PAVING TO SHADE SAIL AREA, AFFECTED BY CONSTRUCTION WORKS, TO BE REMOVED AND REPLACED WITH NEW 100mm THICK WITH SL82 MESH OVER 50mm PACKING

SAND AND DOWELLED INTO EXISTING SLAB

EXISTING SHADE SAIL TO BE REMOVED BY VLC,

COLUMNS TO REMAIN IN-PLACE.

- \$50 penalty applies to each breach.

DROVER

EXISTING CANTEEN AREA

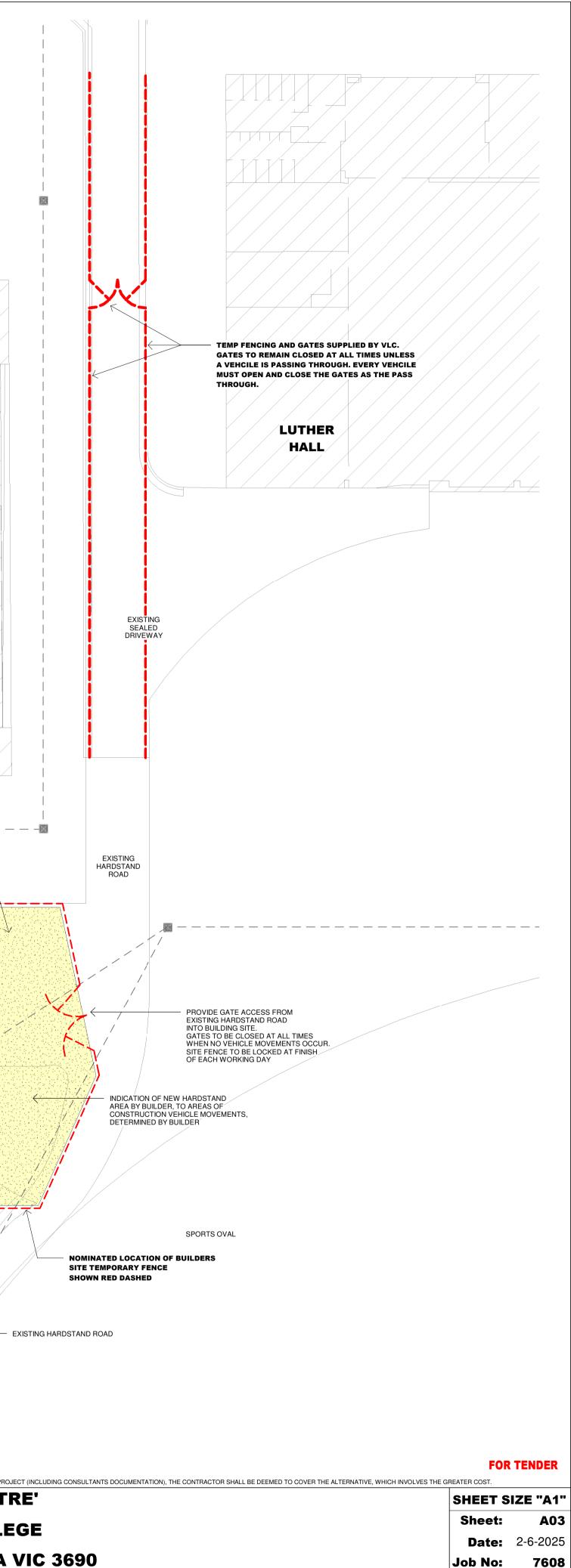
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EXISTING STUDENT CANTEEN LINE UP BAYS, SITE TEMPORARY FENCE LOCATION IN THIS ZONE TO BE SET OUT BY VLC

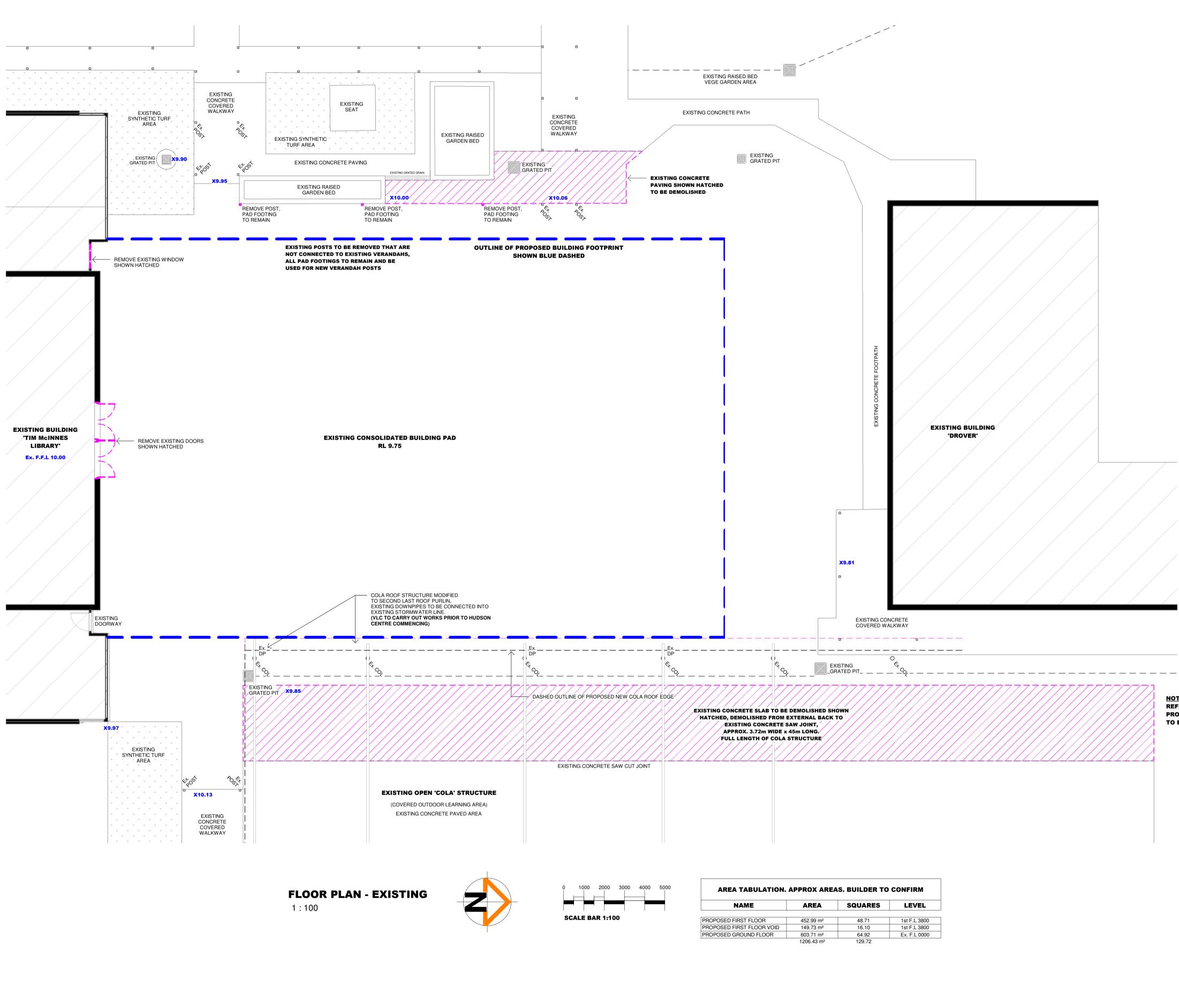
DOUBLE GATES

Contractor. "No traffic to or from the site is allowed without escort on foot between 8:30– 9:00am; 10:45-11:15am; 12:45-1:40pm and 3:10 to 3:40pm"

SITE TRAFFIC The College requires that all Trade attendance on site is to be controlled through the

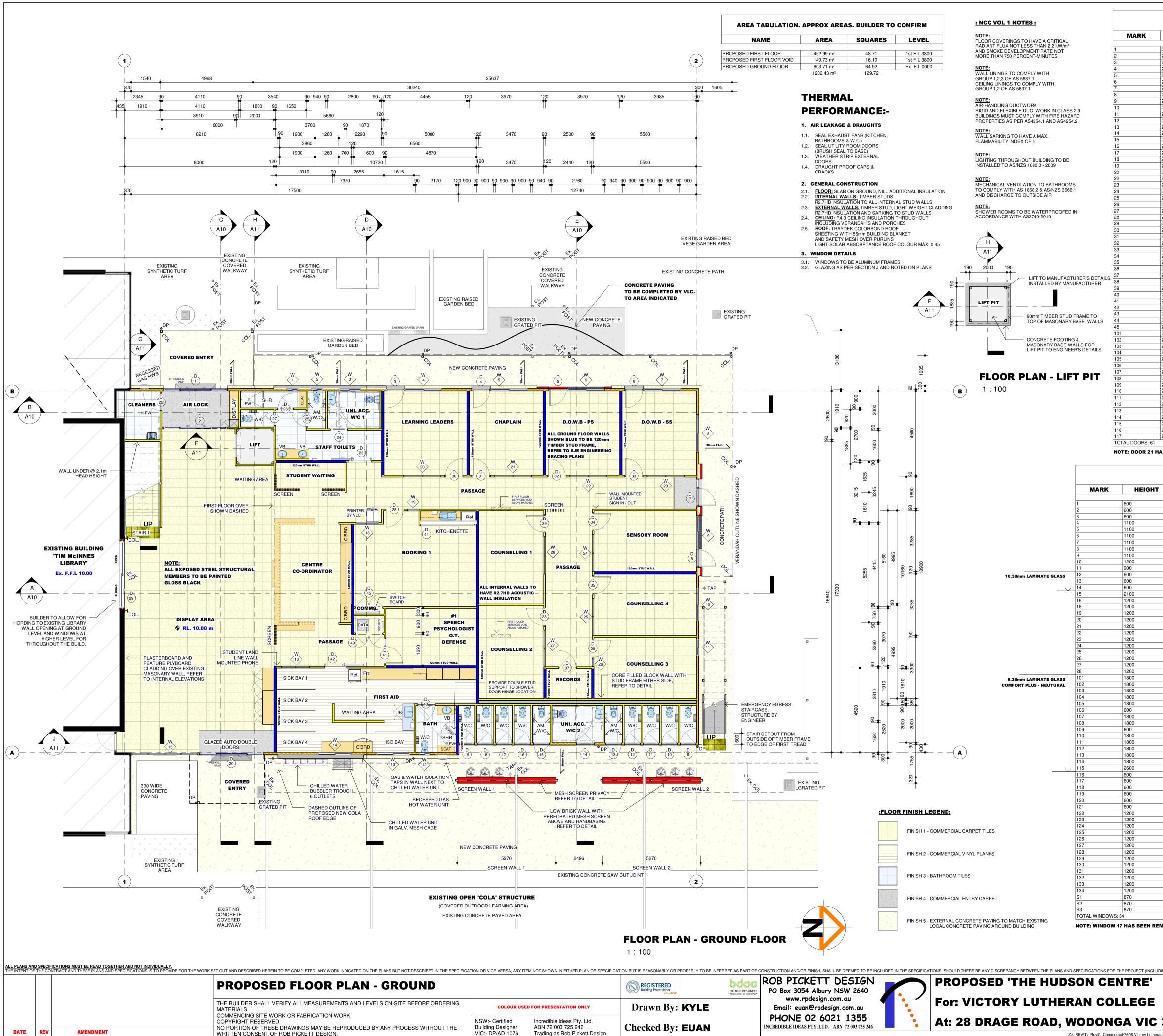


theran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/06/2025 1:18:14 PM



			EXISTING FLOOR PLAN - GROUND			bdaa	PO Box 3054 Albury NSW 2640	PROPOSED 'THE HUDSON CENTRE'	SHEET S	JZE "A
					plus CPD	ASSOCIATION OF AUSTRALIA	www.rpdesign.com.au		Sheet:	AC
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS,	COLOUR USED FOR PRESENTATION ONLY	Drawn By: KYLE		Email: euan@rpdesign.com.au	For: VICTORY LUTHERAN COLLEGE	Date:	
			COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED.	NSW:- Certified Incredible Ideas Pty. Ltd. Building Designer ABN 72 003 725 246	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY, LTD. ABN 72 003 725 246	At: 28 DRAGE ROAD, WODONGA VIC 3690	Job No:	760
DATE	REV	AMENDMENT	WRITTEN CONSENT OF ROB PICKETT DESIGN.	VIC:- DP/AD 1076 Trading as Rob Pickett Design.	Checkeu Dy. EUAN	-		Z:\- REVIT\- Revit\- Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TEN	ER.rvt 3/06/2025 1:18:15 P	PM

NOTE: REFER TO SHEET A02 FOR PROPOSED WORKS TO BUILDING SITE TO BE INCLUDED BY BUILDER



Z:\- REVIT\- Revit\- Commercial\7608 Victory Luther

HEIGHT	WIDTH	OPERATION	MODEL	LEVEL
2100	3400	SLIDING	AUTO ENTRY DOORS	Ex. F.L 0000
2100	3400	SLIDING	AUTO ENTRY DOORS	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	1370	HINGED	SINGLE LEAF 920 GLAZED WITH 450mm SIDELITE	Ex. F.L 0000
100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	920	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED	EXTERNAL	Ex. F.L 0000
2040	820	HINGED		Ex. F.L 0000
2100	3400	SLIDING	AUTO ENTRY DOORS	Ex. F.L 0000
2040	920	HINGED		Ex. F.L 0000
2100	1200	SLIDING	1200w GLAZED FROSTED AUTO FACE SLIDING	Ex. F.L 0000
2040	920	HINGED		Ex. F.L 0000
2040	820	HINGED		Ex. F.L 0000
2040	820 720	HINGED	INTERNAL	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000 Ex. F.L 0000
2100	3580	SLIDING	AUTO ENTRY DOORS	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2040	920	HINGED	INTERNAL	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
100	920	HINGED	920 GLAZED DOOR	Ex. F.L 0000
2040	1440	HINGED	DOUBLE LEAF SOLID WITH AIR GRILLES	Ex. F.L 0000
2100	1370	HINGED	SINGLE LEAF 920 GLAZED WITH 450mm SIDELITE	Ex. F.L 0000
2100	1200	SLIDING	1200w GLAZED FACE SLIDING	Ex. F.L 0000
040	920	HINGED	INTERNAL	Ex. F.L 0000
2400	3000	OVERHEAD	ROLLER SHUTTER DOOR	Ex. F.L 0000
2040	1440	HINGED	DOUBLE LEAF SOLID WITH AIR GRILLES	Ex. F.L 0000
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2040	920	CAVITY SLIDER	GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2040	920	CAVITY SLIDER	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100	920	HINGED	920 GLAZED DOOR	1st F.L 3800
2100 2040	920 920	HINGED CAVITY SLIDER	920 GLAZED DOOR GLAZED DOOR	1st F.L 3800 1st F.L 3800

NOTE: DOOR 21 HAS BEEN REMOVED FROM THE PROJECT

WINDOW SCHEDULE WIDTH NOTES GLAZED LEVEL SILL HEIGHT HEAD HEIGHT ALUMINIUM SLIDER OBSCURE 0.37 m² Ex. F.L 0000 ALUMINIUM SLIDER OBSCURE 0.37 m² Ex. F.L 0000 ALUMINIUM SLIDER OBSCURE 0.72 m² Ex. F.L 0000 2100 ALUMINIUM SLIDING 2.20 m² Ex. F.L 0000 2100 ALUMINIUM SLIDING 2.20 m² Ex. F.L 0000 2100 2100 ALUMINIUM SLIDING Ex. F.L 0000 2.20 m² ALUMINIUM SLIDING 2.20 m² Ex. F.L 0000 2100 ALUMINIUM SLIDING 2.20 m² Ex. F.L 0000 2100 ALUMINIUM SLIDING 1.98 m² Ex. F.L 0000 2100 **ALUMINIUM SLIDING** 2.16 m² L 0000 ALUMINIUM SLIDING 0.81 m² L 0000 ALUMINIUM SLIDER OBSCURE 0.37 m² Ex. F.L 0000 2100 ALUMINIUM SLIDER OBSCURE 1.08 m² Ex. F.L 0000 2100 ALUMINIUM SLIDER OBSCURE 1.08 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 7.35 m² Ex. F.L 0000 ALUMINIUM FIXED 1.80 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 1.45 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 0.73 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 2.40 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 0.54 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 2.40 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 2.40 m² Ex. F.L 0000 2100 ALUMINIUM FIXED 13.29 m² 1st F.L 3800 2900 ALUMINIUM SLIDING 1st F.L 3800 5.40 m² 2700 ALUMINIUM SLIDING 5.40 m² 1st F.L 3800 2700 ALUMINIUM SLIDING 5.40 m² 1st F.L 3800 2700 ALUMINIUM SLIDING 5.40 m² 1st F.L 3800 2700 ALUMINIUM SLIDING 3.00 m² 1st F.L 3800 1500 ALUMINIUM SLIDING 5.40 m² 1st F.L 3800 2700 ALUMINIUM SLIDING 1.80 m² 1st F.L 3800 2700 ALUMINIUM SLIDING 3.00 m² 1st F.L 3800 1500 ALUMINIUM SLIDING 5.40 m² 1st F.L 3800 2700 ALUMINIUM SLIDING 5.40 m² 1st F.L 3800 ALUMINIUM SLIDING 5.40 m² 1st F.L 3800 2700 1st F.L 3800 1st F.L 3800 ALUMINIUM SLIDING 3.60 m² 2700 ALUMINIUM SLIDING 3.60 m² 2700 ALUMINIUM FIXED 18.62 m² 1st F.L 3800 2700 ALUMINIUM SLIDING 1.44 m² 1st F.L 3800 1500 ALUMINIUM SLIDING 1st F.L 3800 1.44 m² 1500 ALUMINIUM SLIDING 1.08 m² 1st F.L 3800 ALUMINIUM SLIDING 1.08 m² 1st F.L 3800 ALUMINIUM SLIDING 1.44 m² 1st F.L 3800 500 ALUMINIUM SLIDING 1.44 m² 1st F.L 3800 1500 ALUMINIUM FIXED 1.80 m² 1st F.L 3800 ALUMINIUM FIXED 1.80 m² 1st F.L 3800 ALUMINIUM FIXED 2.40 m² 1st F.L 3800 2100 ALUMINIUM FIXED 1st F.L 3800 3.00 m² 2100 ALUMINIUM FIXED 3.00 m² 1st F.L 3800 2100 ALUMINIUM FIXED 3.00 m² 1st F.L 3800 2100 ALUMINIUM FIXED 1.80 m² 1st F.L 3800 2100 ALUMINIUM FIXED 1st F.L 3800 0.54 m² 2100 ALUMINIUM FIXED 0.73 m² 1st F.L 3800 2100 ALUMINIUM FIXED 0.73 m² 1st F.L 3800 2100 ALUMINIUM FIXED 0.48 m² 1st F.L 3800 2100 ALUMINIUM FIXED 0.48 m² 1st F.L 3800 2100 ALUMINIUM FIXED 0.48 m² 1st F.L 3800 2100 1st C.L 6800 1st C.L 6800 VELUX SKYLIGHT 0.76 m² 0.76 m² VELUX SKYLIGHT

NOTE: WINDOW 17 HAS BEEN REMOVED FROM THE PROJECT

VELUX SKYLIGHT

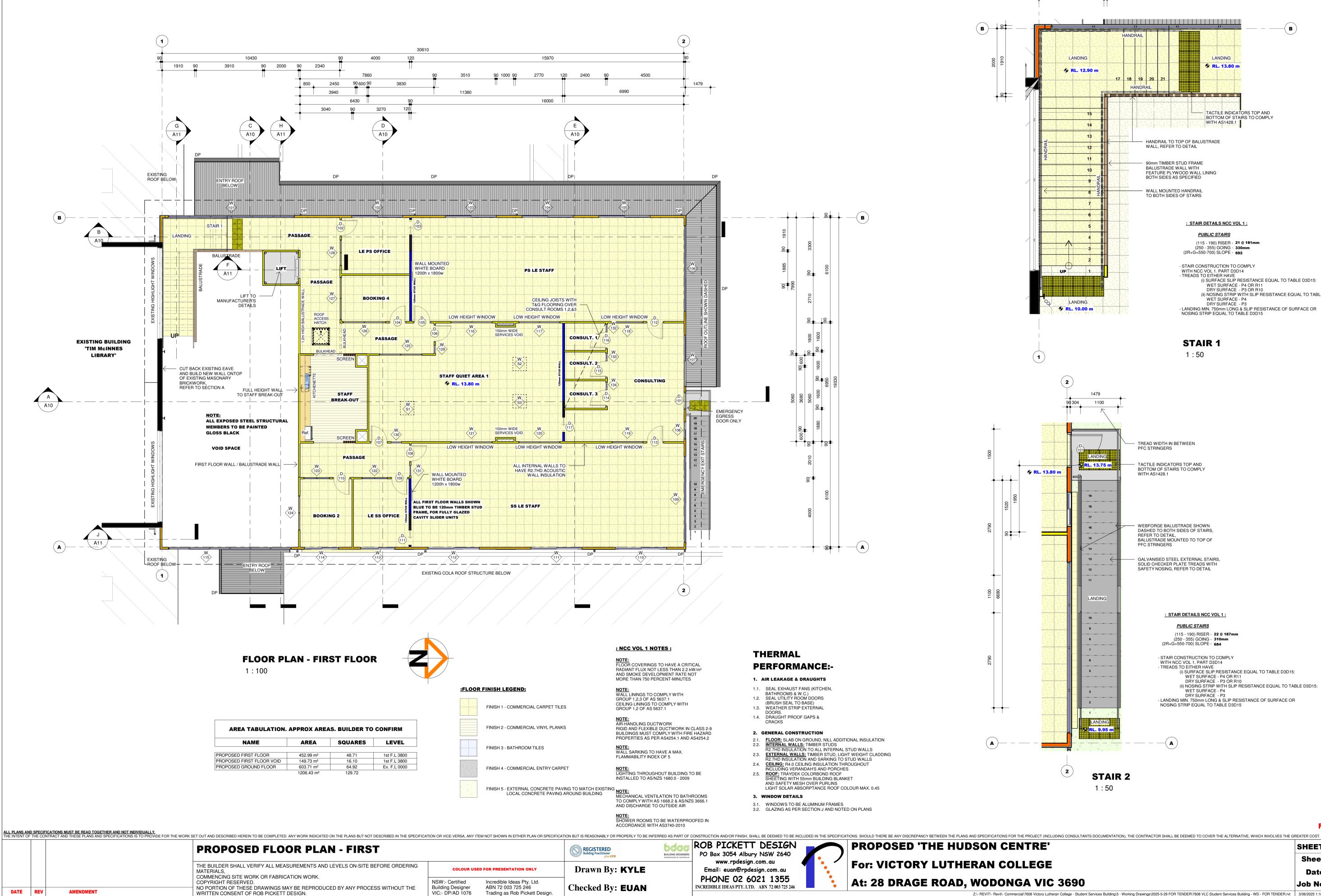
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LUDING CONSULTANTS DOCUMENTATION), THE CONTRACTOR SHALL BE DEEMED TO COVER THE ALTERNATIVE, WHICH INVOLVES THE GREATER COST.									
	SHEET S	IZE "A1"							
	Sheet:	A05							
	Date:	2-6-2025							
C 3690	Job No:	7608							
neran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt	3/06/2025 1:18:17 P	M							

0.76 m²

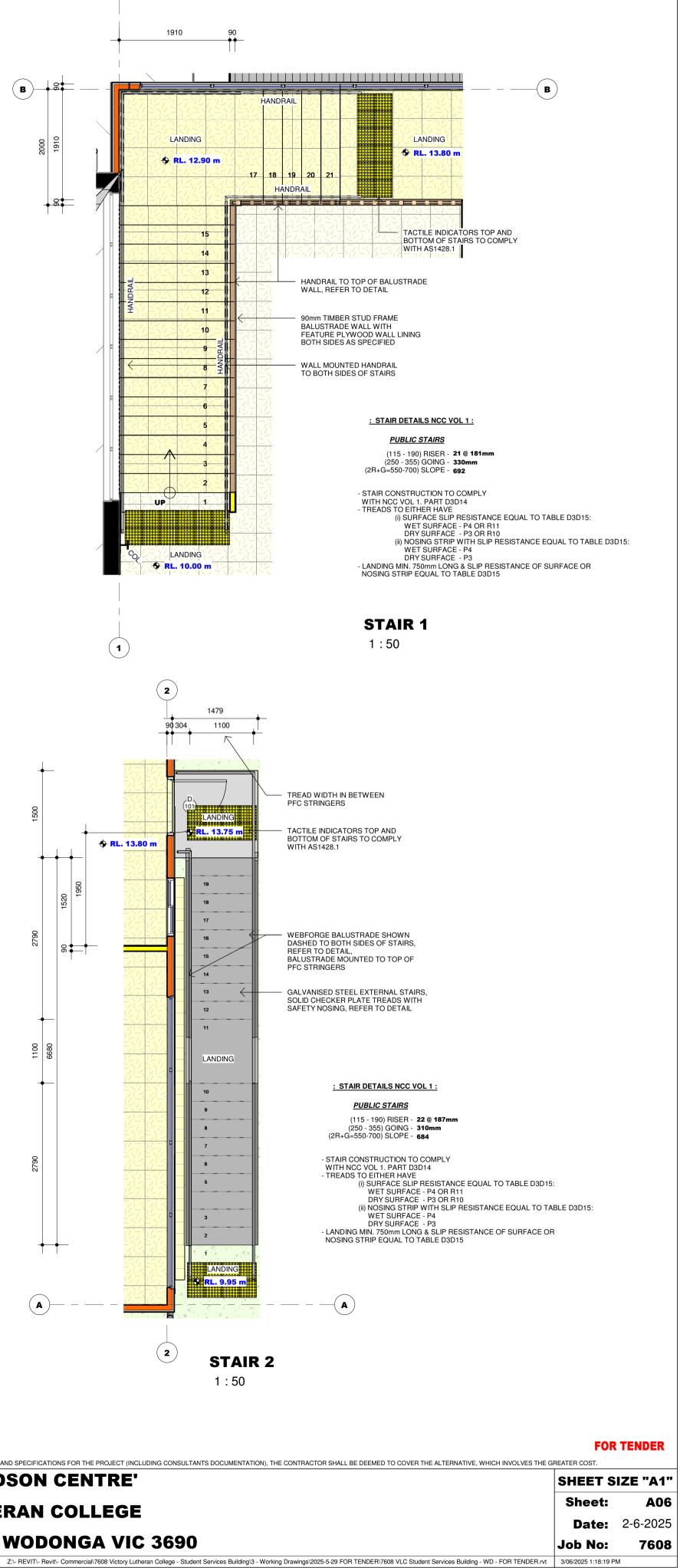
171.56 m²

1st C.L 6800



PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690

Checked By: EUAN Trading as Rob Pickett Design.



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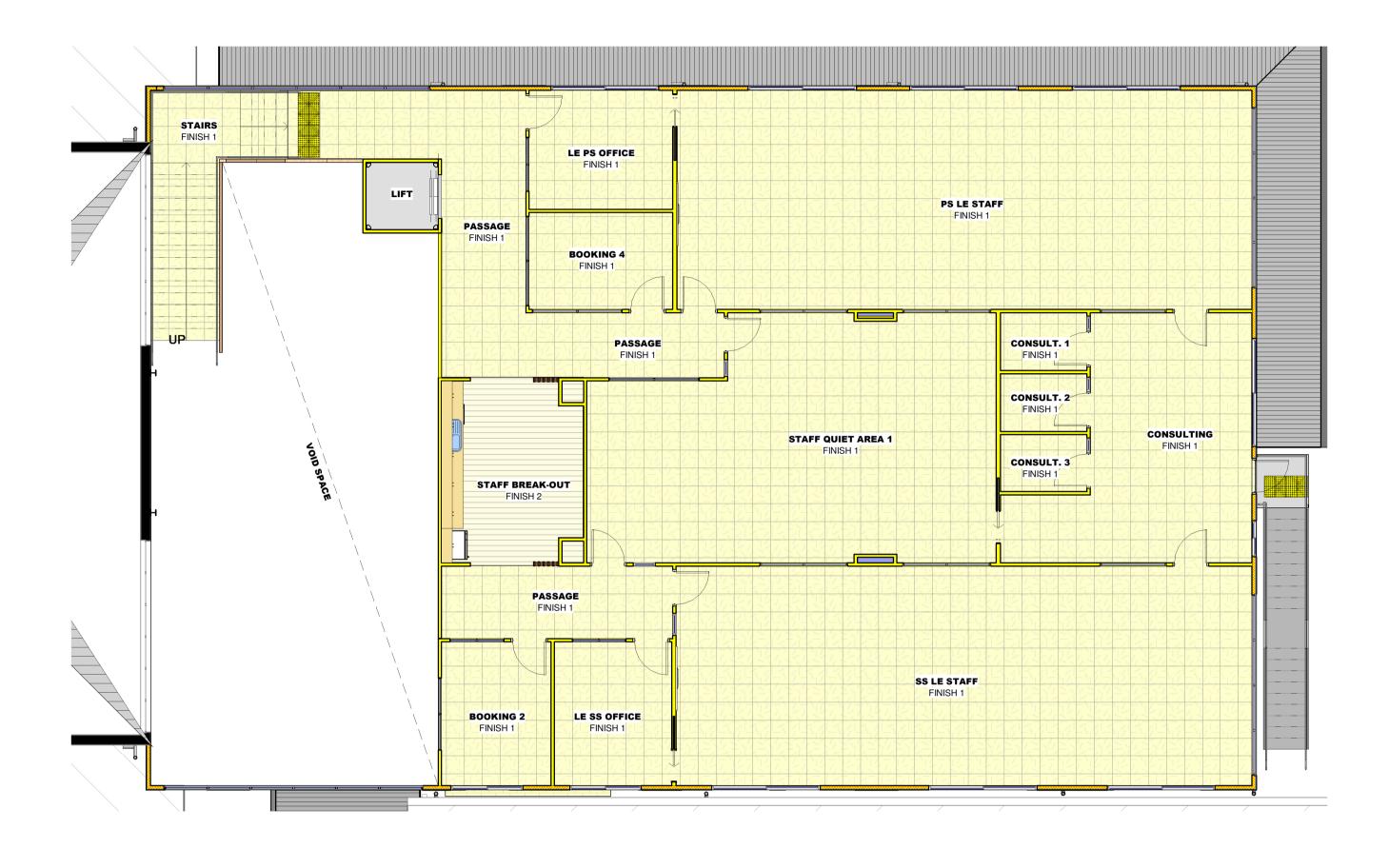
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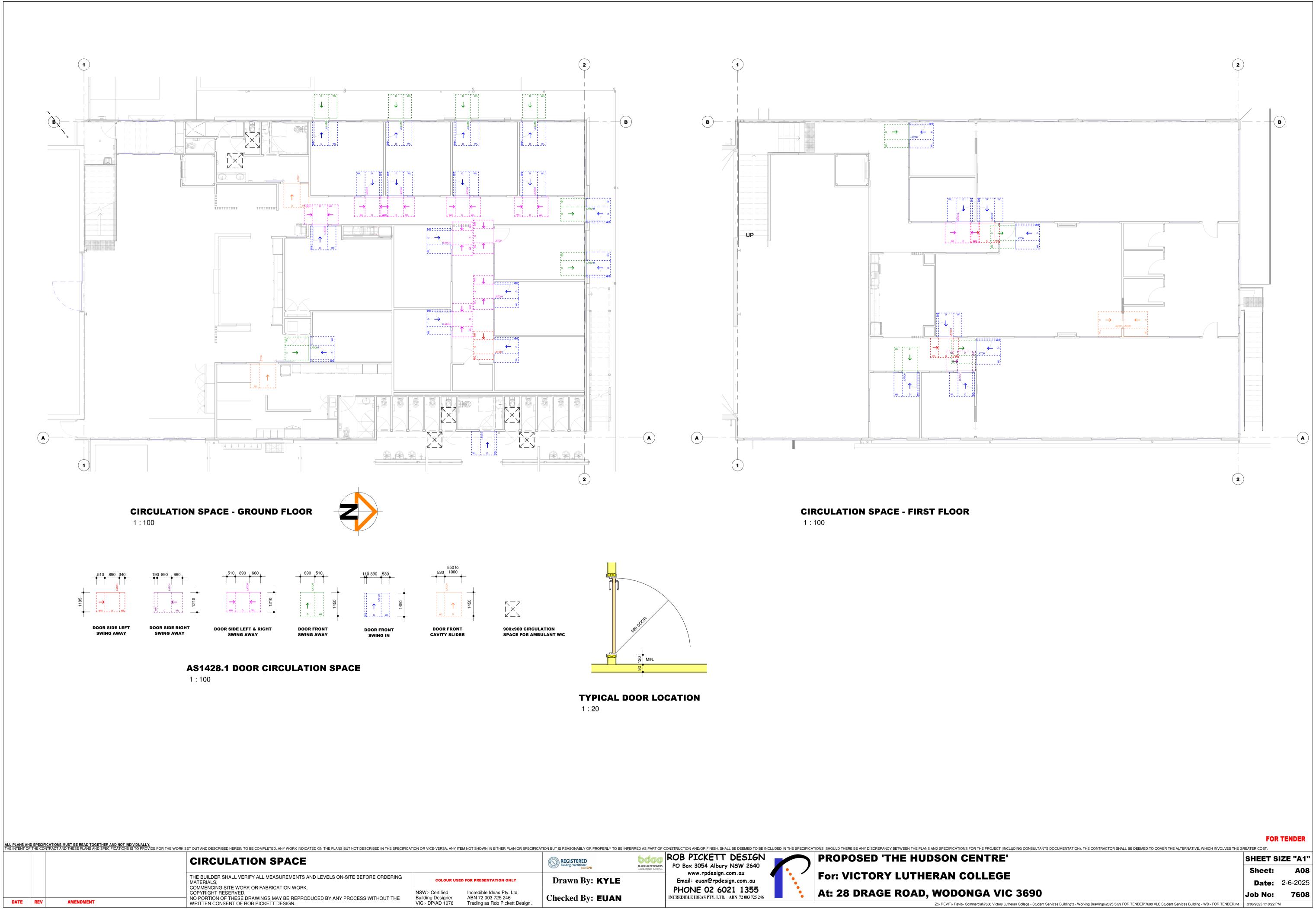
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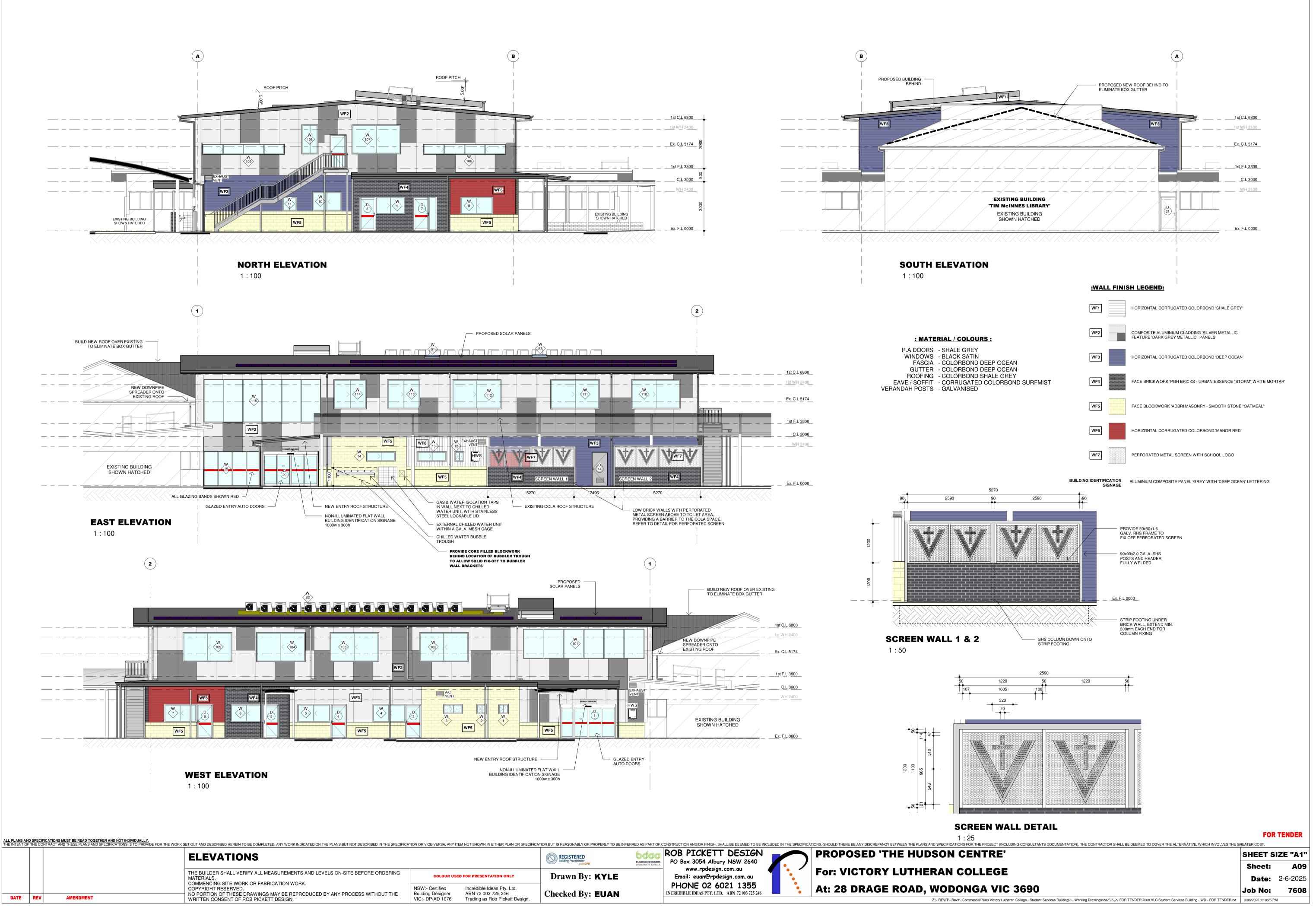
NY ITEM NOT SHOWN IN EITHER PLAN OR SPECIFICAT	ON BUT IS REASONABLY OR PROPERLY TO BE INFE	RRED AS PART OF CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INCLU	DED IN THE SPECIFICA	TIONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLUDING CONSULTANTS DOCUMENTATION), THE CONTRACTOR SHALL BE DEEMED TO COVER THE ALTERNATIVE, WHICH INVOLVES THE G	REATER COST.	
		BUILDING DESIGNERS ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640		PROPOSED 'THE HUDSON CENTRE'	SHEET SI	ZE "A1"
USED FOR PRESENTATION ONLY	Drawn By: KYLE	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA WWW.rpdesign.com.au Email: euan@rpdesign.com.au		For: VICTORY LUTHERAN COLLEGE	Sheet: Date:	A07 2-6-2025
Incredible Ideas Pty. Ltd. r ABN 72 003 725 246	Checked By: EUAN	PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246		At: 28 DRAGE ROAD, WODONGA VIC 3690	Job No:	7608
6 Trading as Rob Pickett Design.				Z:\- REVIT\- Revit\- Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt	3/06/2025 1:18:20 PM	

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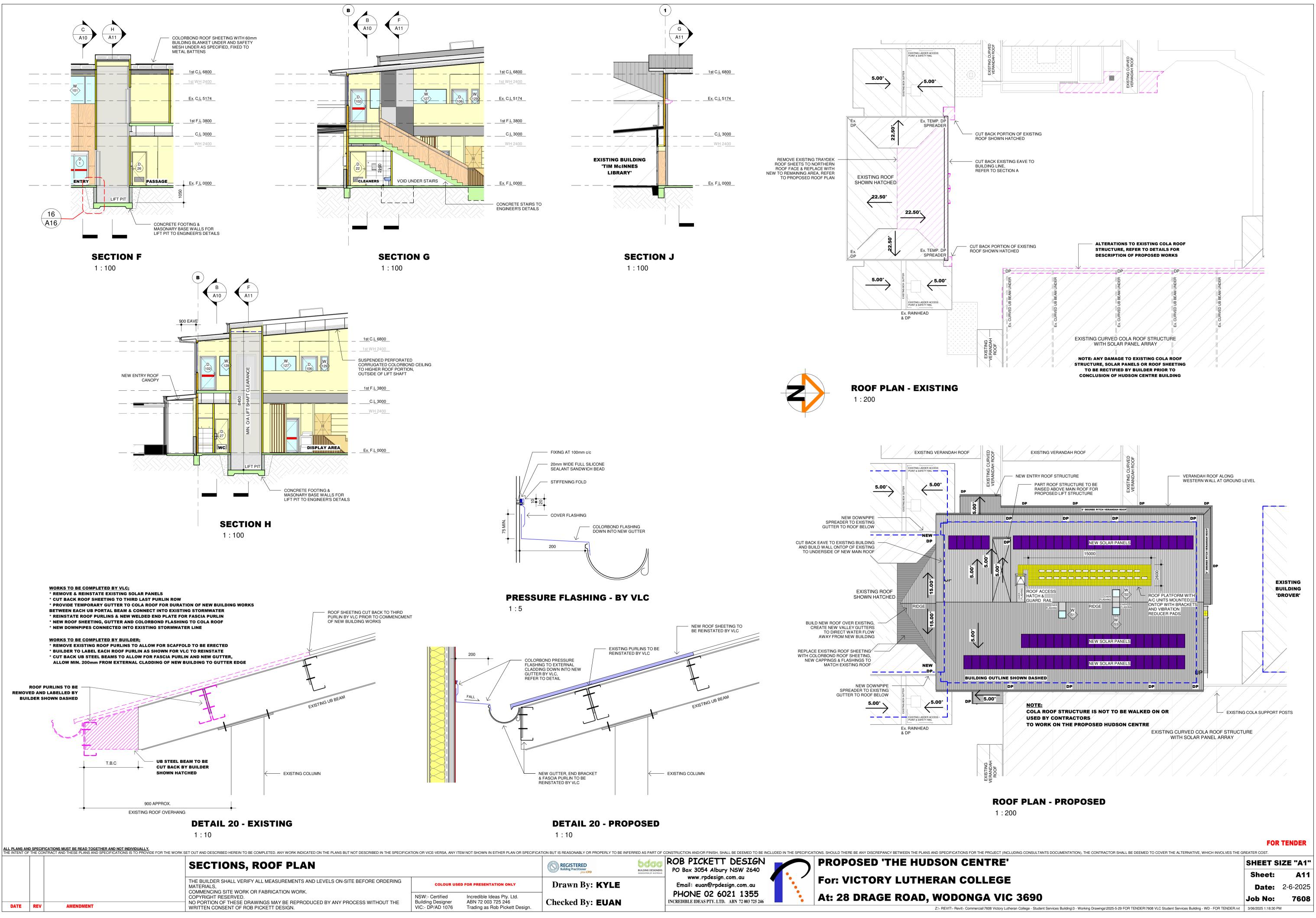


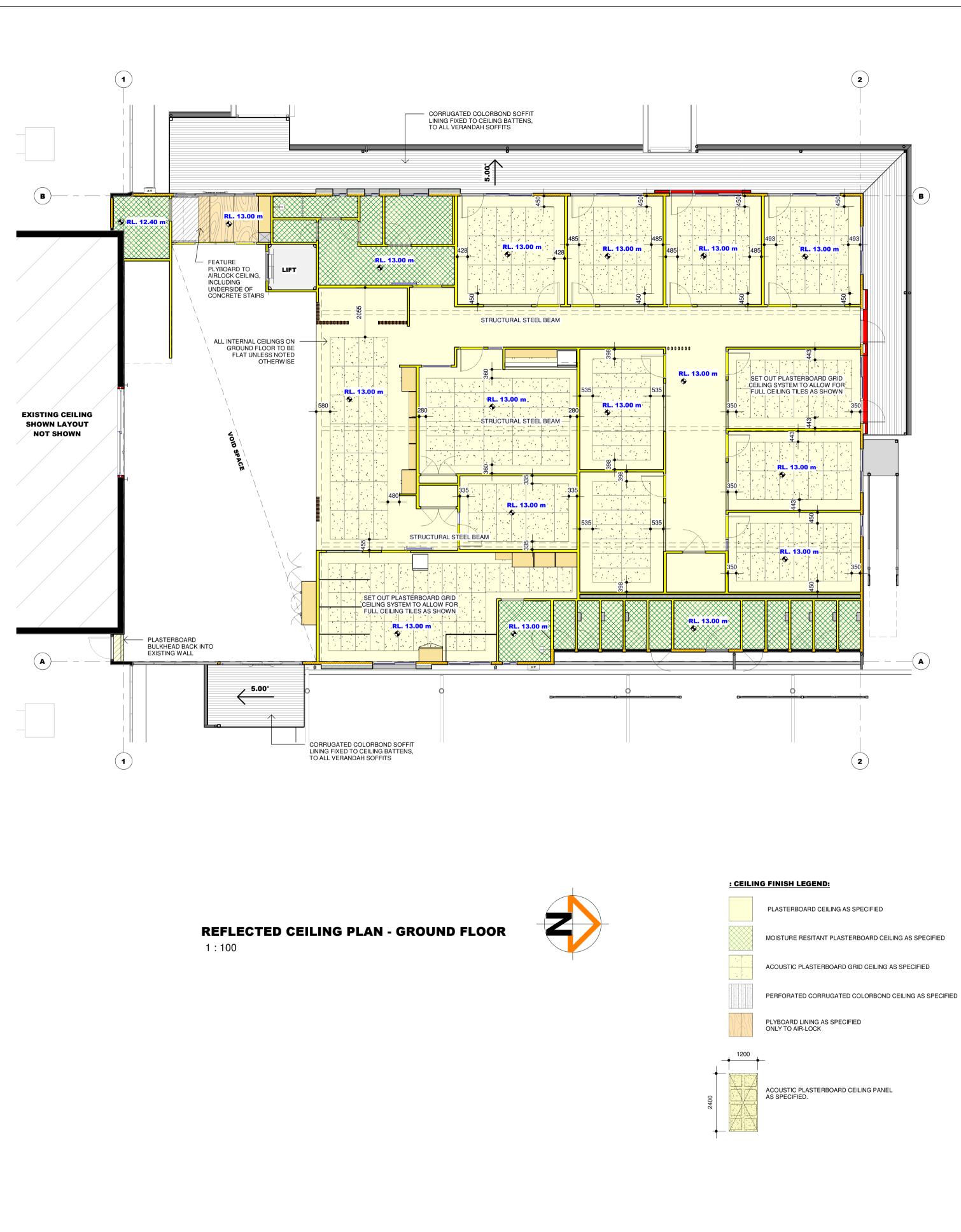
			CIRCULATION SPACE		
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.	COLOUR USE	D FOR PRESE
			COPYRIGHT RESERVED.	NSW:- Certified	Incredible ABN 72 0
DATE RE		AMENDMENT NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.		Building Designer VIC:- DP/AD 1076	Trading a

N IN EITHER PLAN OR SPECIFICAT	TION BUT IS REASONABLY OR PROPERLY TO BE INF	ERRED AS PART OF CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INC BUILDING DESIGNER SUBCOMING DESIGNERALIA PO Box 3054 Albury NSW 2640	TIONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLU PROPOSED 'THE HUDSON CENTRE'
INTATION ONLY	Drawn By: KYLE	www.rpdesign.com.au Email: euan@rpdesign.com.au	For: VICTORY LUTHERAN COLLEGE
e Ideas Pty. Ltd. 003 725 246 as Rob Pickett Design.	Checked By: EUAN	PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246	At: 28 DRAGE ROAD, WODONGA VIC Z:\- REVIT\- Revit\- Commercial\7608 Victory Luther

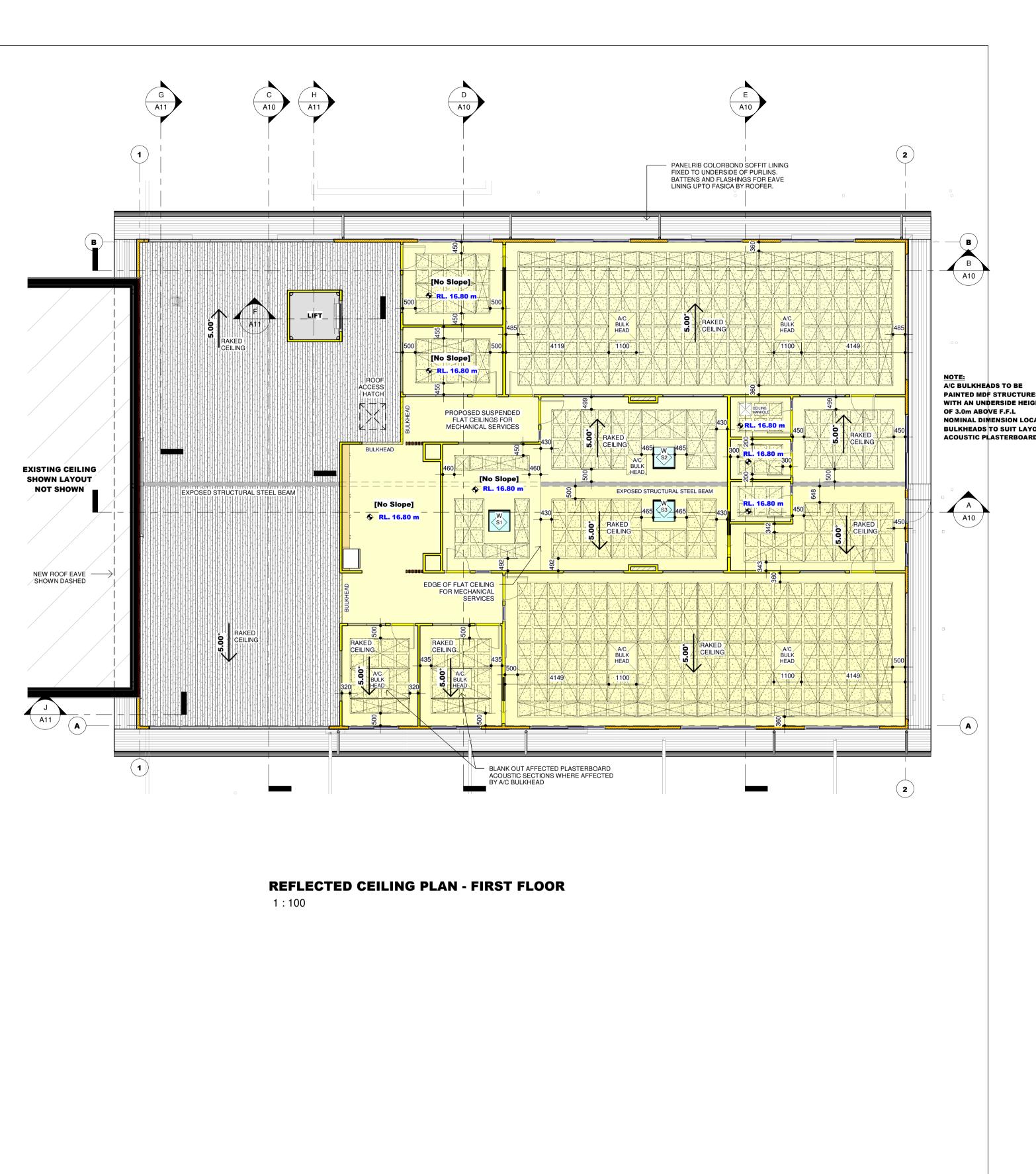








			REFLECTED CEILING PLANS		
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.	COLOUR USE	ED FOR PRESENTA
			COPYRIGHT RESERVED.	NSW:- Certified	Incredible Ide
DATE	REV	AMENDMENT	NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.	Building Designer VIC:- DP/AD 1076	ABN 72 003 7 Trading as Ro



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ALL PLANS A	ND SPECIFICA F THE CONTR	ATIONS MUST BE READ TOGETHER AND NOT INDIVIDUALLY. RACT AND THESE PLANS AND SPECIFICATIONS IS TO PROVIDE FOR THE WO	ORK SET OUT AND DESCRIBED HEREIN TO BE COMPLETED. ANY WORK INDICATED ON THE PLANS BUT NOT DESCRIBED IN THE SPECIFIC	CATION OR VICE-VERSA, ANY IT	EM NOT SHOWN IN EITHER PLAN OR SPECIFIC	CATION BUT IS REASONABLY OR PROPERLY TO BE INFE	RRED AS PART OF	CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INCL	JDED IN THE SF	PECIFICAT	ONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLUDIN
			REFLECTED CEILING PLANS				BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640			PROPOSED 'THE HUDSON CENTRE'
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.	COLOUR US	ED FOR PRESENTATION ONLY	Drawn By: KYLE		www.rpdesign.com.au Email: euan@rpdesign.com.au			For: VICTORY LUTHERAN COLLEGE
			COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE	NSW:- Certified Building Designer	Incredible Ideas Pty. Ltd. ABN 72 003 725 246	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246			At: 28 DRAGE ROAD, WODONGA VIC
DATE	KEV	AMENDMENT	WRITTEN CONSENT OF ROB PICKETT DESIGN.	VIC:- DP/AD 1076	Trading as Rob Pickett Design.	9					Z:\- REVIT\- Revit\- Commercial\7608 Victory Lutheran

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ICLUDING CONSULTANTS DOCUMENTATION), THE CONTRACTOR SHALL BE DEEMED TO COVER THE ALTERNATIVE, WHICH INVOLVES THE GREATER COST. SHEET SIZE "A1" Sheet: A12 Date: 2-6-2025 IC 3690 Job No: 7608

utheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/06/2025 1:18:32 PM





3D View 1

3D View 5



3D View 2



3D View 3



3D View 4

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	3D PERSPECTIVES				REGISTERED Building Practitioner plus CPD		ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640		PROPOSED 'THE HUDS	
		THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS,		COLOUR USED FOR PRESENTATION ONLY	Drawn By: KYLE		- www.rpdesign.com.au Email: euan@rpdesign.com.au		For: VICTORY LUTHER	AN COLLEGE
			COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE	NSW:- Certified Incredible Ideas Pty. Ltd. Building Designer ABN 72 003 725 246	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246		At: 28 DRAGE ROAD, W	ODONGA VIC
DATE	REV	AMENDMENT	WRITTEN CONSENT OF ROB PICKETT DESIGN.	VIC:- DP/AD 1076 Trading as Rob Pickett Design.	J =				Z:V	REVIT\- Revit\- Commercial\7608 Victory Luthe
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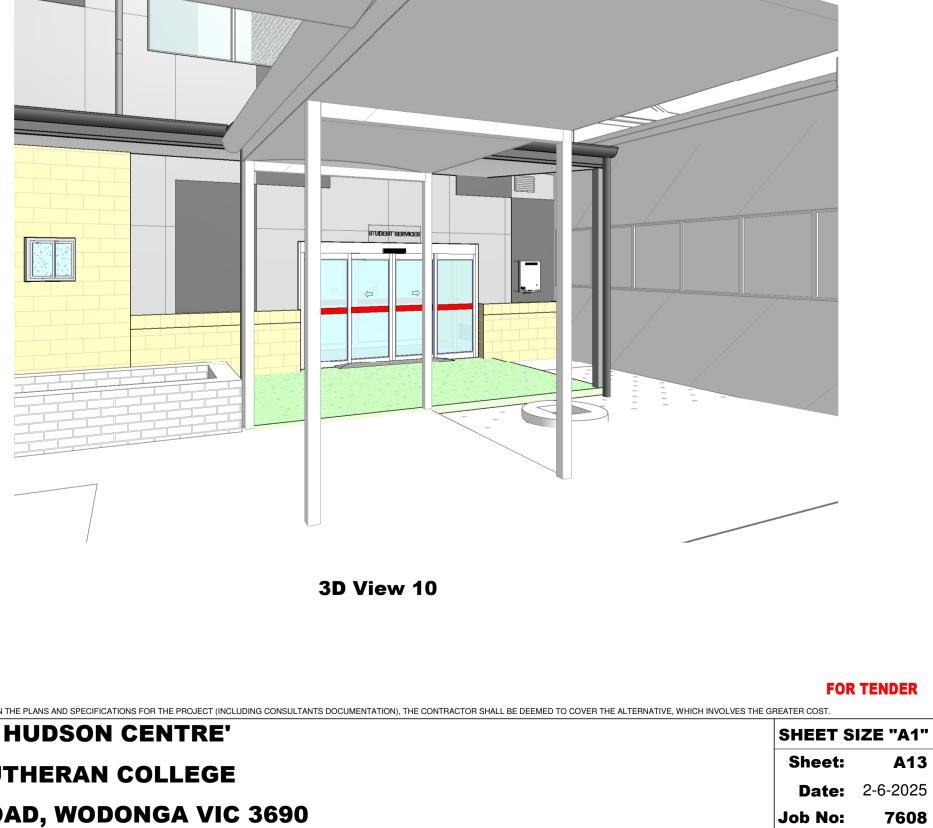


3D View 6



3D View 7



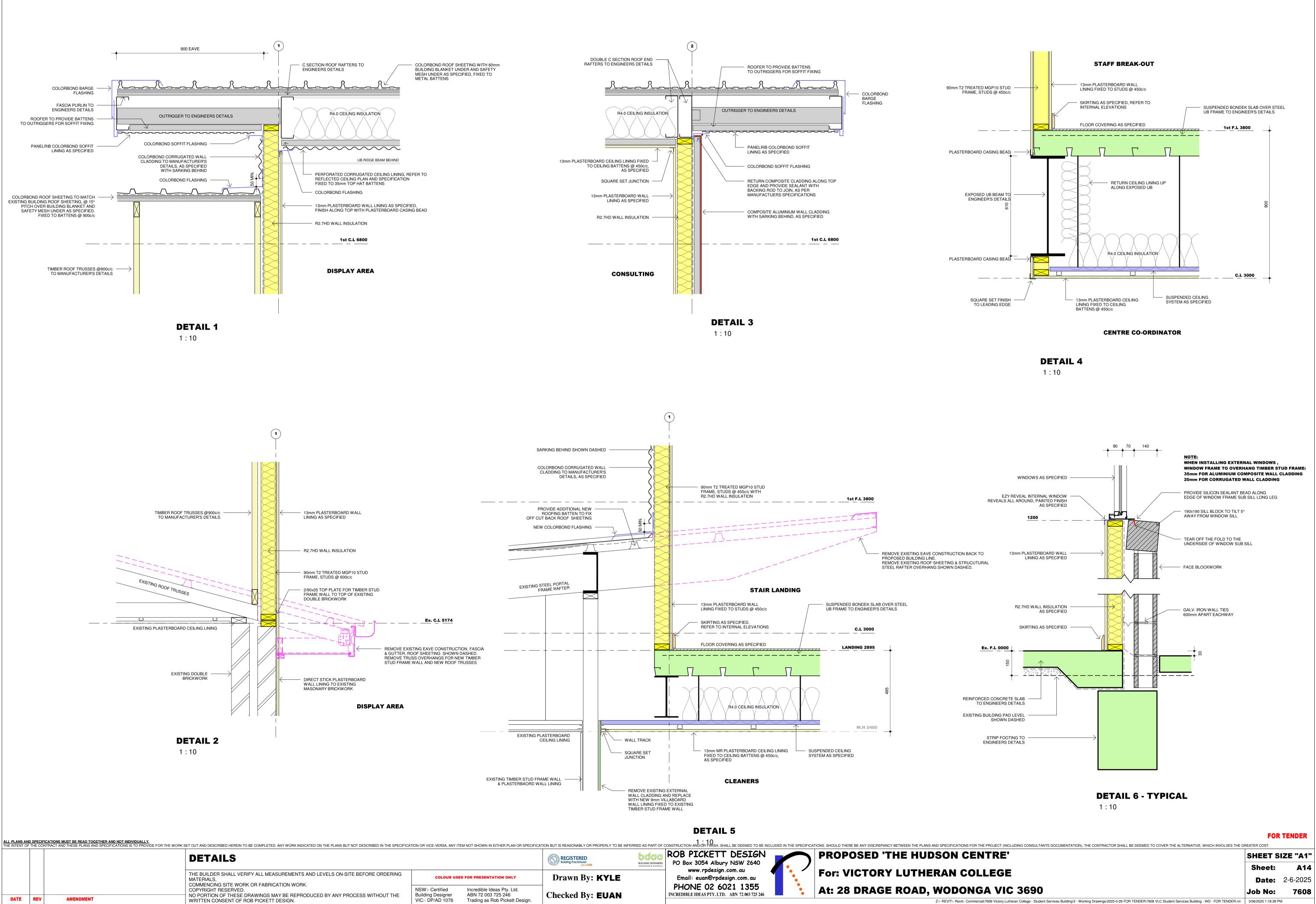


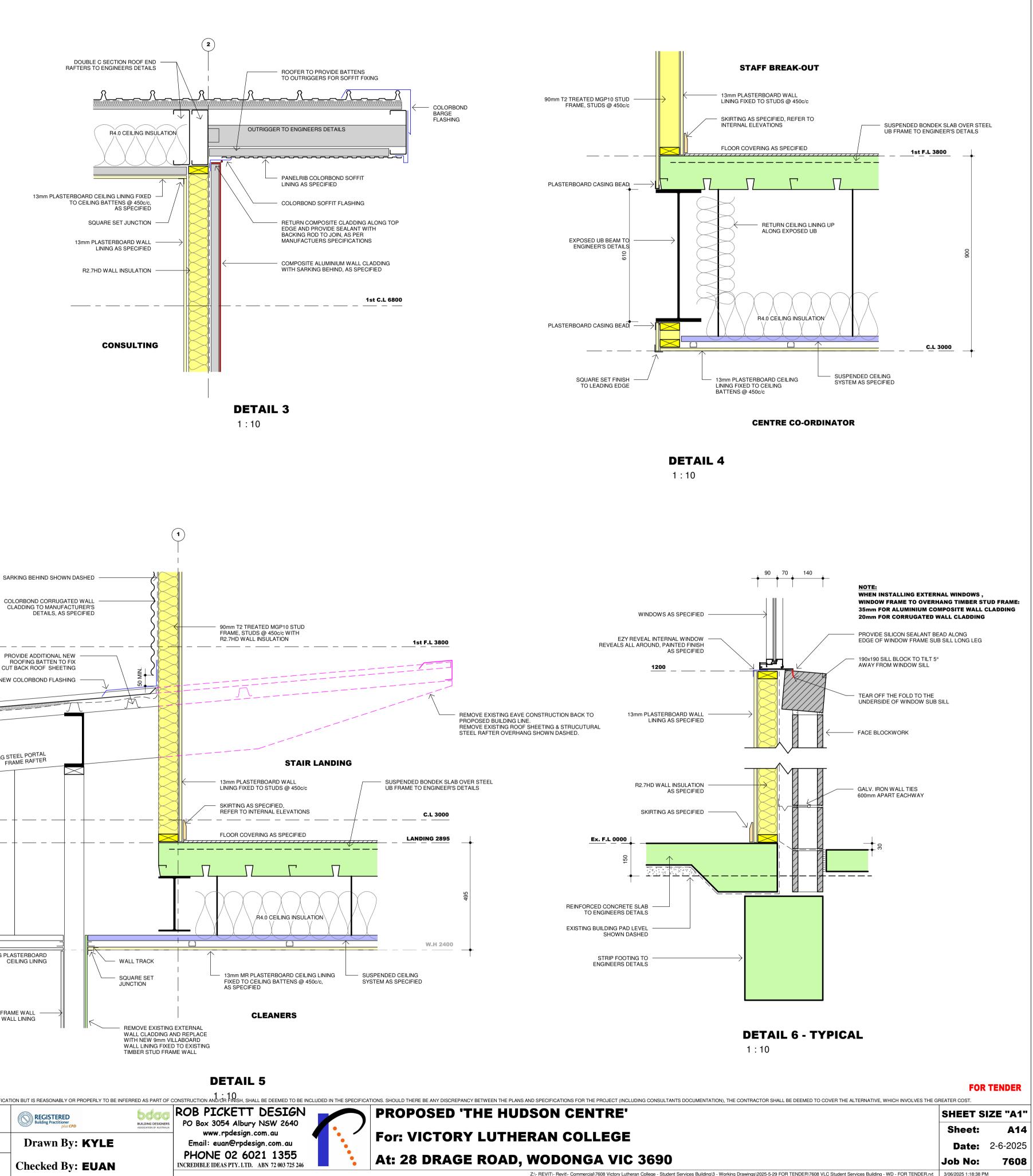
3D View 8



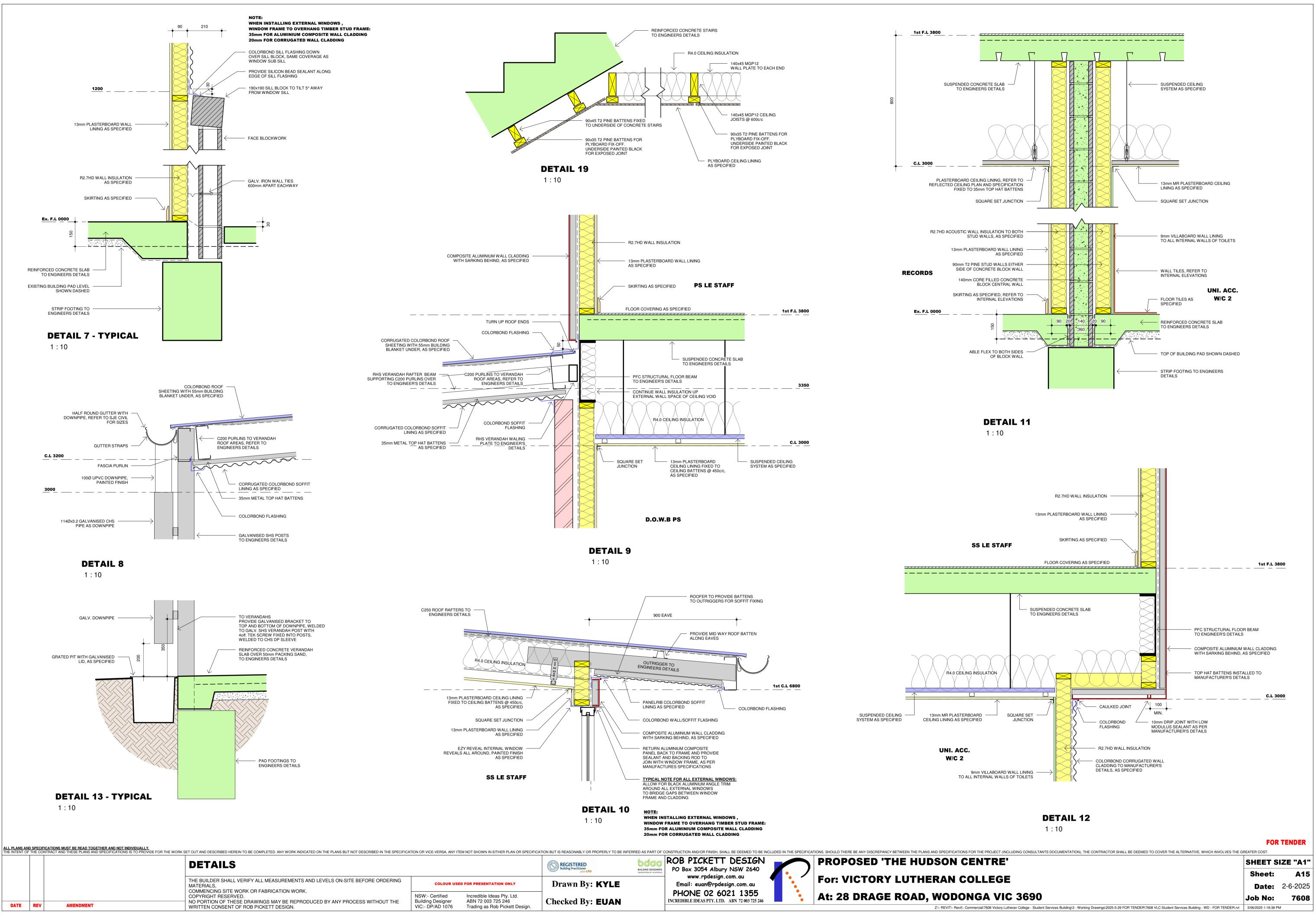
3D View 9

ry Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/06/2025 1:18:37 PM





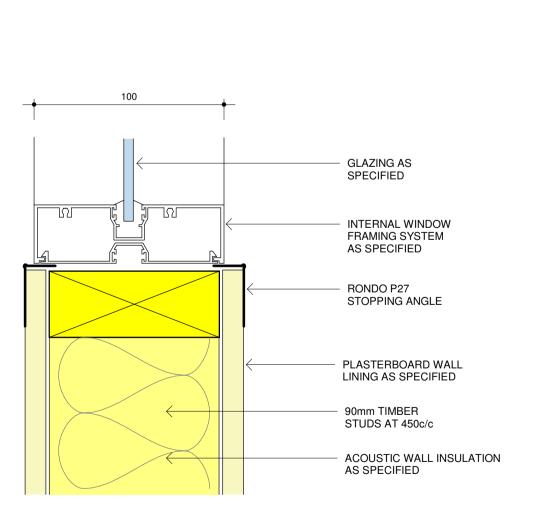
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	REGISTERED Building Practitioner	building designers	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640			PROPOSED 'THE HUDSON CENTRE'
ENTATION ONLY	Drawn By: KYLE	ASSOCIATION OF AUSTRALIA	www.rpdesign.com.au Email: euan@rpdesign.com.au		•	For: VICTORY LUTHERAN COLLEGE
e Ideas Pty. Ltd. 003 725 246	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246			At: 28 DRAGE ROAD, WODONGA VIC
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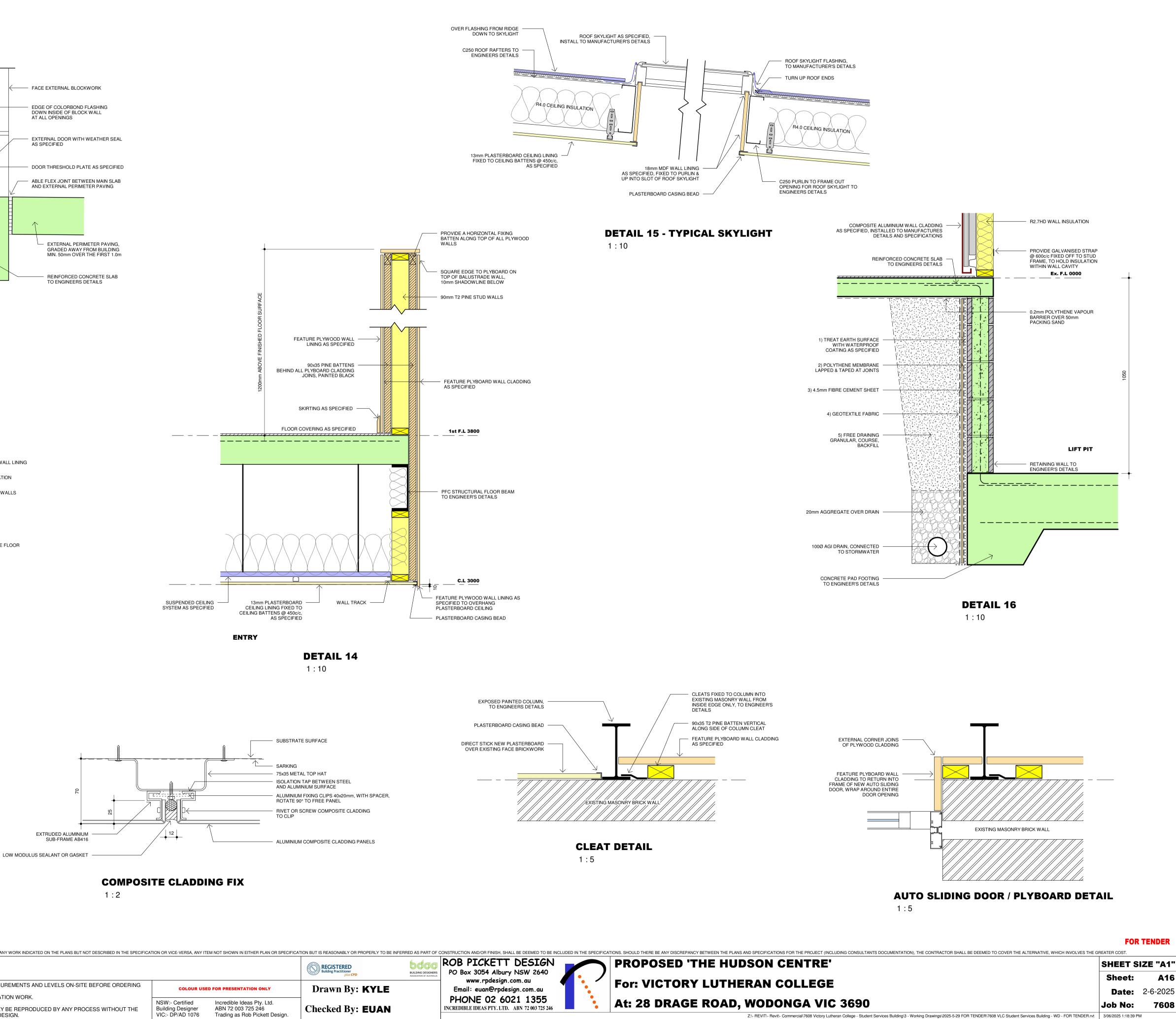


		ICATIONS MUST BE READ TOGETHER AND NTRACT AND THESE PLANS AND SPECIFICA	NOT INDIVIDUALLY. ATIONS IS TO PROVIDE FOR THE WORK SET OUT AND DESCRIBED HEREIN TO BE COMPLETED. ANY WORK INDICATED ON THE PLANS BUT NOT DESCRIBED IN THE SPECIFICAT	TION OR VICE-VERSA, ANY IT	EM NOT SHOWN
			DETAILS		
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.		ED FOR PRESE
DATE	REV	AMENDMENT	COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.	NSW:- Certified Building Designer VIC:- DP/AD 1076	Incredible ABN 72 0 Trading a

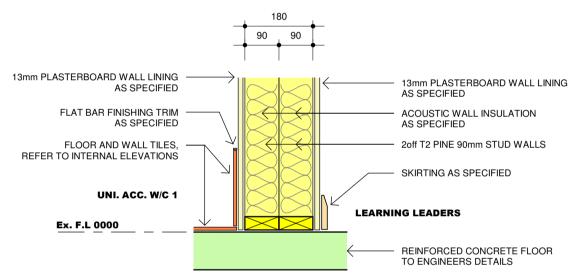
TYPICAL INTERNAL GLAZING





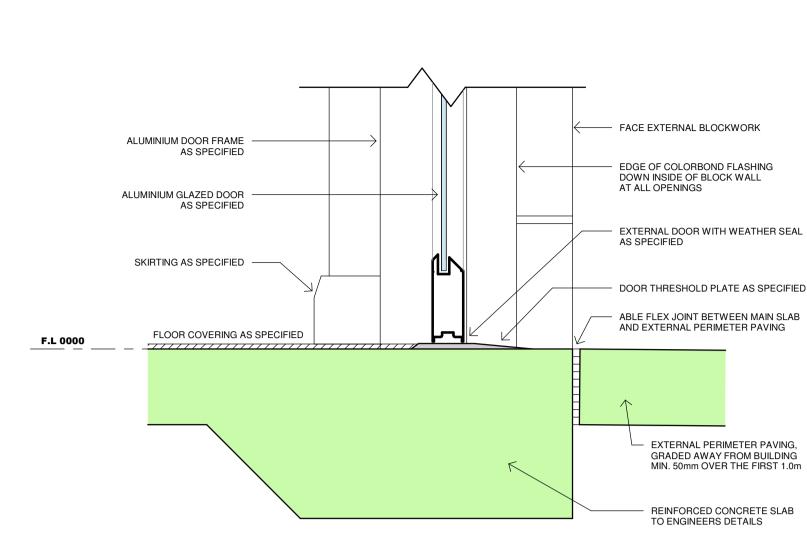




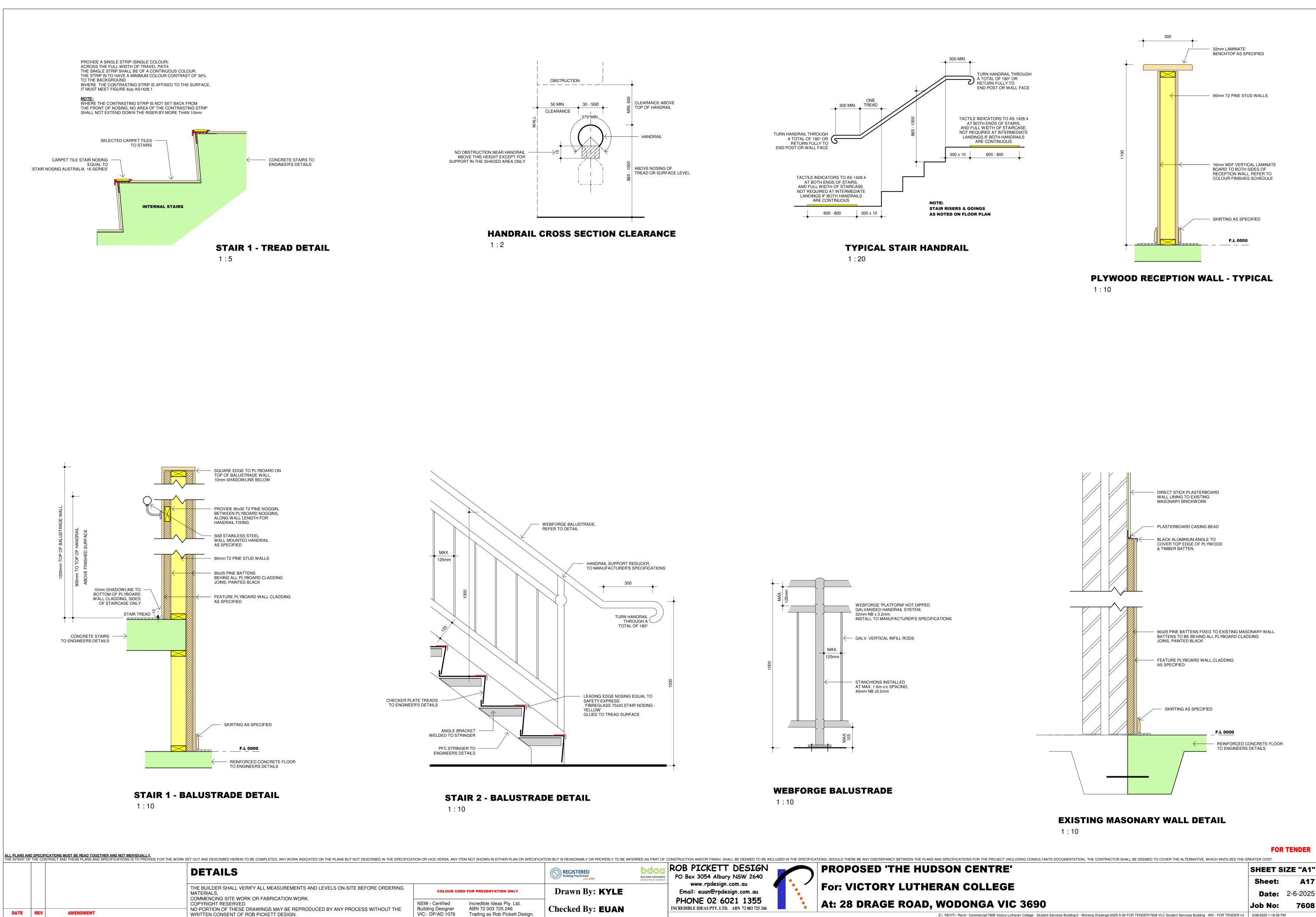


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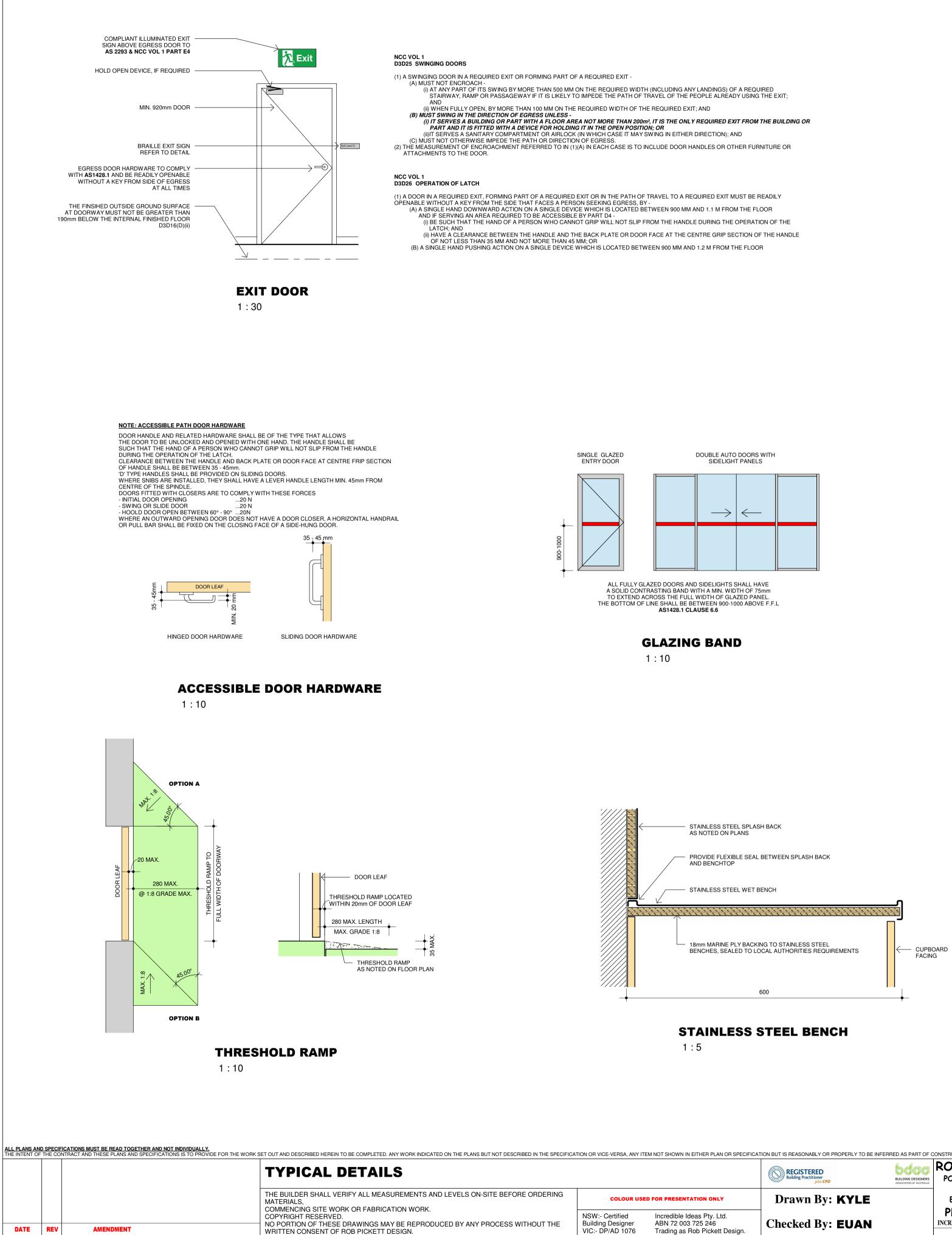


DETAIL 18 - TYPICAL



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	REGISTERED Building Practitioner plus CPD	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640		\bigcirc	PROPOSED 'THE HUDSON CENTRE'
ENTATION ONLY	Drawn By: KYLE		www.rpdesign.com.au Email: euan@rpdesign.com.au			For: VICTORY LUTHERAN COLLEGE
e Ideas Pty. Ltd. 003 725 246 as Rob Pickett Design.	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246			At: 28 DRAGE ROAD, WODONGA VIC 2:\- REVIT\- Revit\- Commercial\7608 Victory Lut

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ENTATION ONLY Drawn By: KYLE Email: euan@rpdesign.com.au BHONE 02 6021 1355	SHEET SIZE "A	PROPOSED 'THE HUDSON CENTRE'	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640	bdaa	REGISTERED Building Practitioner	
	Sheet: A1 Date: 2-6-202	For: VICTORY LUTHERAN COLLEGE	www.rpdesign.com.au	ASSOCIATION OF AUSTRALIA	plus CPD	ENTATION ONLY
003 725 246 Checked By: EUAN INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246 AL; ZO DRAGE ROAD, WODONGA VIC 3090	Job No: 760		PHONE 02 6021 1355	·	` `	le Ideas Pty. Ltd. 003 725 246

190x45 LVL TIMBER BOTTOM PLATE,

TYPICAL BRAILLE EXIT SIGN, BRAILLE TACTILE

1250 - 1350mm ABOVE FINISHED FLOOR LEVEL. - SIGN LOCATED ON THE SIDE THAT FACES A PERSON SEEKING EGRESS AND ON THE WALL OF LATCH SIDE BETWEEN 50-300mm FROM ARCHITRAVE. WHERE THIS IS NOT POSSIBLE, SIGN TO BE LOCATED ON DOOR.

TYPICAL BRAILLE EXIT SIGN

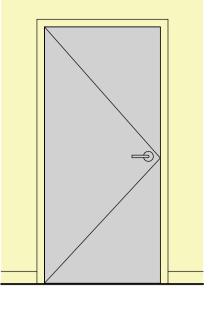
CHARACTERS TO BE LOCATED BETWEEN

Exit Level G

BRAILLE

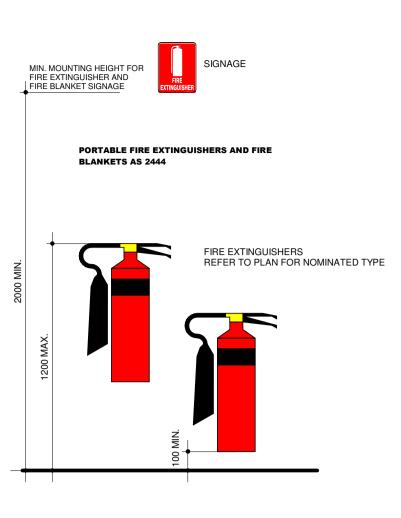
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DOORWAY LUMINANCE

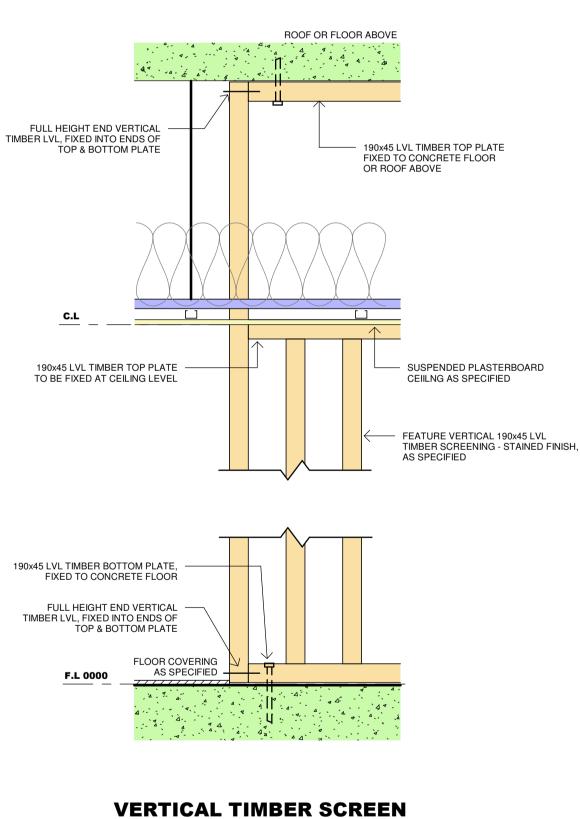


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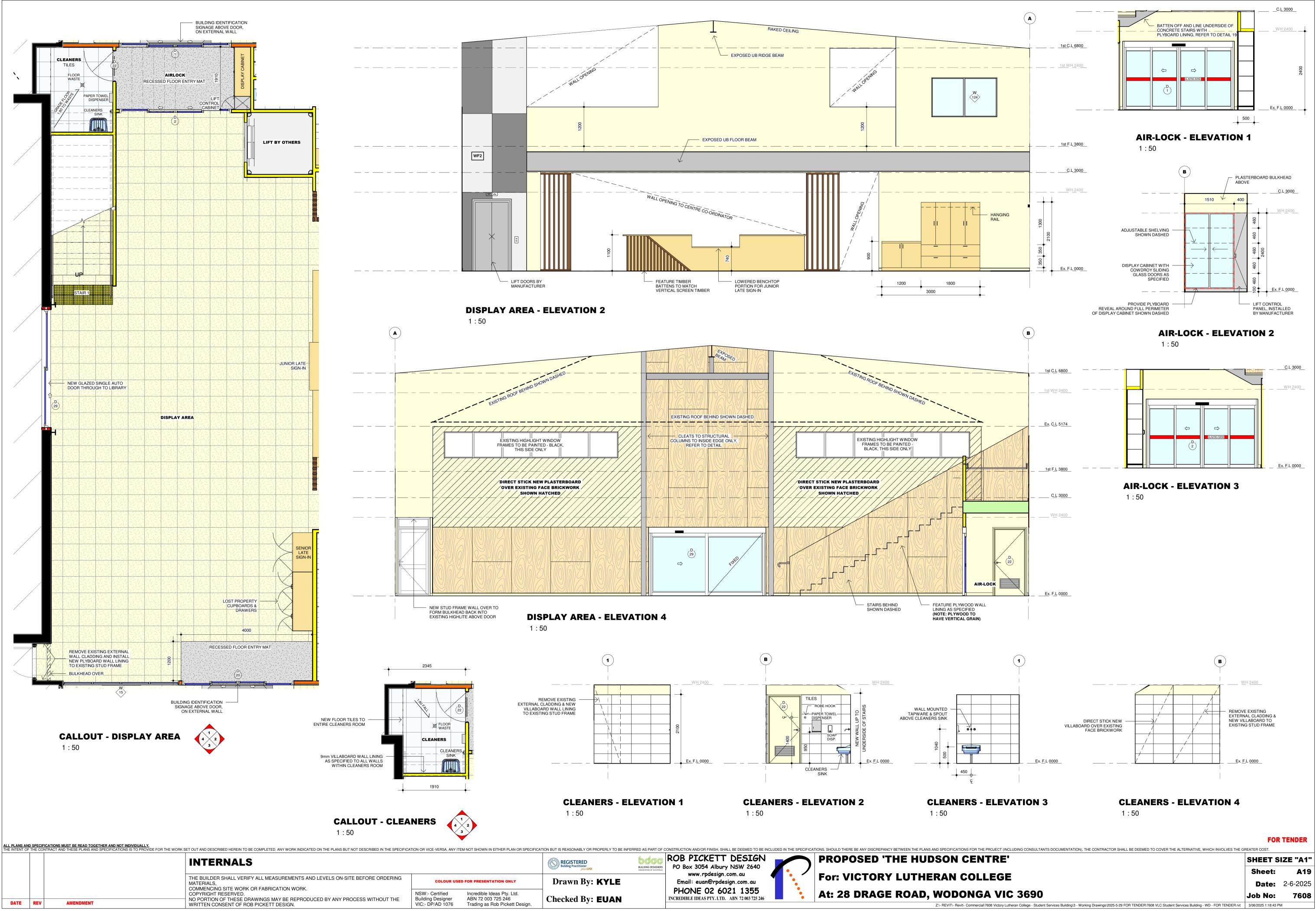
LUMINANCE CONTRAST ALL DOORWAYS SHALL HAVE A MIN. LUMINANCE CONTRAST OF 30% BETWEEN - DOOR LEAF & JAMB - DOOR LEAF & ADJACENT WALL - ARCHITRAVE & WALL - DOOR LEAF & ARCHITRAVE - JAMB & ADJACENT WALL MIN. 50mm WIDTH OF LUMINANCE CONTRAST AREA



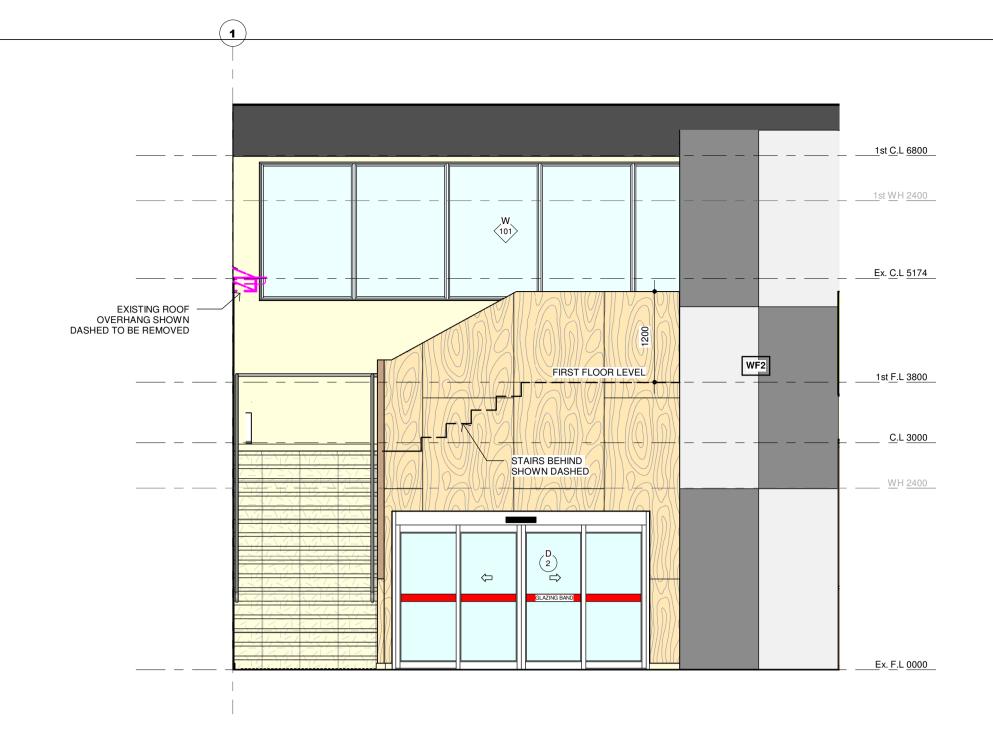
FIRE EXTINGUISHER MOUNTING 1:20



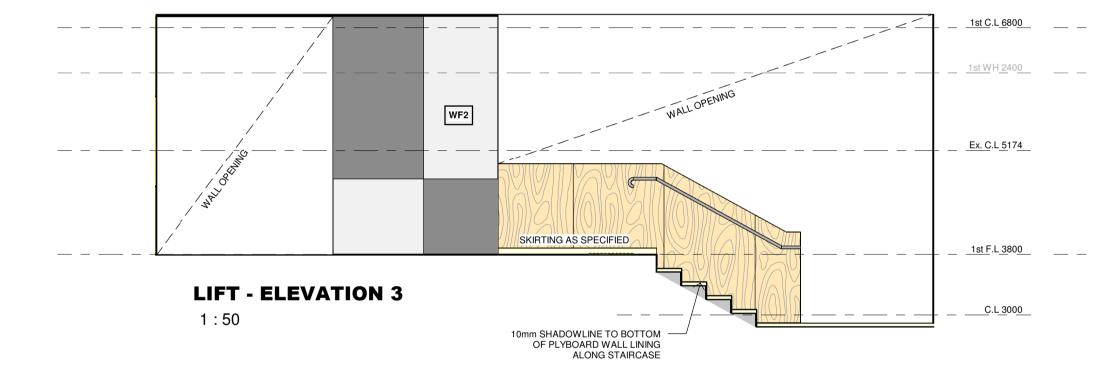
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	REGISTERED Building Practitioner		ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640			PROPOSED 'THE HUDSON CENTRE'
ENTATION ONLY	Drawn By: KYLE	ASSOCIATION OF AUSTRALIA	www.rpdesign.com.au Email: euan@rpdesign.com.au			For: VICTORY LUTHERAN COLLEGE
e Ideas Pty. Ltd. 003 725 246	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246			At: 28 DRAGE ROAD, WODONGA VIC
as Rob Pickett Design.	5					Z:\- REVIT\- Revit\- Commercial\7608 Victory Luther



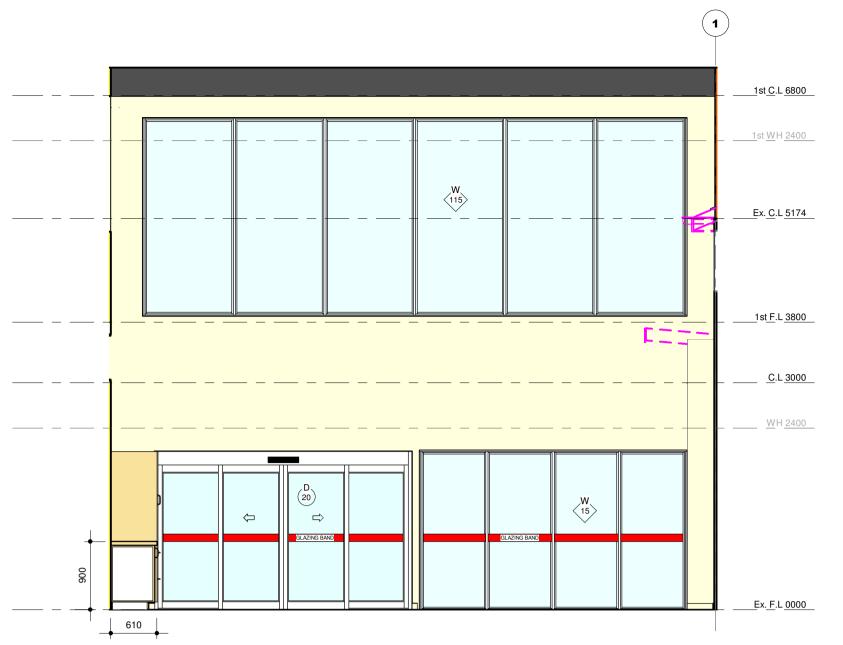


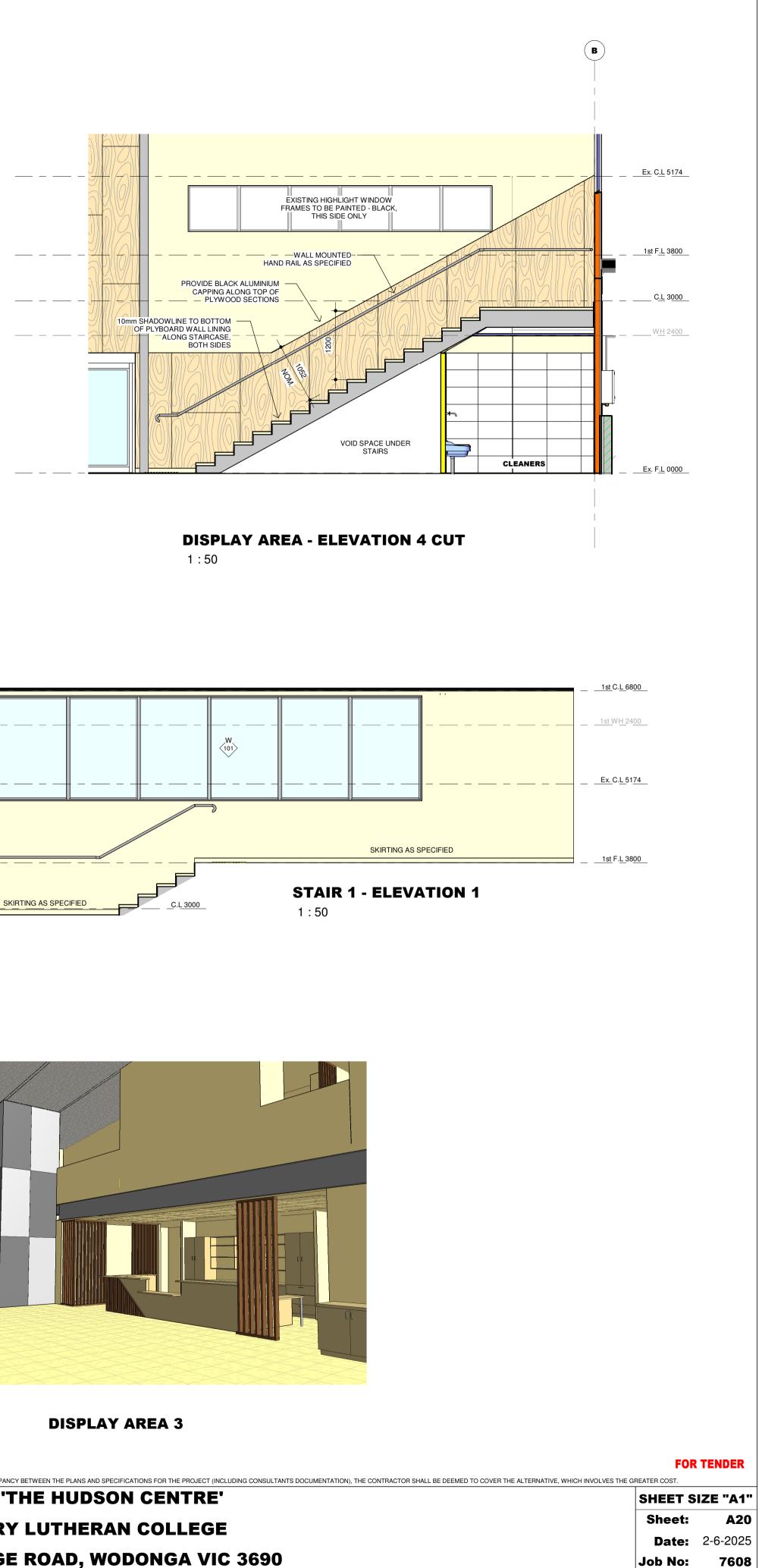




DISPLAY AREA 1

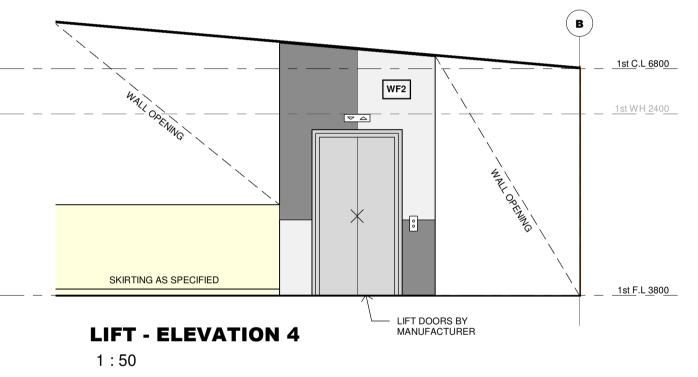
		INTERNALS		REGISTERED Building Practitioner plus CPD	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA PO Box 3054 Albury NSW 2640	PROPOSED 'THE HUDSON CENTRE'
		THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS,	COLOUR USED FOR PRESENTATION ONLY	Drawn By: KYLE	www.rpdesign.com.au Email: euan@rpdesign.com.au	For: VICTORY LUTHERAN COLLEGE
	COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE		NSW:- Certified Incredible Ideas Pty. Ltd. Building Designer ABN 72 003 725 246	Checked By: EUAN	PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246	At: 28 DRAGE ROAD, WODONGA VIC 3
DATE REV	AMENDMENT	WRITTEN CONSENT OF ROB PICKETT DESIGN.	VIC:- DP/AD 1076 Trading as Rob Pickett Design.			Z:\- REVIT\- Revit\- Commercial\7608 Victory Lutheran C

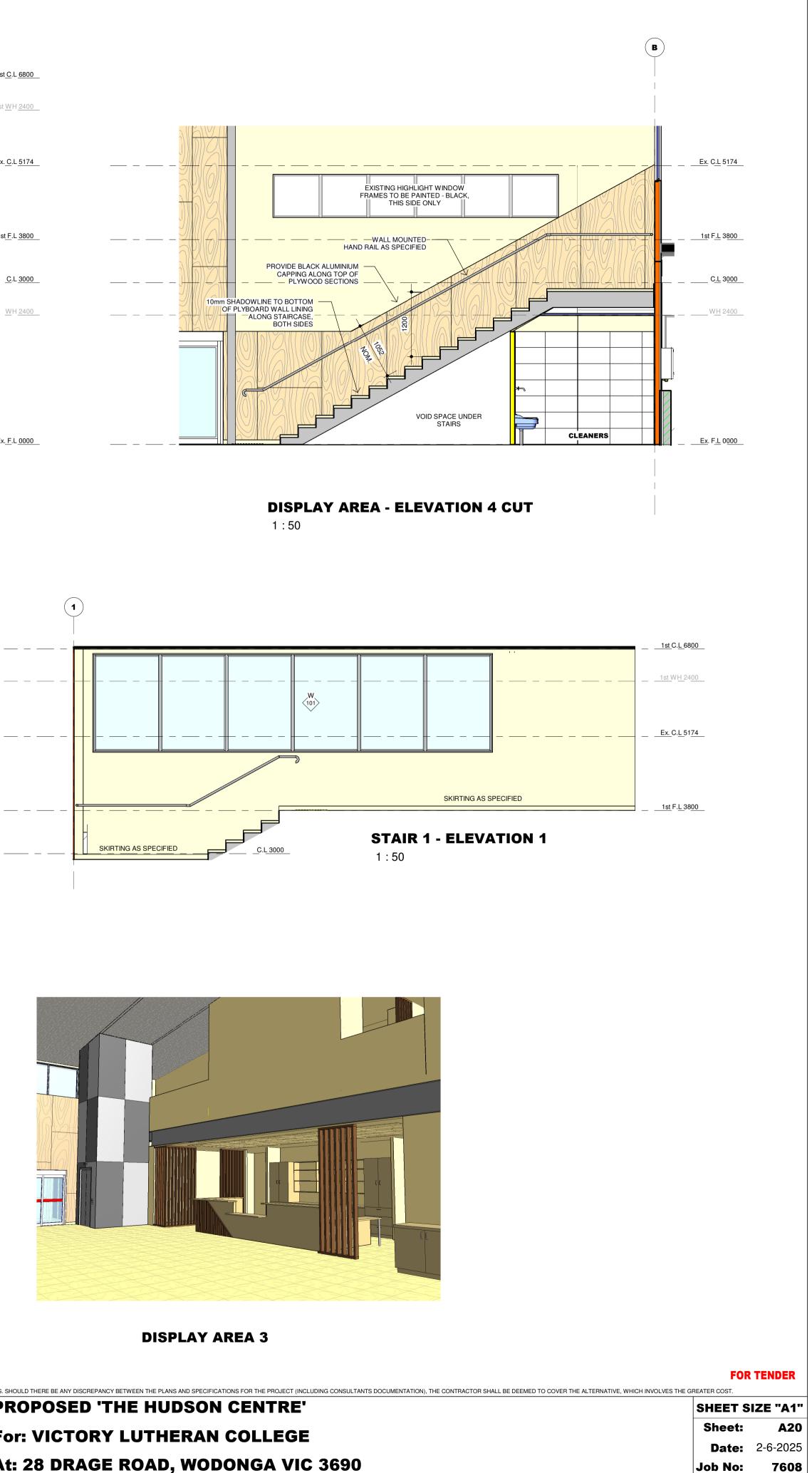










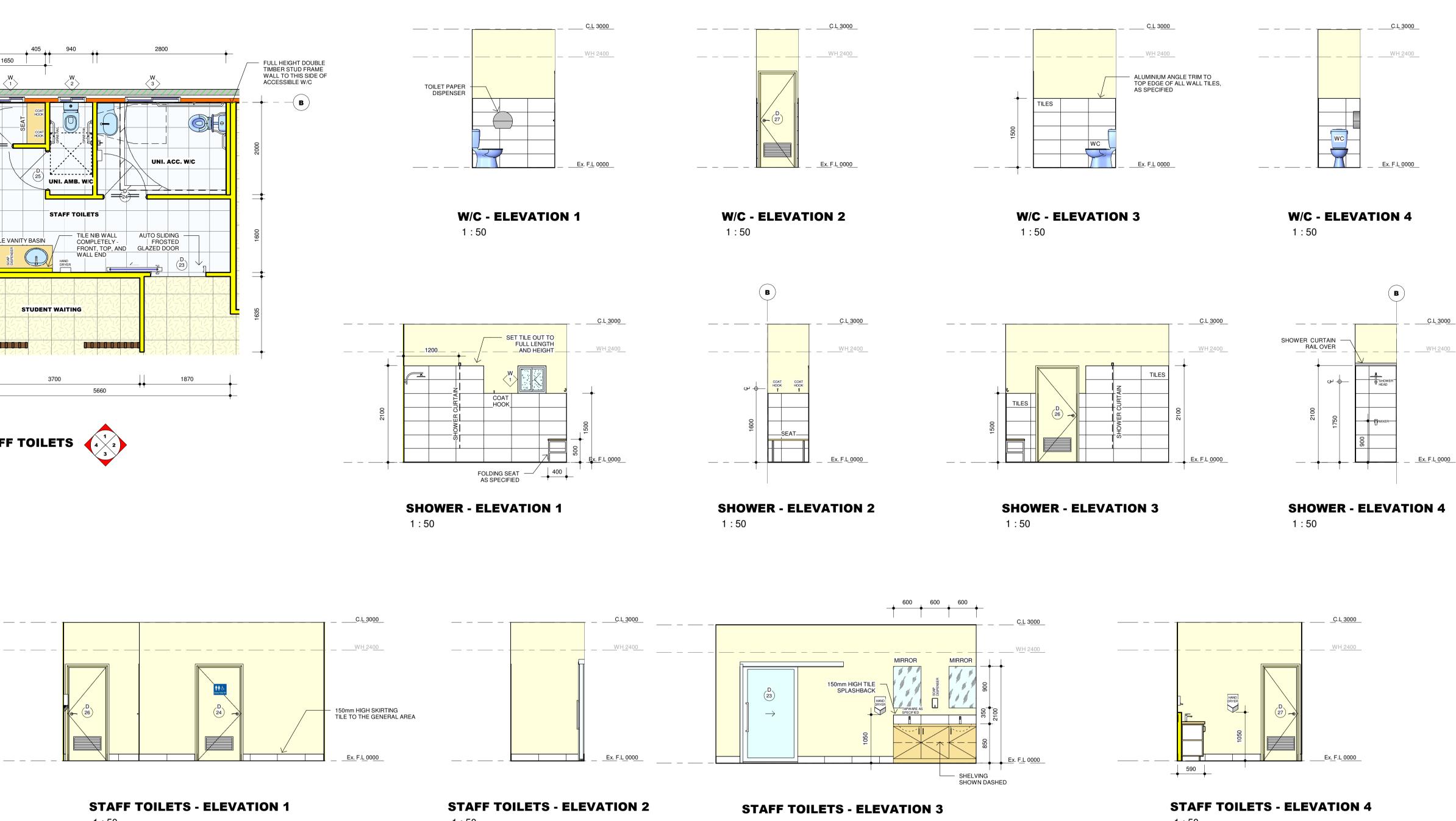




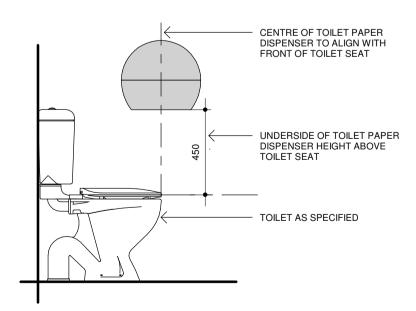
DISPLAY AREA 2

heran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/06/2025 1:18:46 PM





1:50



TOILET PAPER DISPENSER 1:20

THE INTENT OF	THE CO	NTRACT AND THESE PLANS AND SPECIFICATIONS IS TO PROVIDE FOR THE WORK	SET OUT AND DESCRIBED HEREIN TO BE COMPLETED. ANY WORK INDICATED ON THE PLANS BUT NOT DESCRIBED IN THE SPECIFICAT	FION OR VICE-VERSA, ANY ITE	M NOT SHOWN	
			INTERNALS			
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.	COLOUR USED FOR PRESEN		
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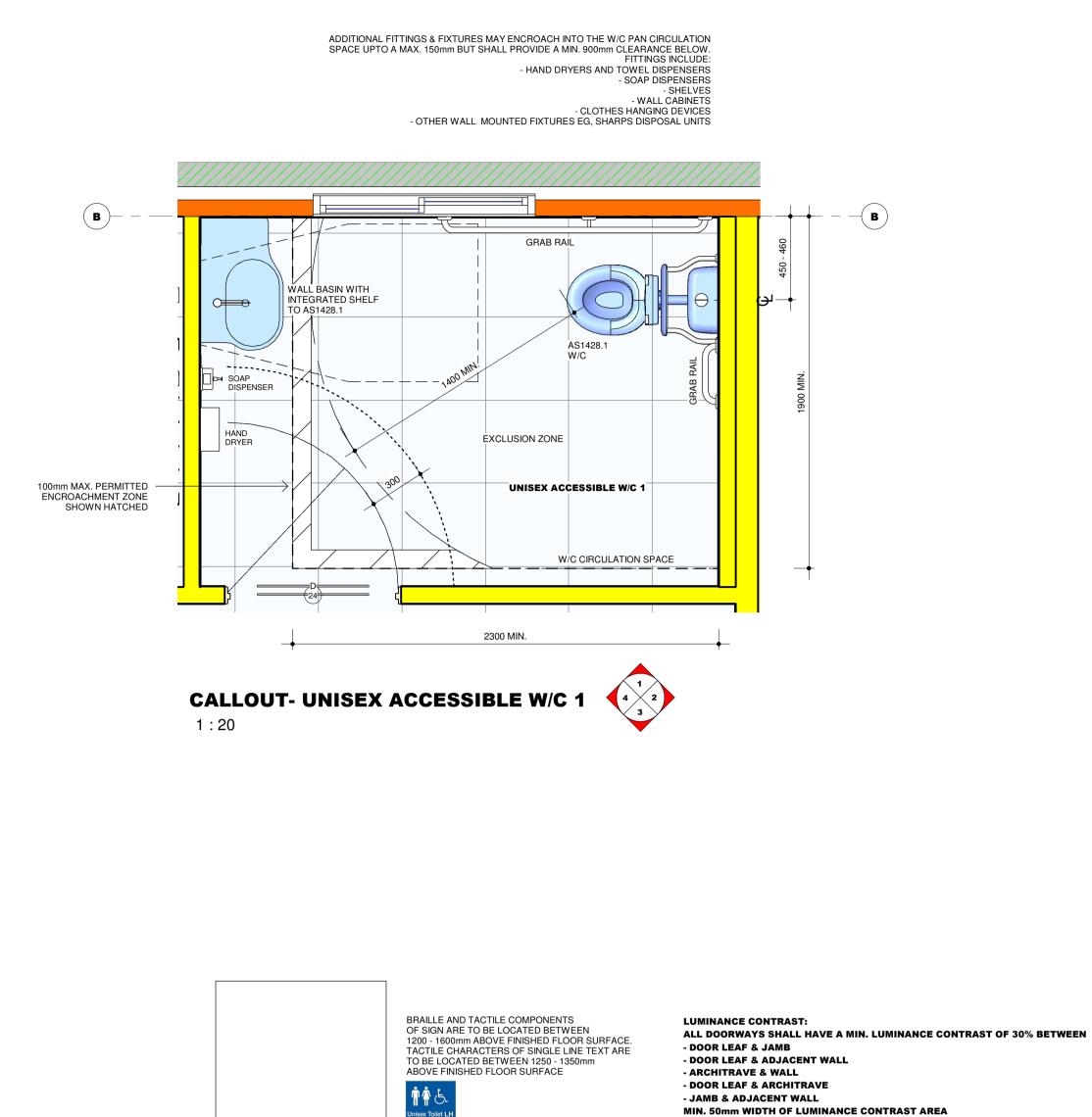
ALL PLANS AND SPECIFICATIONS MUST BE READ TOGETHER AND NOT INDIVIDUALLY.

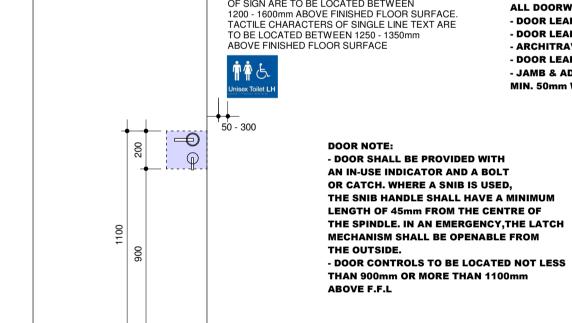
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WN IN EITHER PLAN OR SPECIFIC	ATION BUT IS REASONABLY OR PROPERLY TO BE INF	FERRED AS PART OF CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INCL	ATIONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLUDING CONSULTANTS DOCUMENTATION), THE CONTRACTOR SHALL BE DEEMED TO COVER THE ALTERNATIVE, WHICH INVOLVES THE OPPOSED 'THE HUDSON CENTRE'	GREATER COST.	IZE "A	1"
SENTATION ONLY	Drawn By: KYLE	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA WWW.rpdesign.com.au Email: euan@rpdesign.com.au	For: VICTORY LUTHERAN COLLEGE	Sheet: Date:	A2 2-6-202	
ble Ideas Pty. Ltd. 2 003 725 246 g as Rob Pickett Design.	Checked By: EUAN	PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246	At: 28 DRAGE ROAD, WODONGA VIC 3690	Job No:	760	

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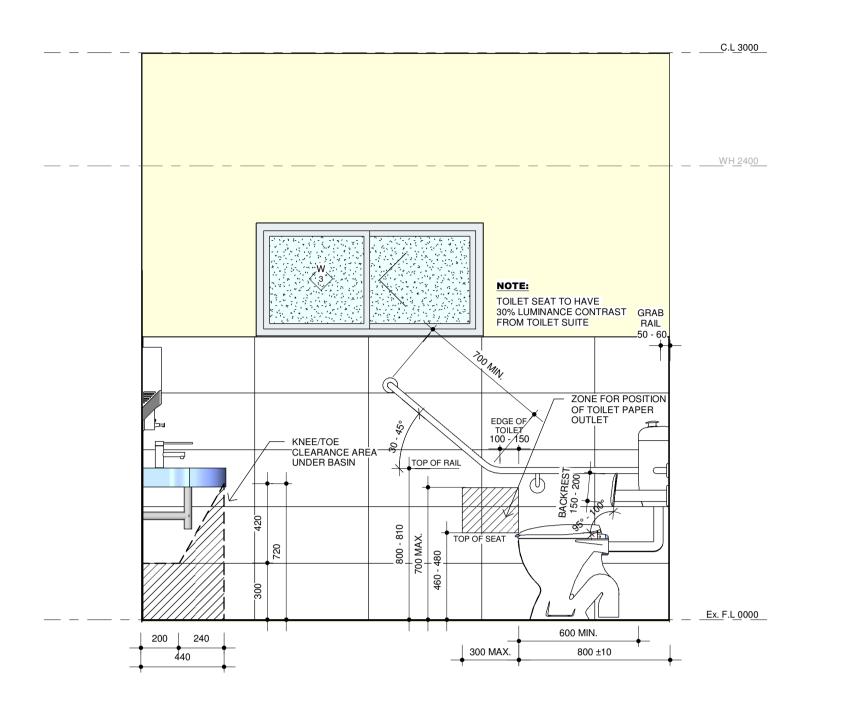




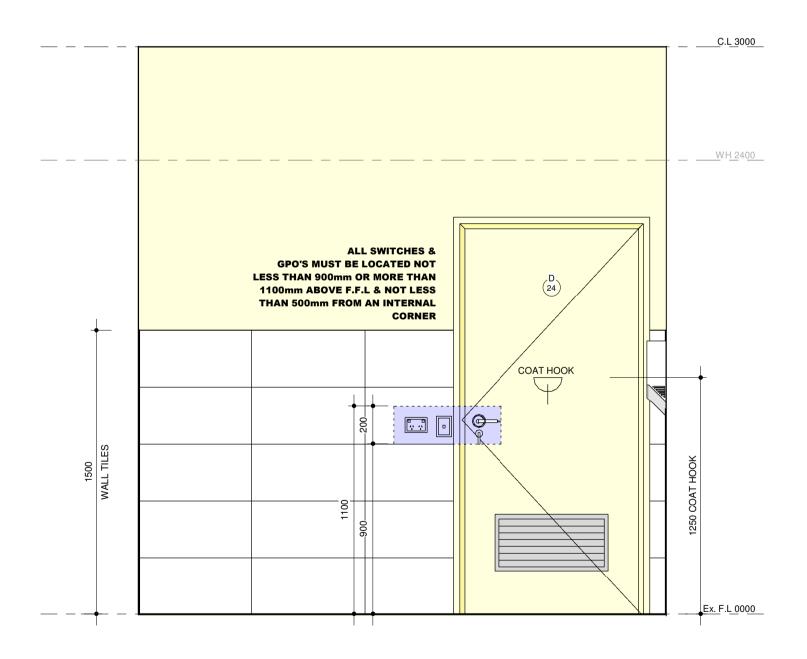
DOOR ELEVATION - EXTERNAL

1:20

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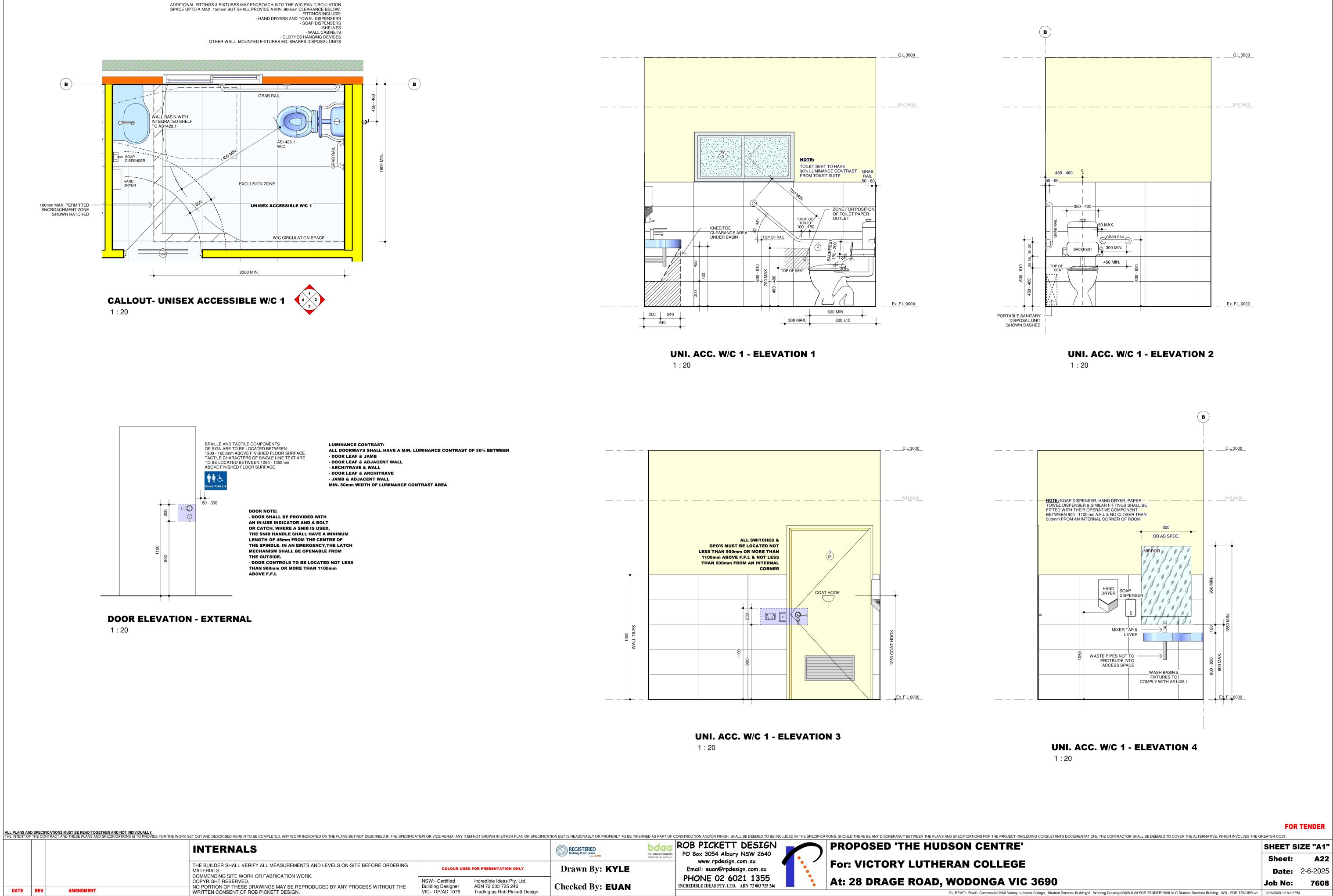


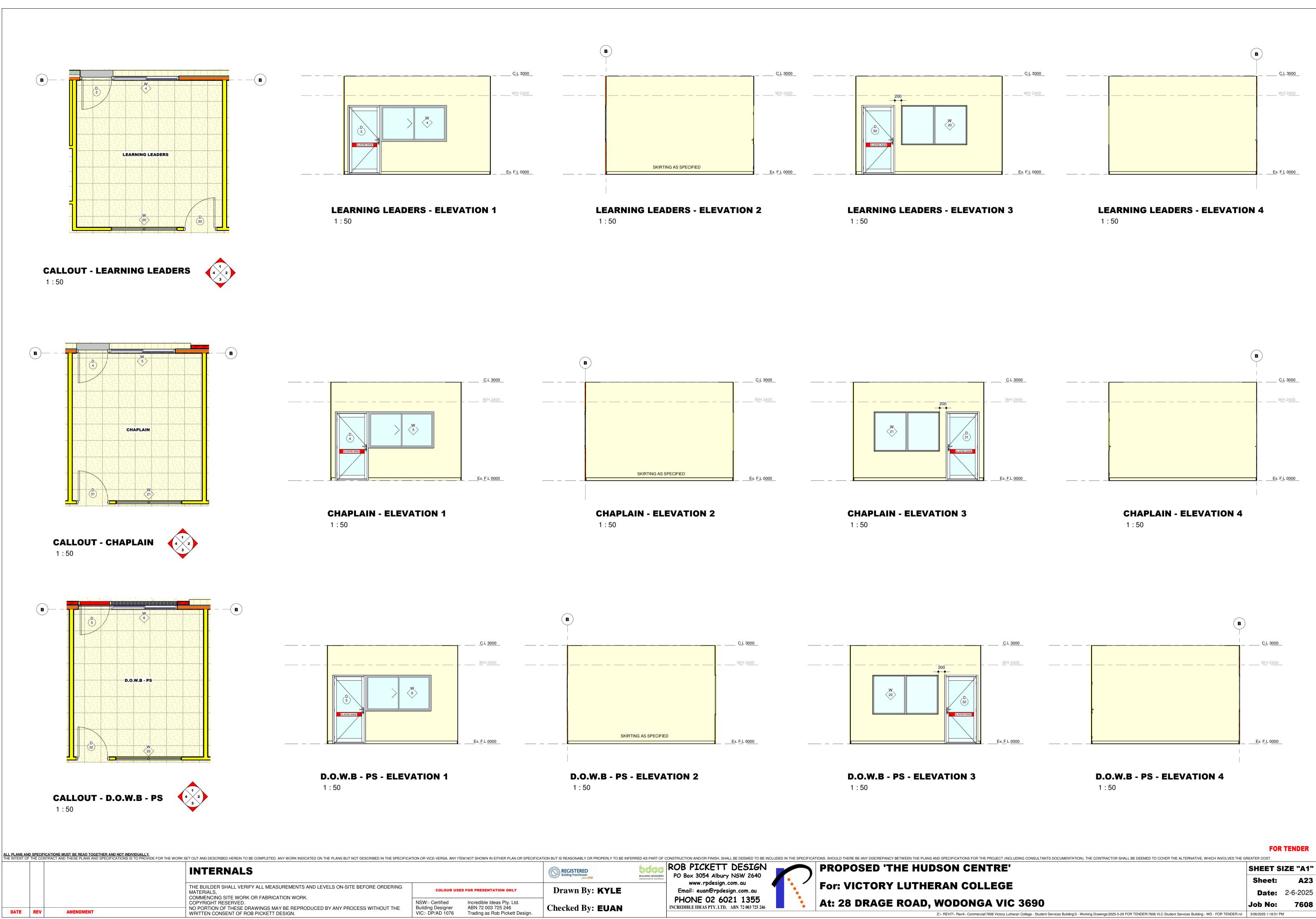


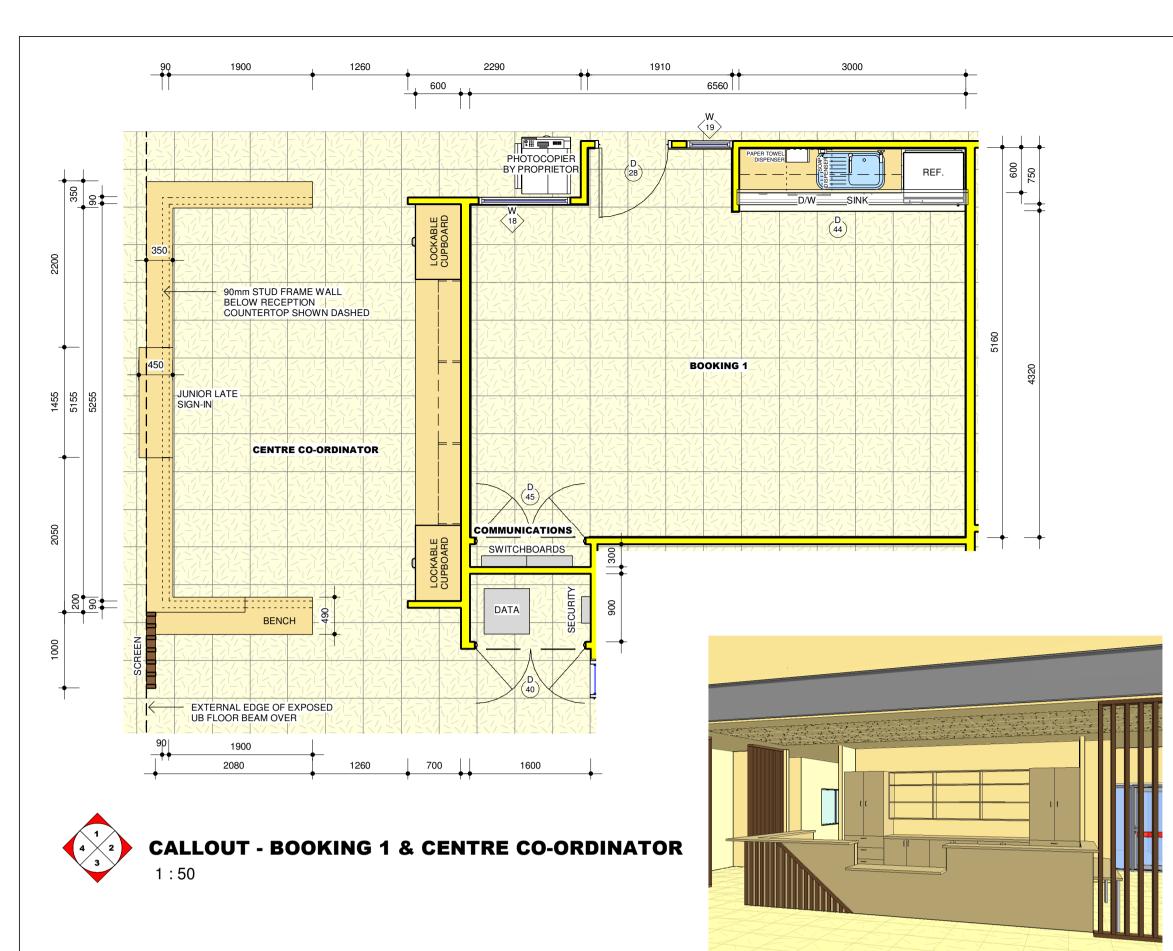


UNI. ACC. W/C 1 - ELEVATION 3 1:20

IN EITHER PLAN OR SPECIFICAT	ION BUT IS REASONABLY OR PROPERLY TO BE INFE	ERRED AS PART OF (CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INC	CLUDED IN THE SPECIFICA	TIONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLU
	REGISTERED Building Practitioner plus CPD	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640		PROPOSED 'THE HUDSON CENTRE'
NTATION ONLY	Drawn By: KYLE		www.rpdesign.com.au Email: euan@rpdesign.com.au		For: VICTORY LUTHERAN COLLEGE
Ideas Pty. Ltd. 03 725 246 s Rob Pickett Design.	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246		At: 28 DRAGE ROAD, WODONGA VIC Z:\- REVIT\- Revit\- Commercial\7608 Victory Luthera
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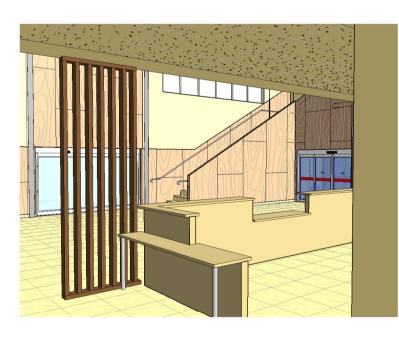




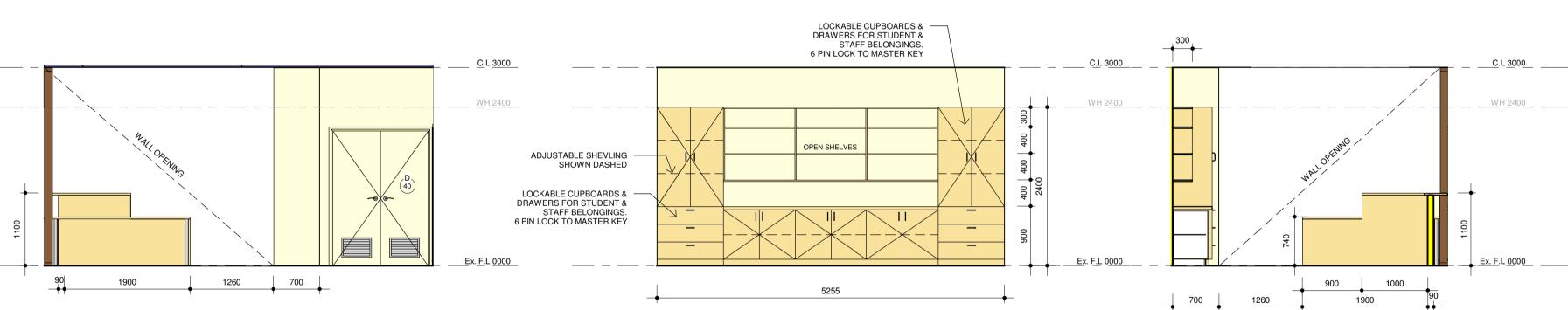


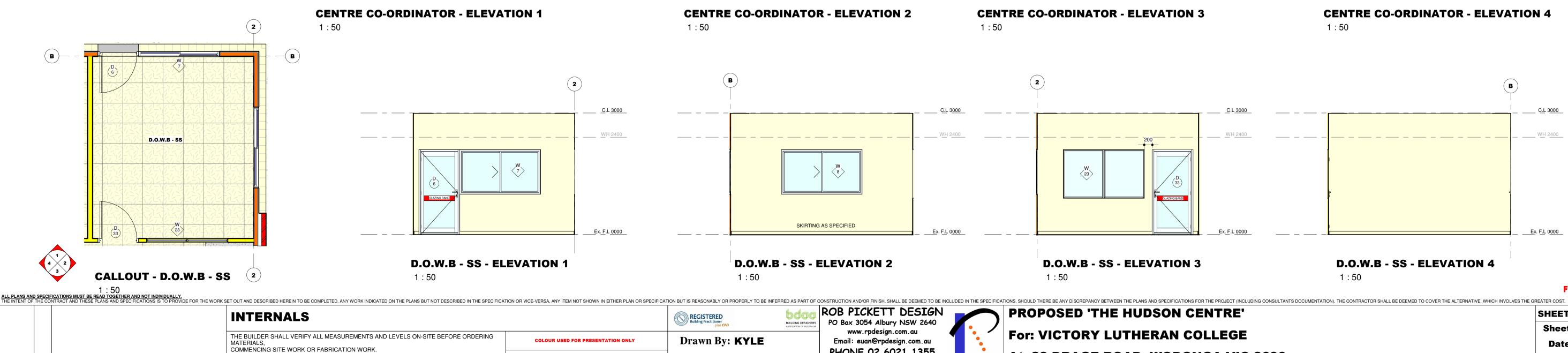
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RECEPTION 1



RECEPTION 3





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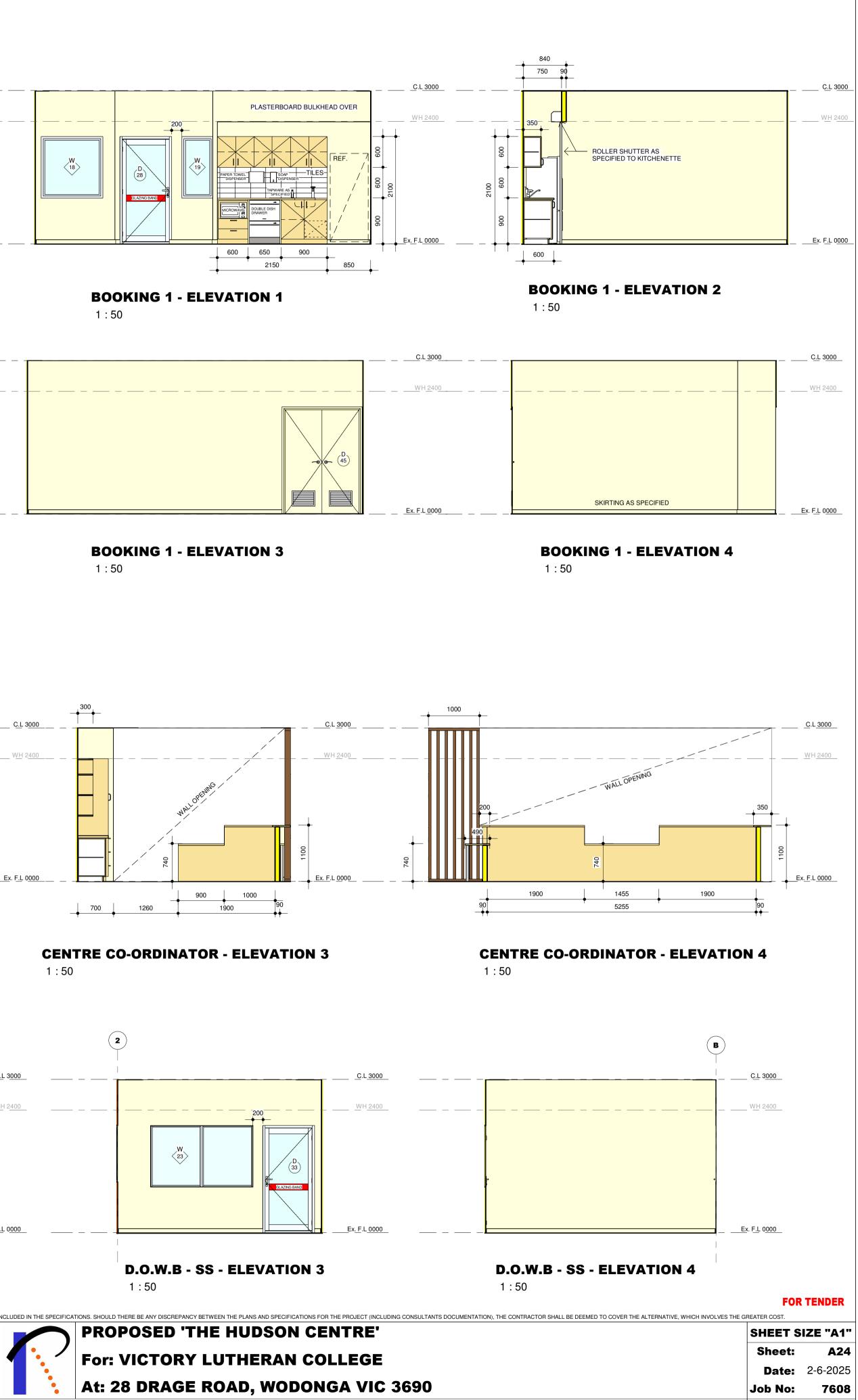
NSW:- Certified

Building Designer

VIC:- DP/AD 1076

DATE

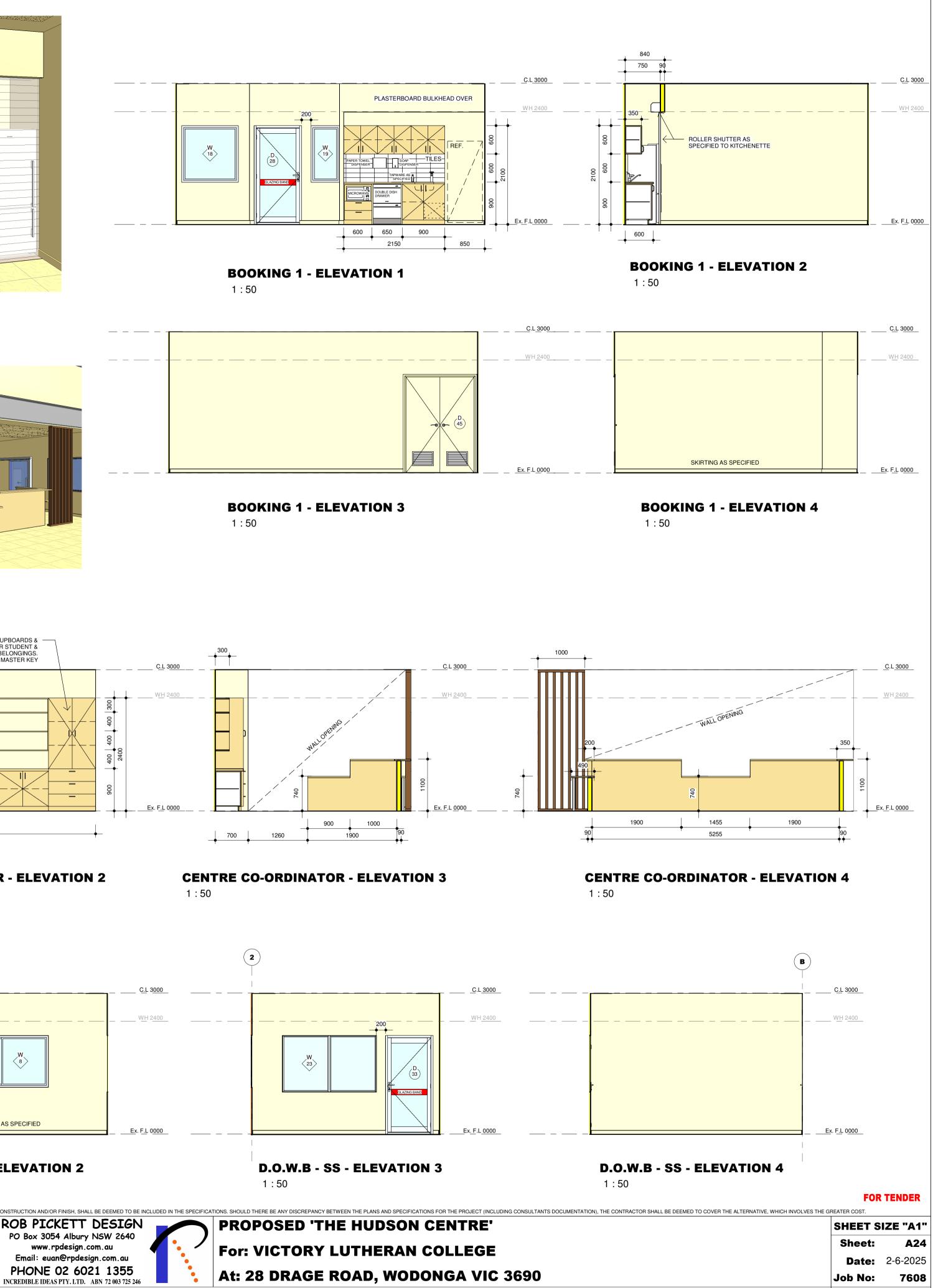




BOOKING 1

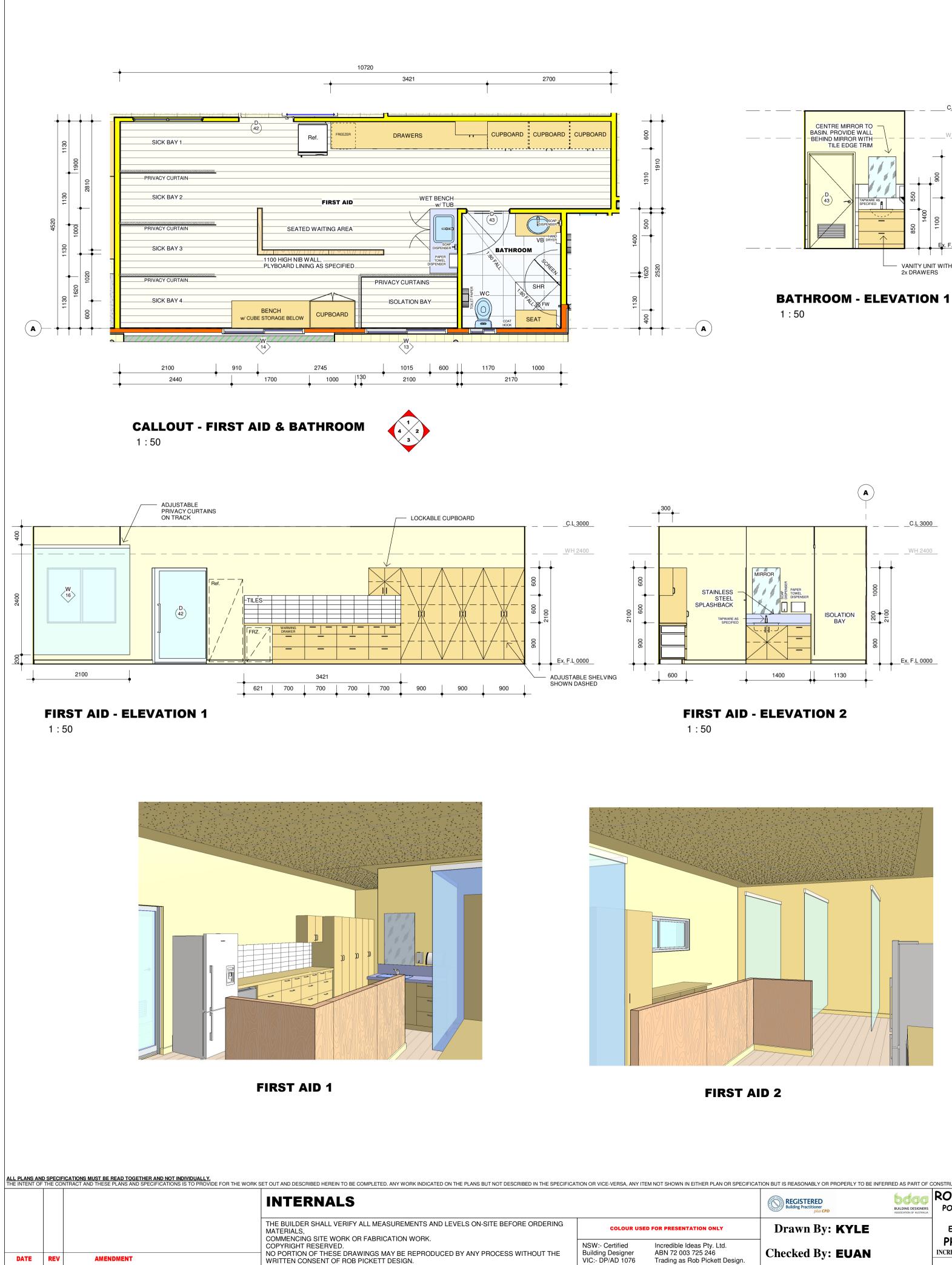


RECEPTION 2





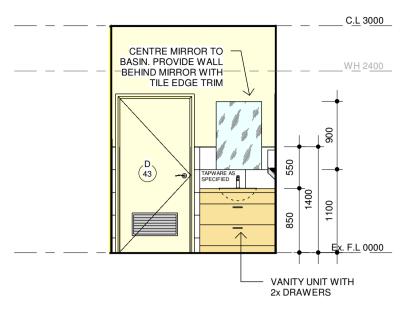
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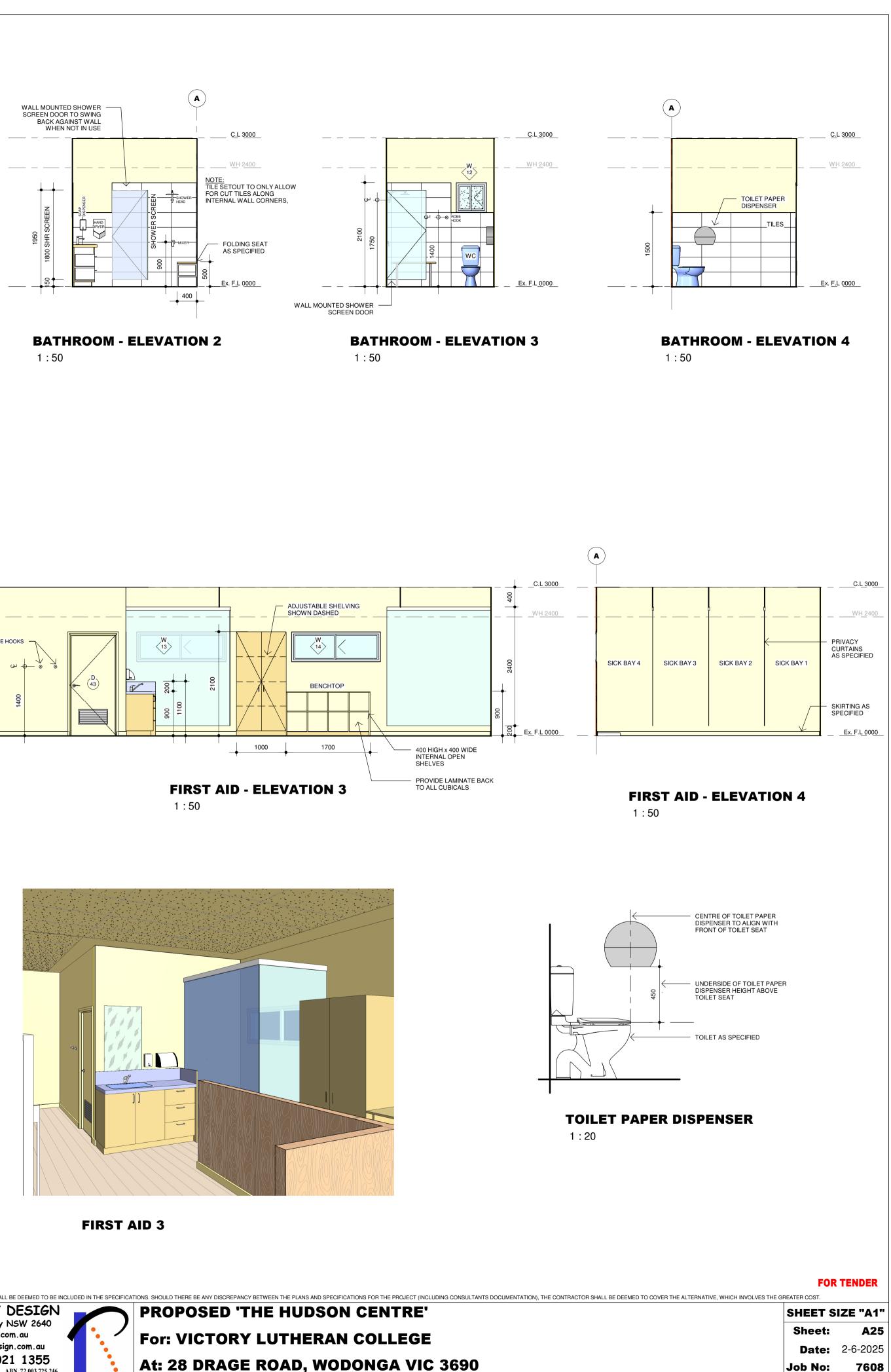


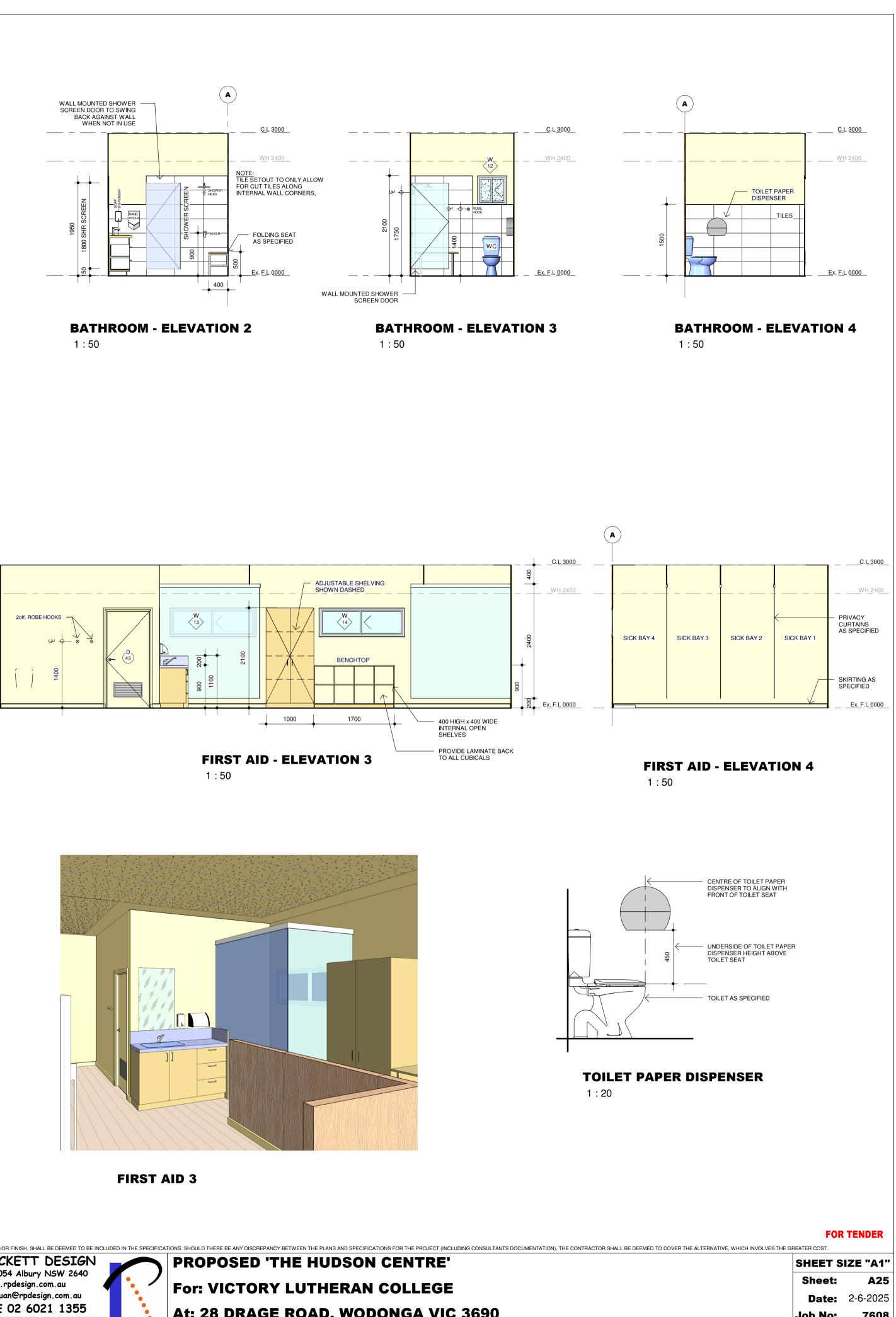
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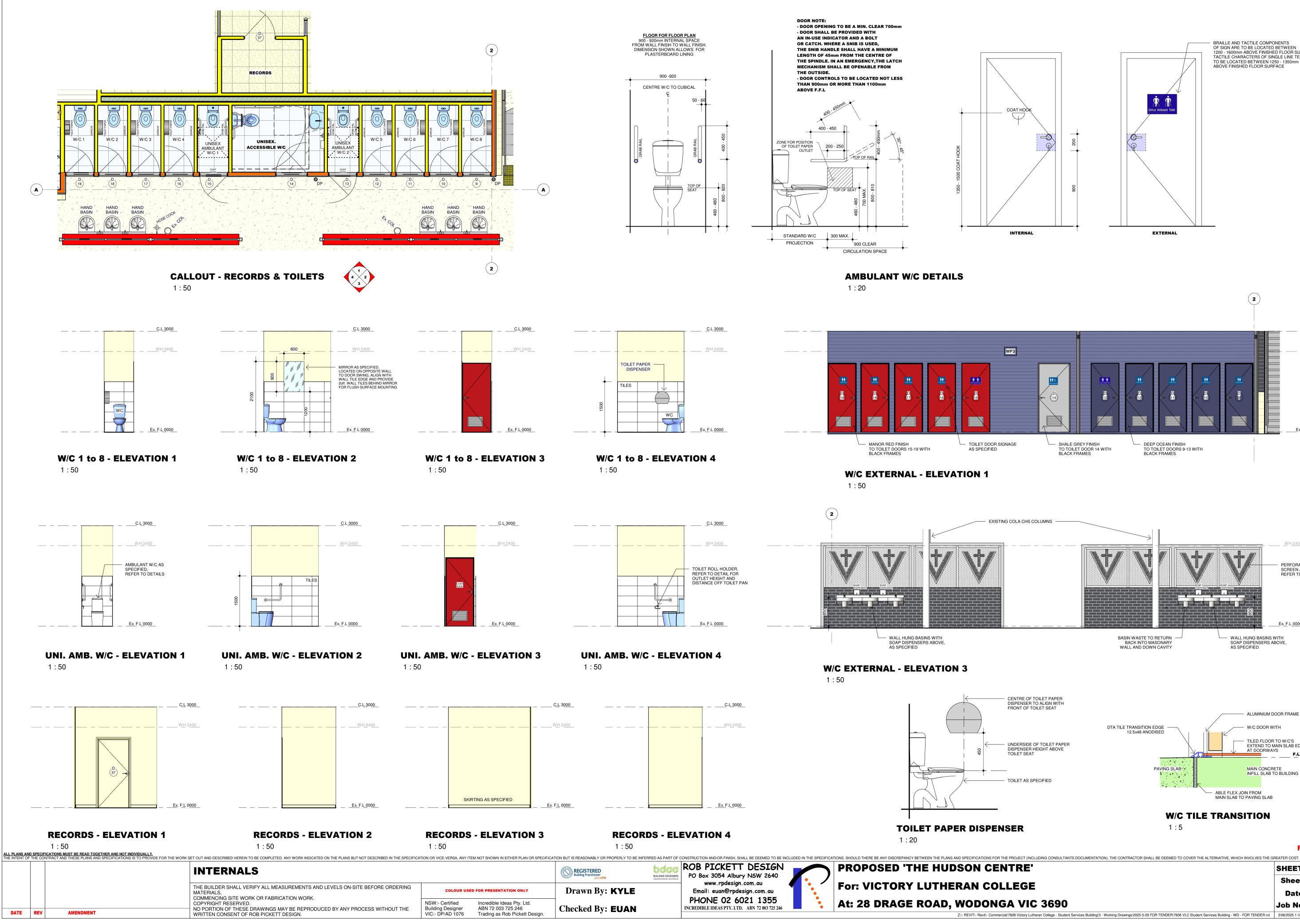
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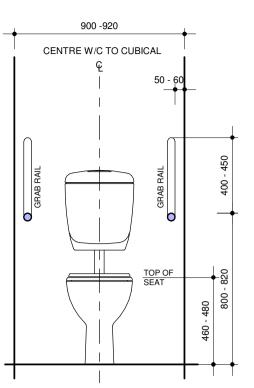
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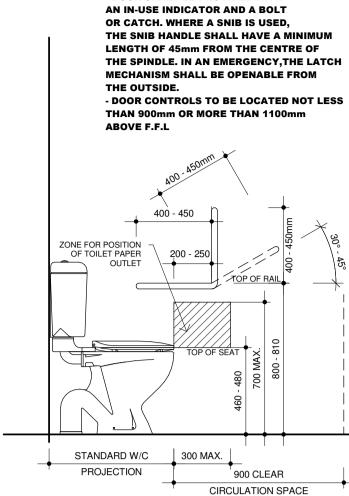


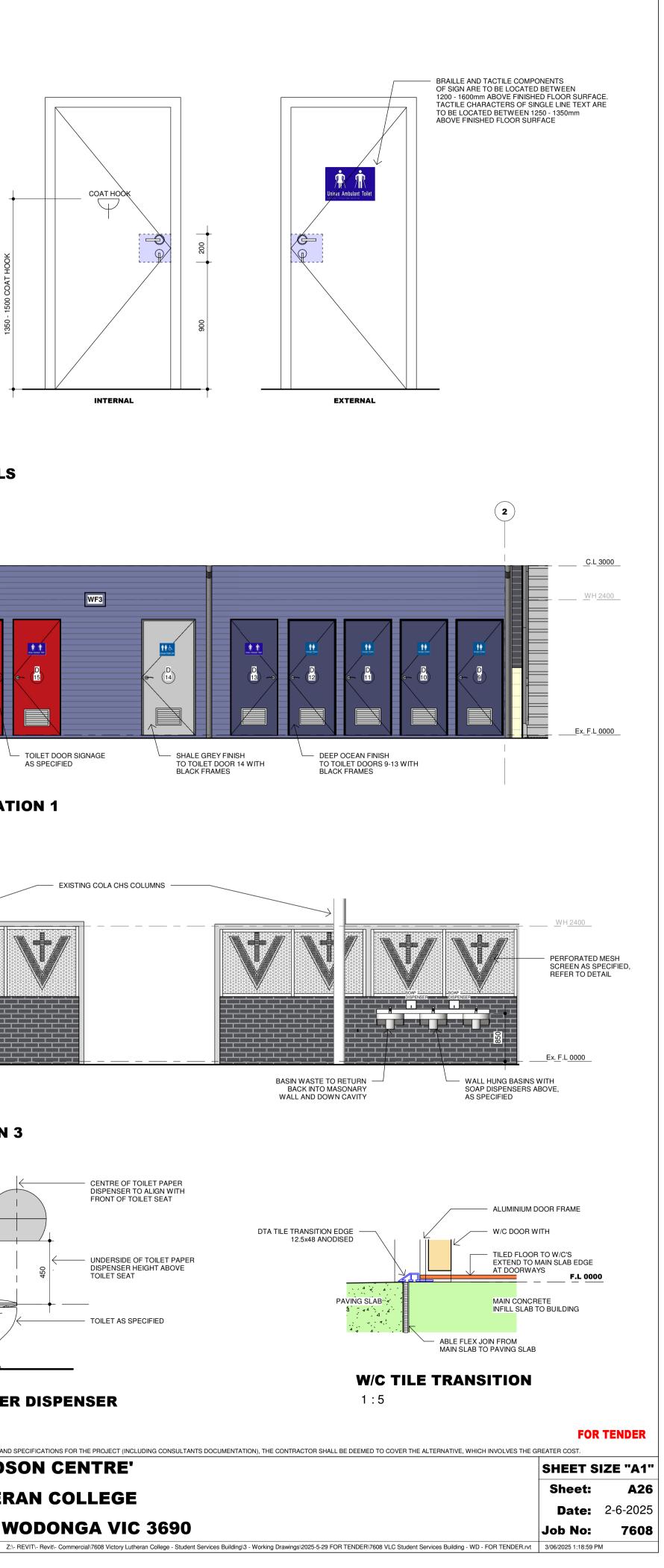
TTEM NOT SHOWN IN EITHER PLAN OR SPECIFICA	REGISTERED Building Practitioner	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA PO Box 3054 Albury NSW 2640	PROPOSED 'THE HUDSON CENTRE'
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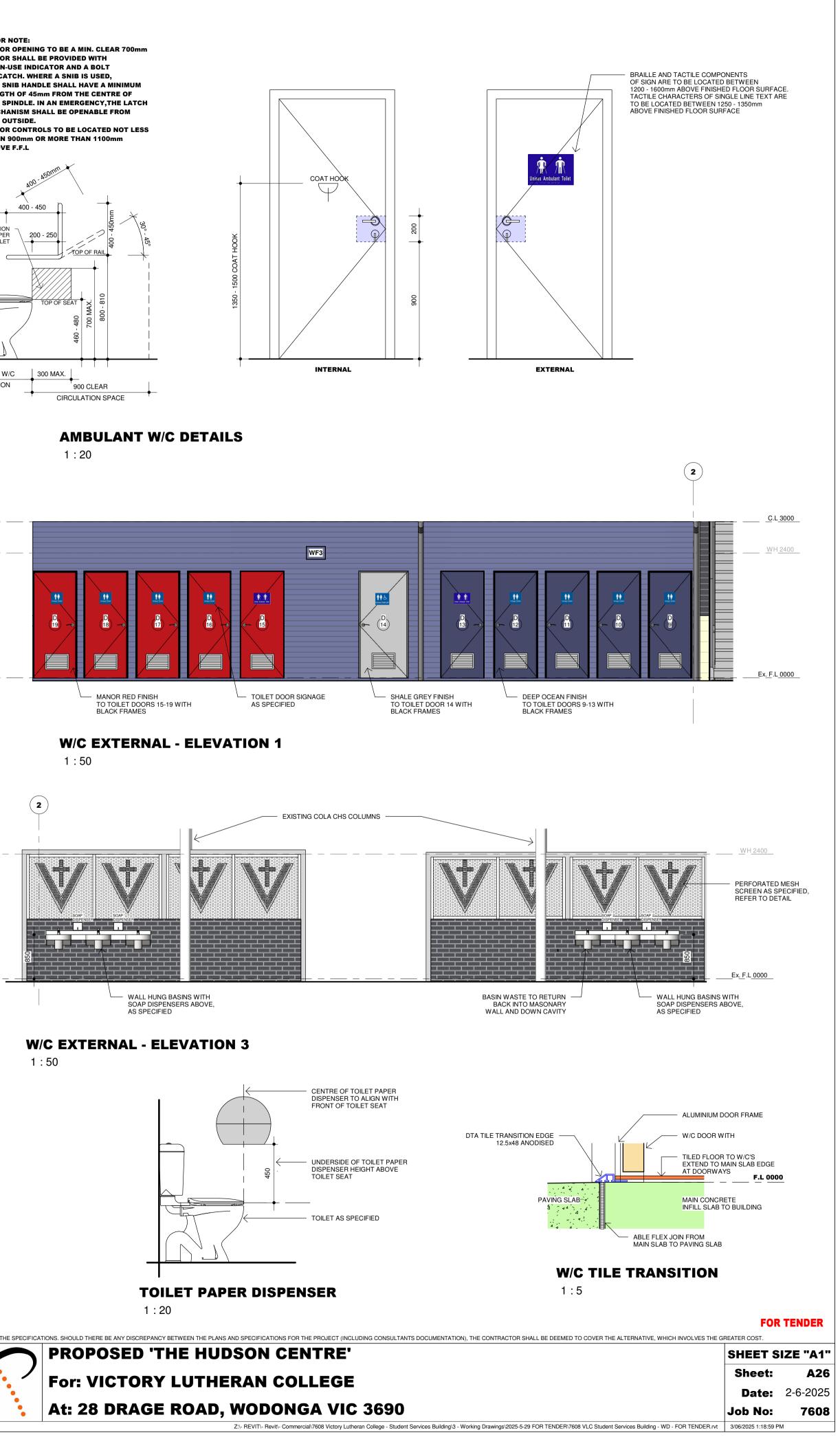
Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/06/2025 1:18:56 PM

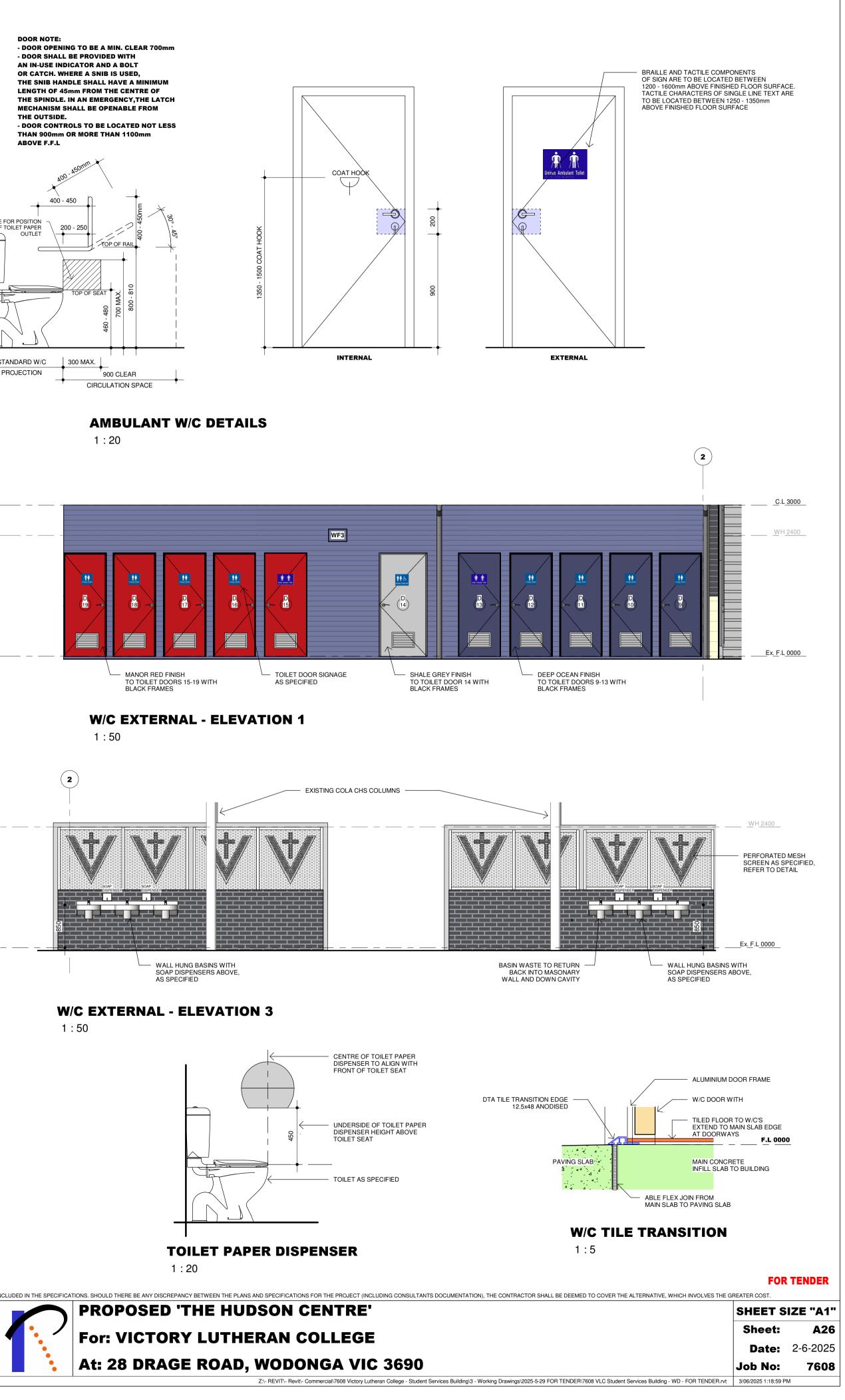


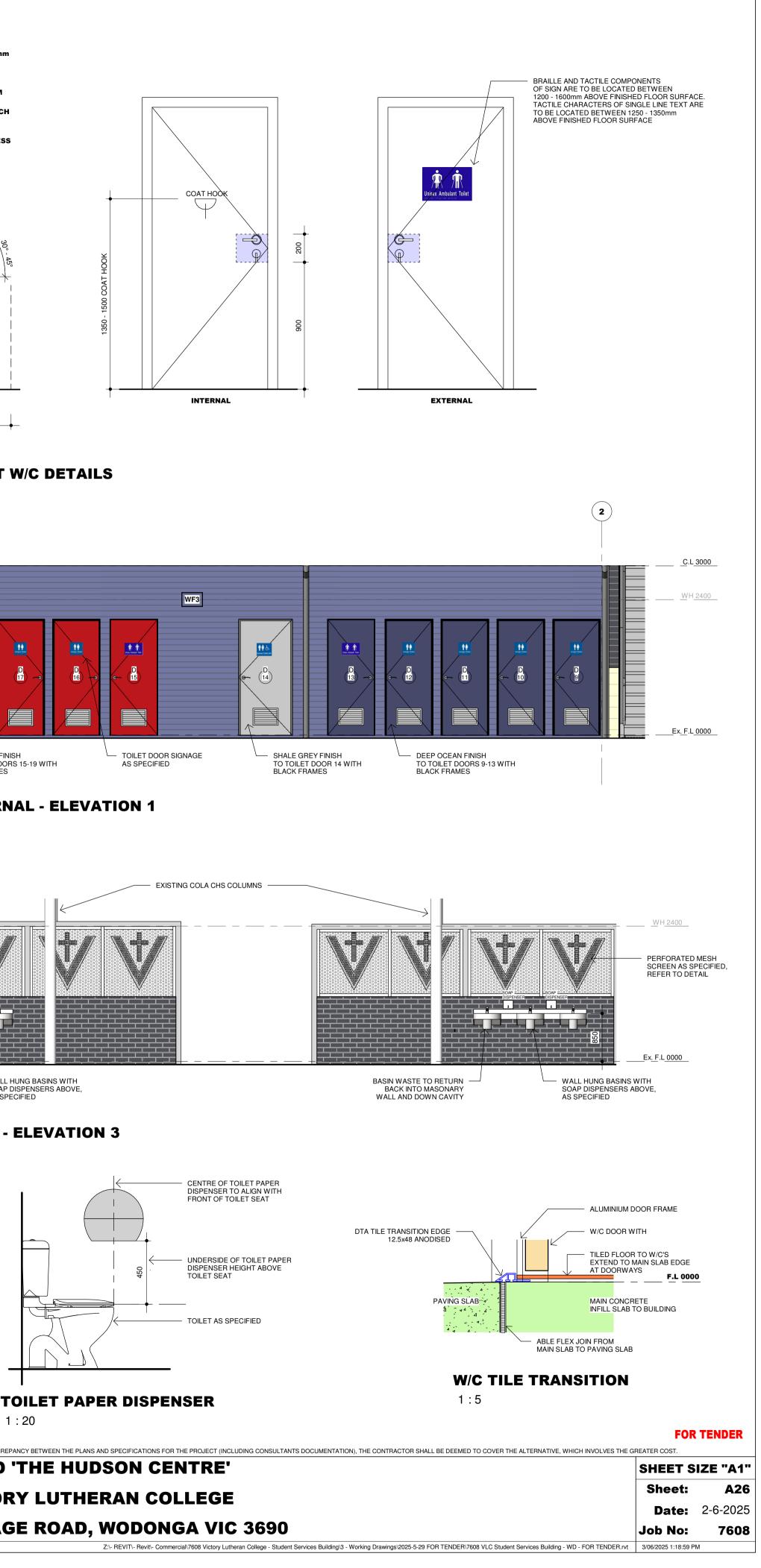






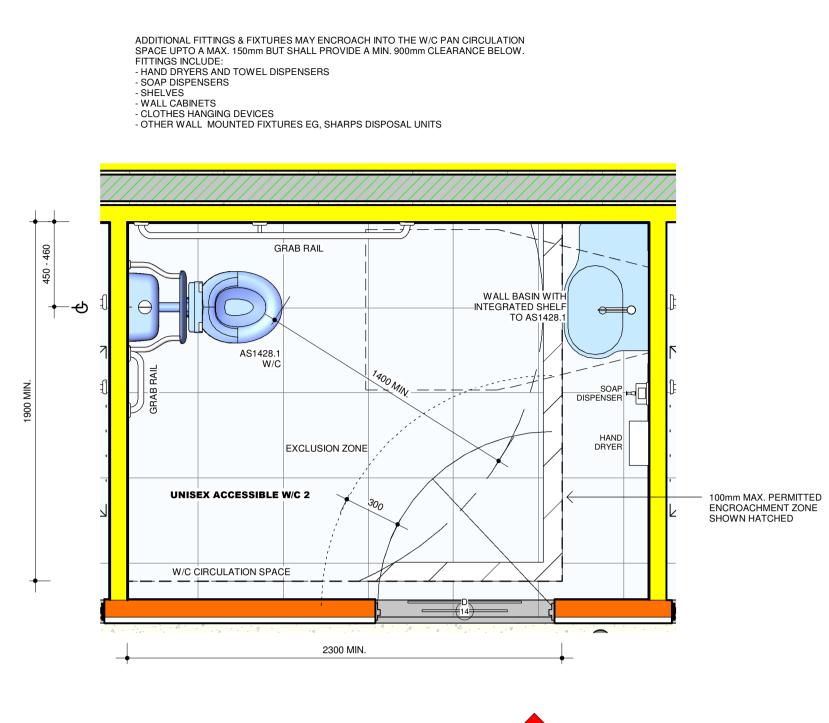






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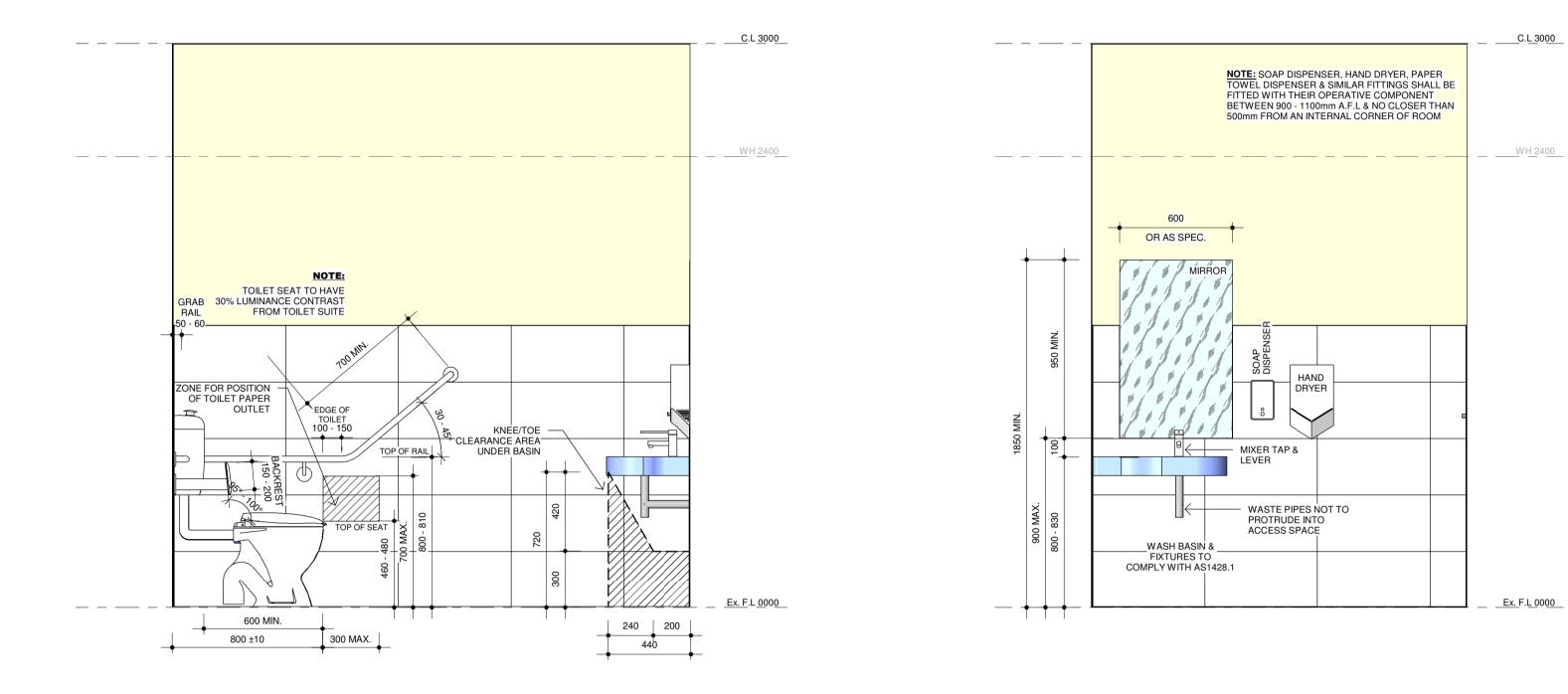




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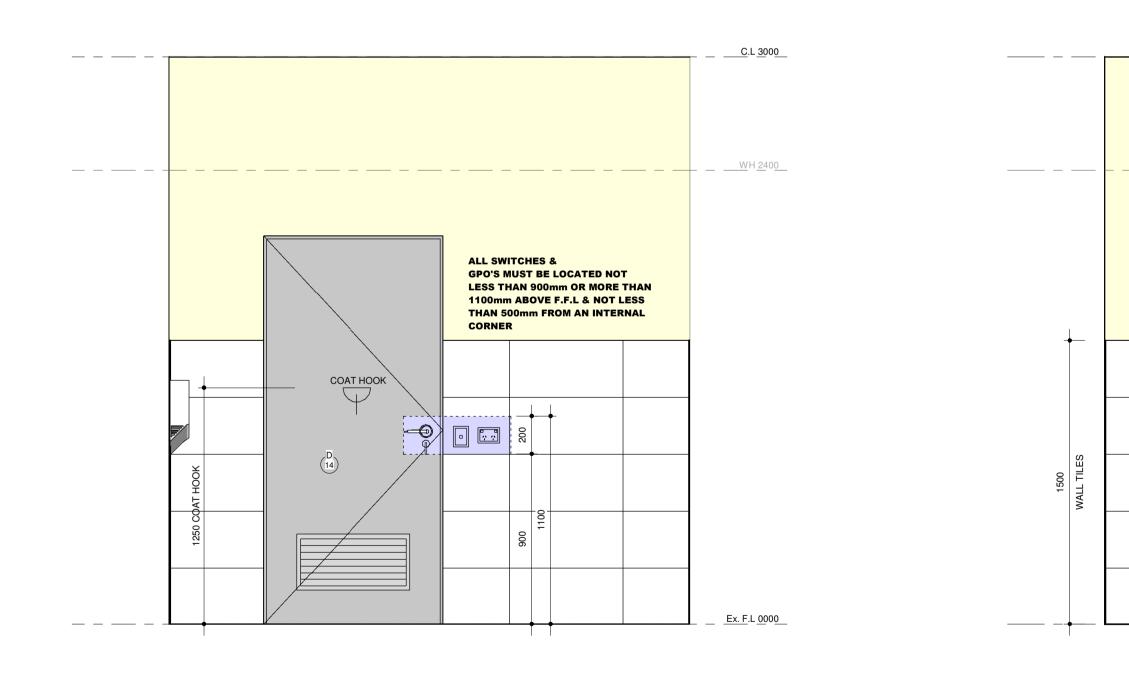
CALLOUT - UNISEX ACCESSIBLE W/C 2 1:20

			INTERNALS		
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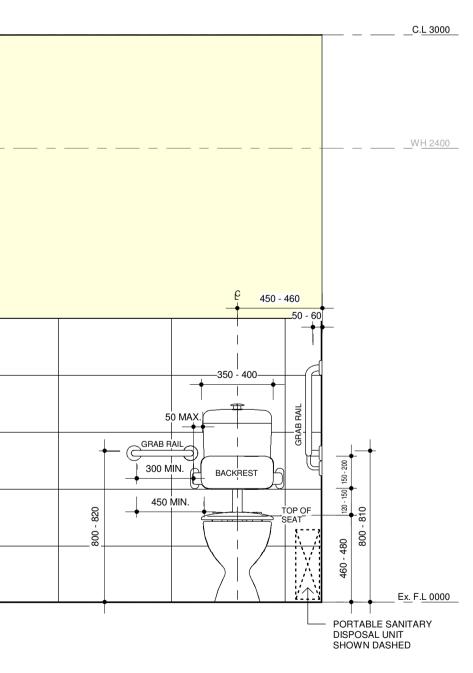


UNI. ACC. W/C 2 - ELEVATION 3 1:20

1:20

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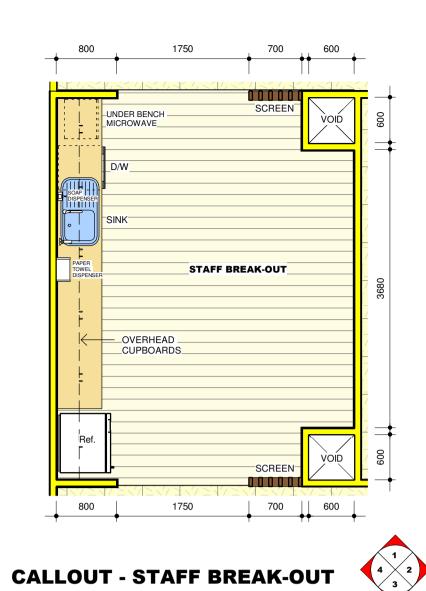
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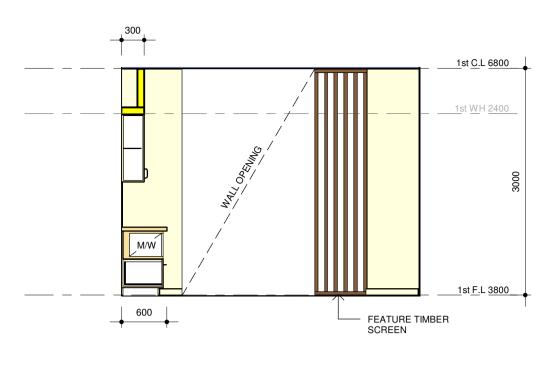
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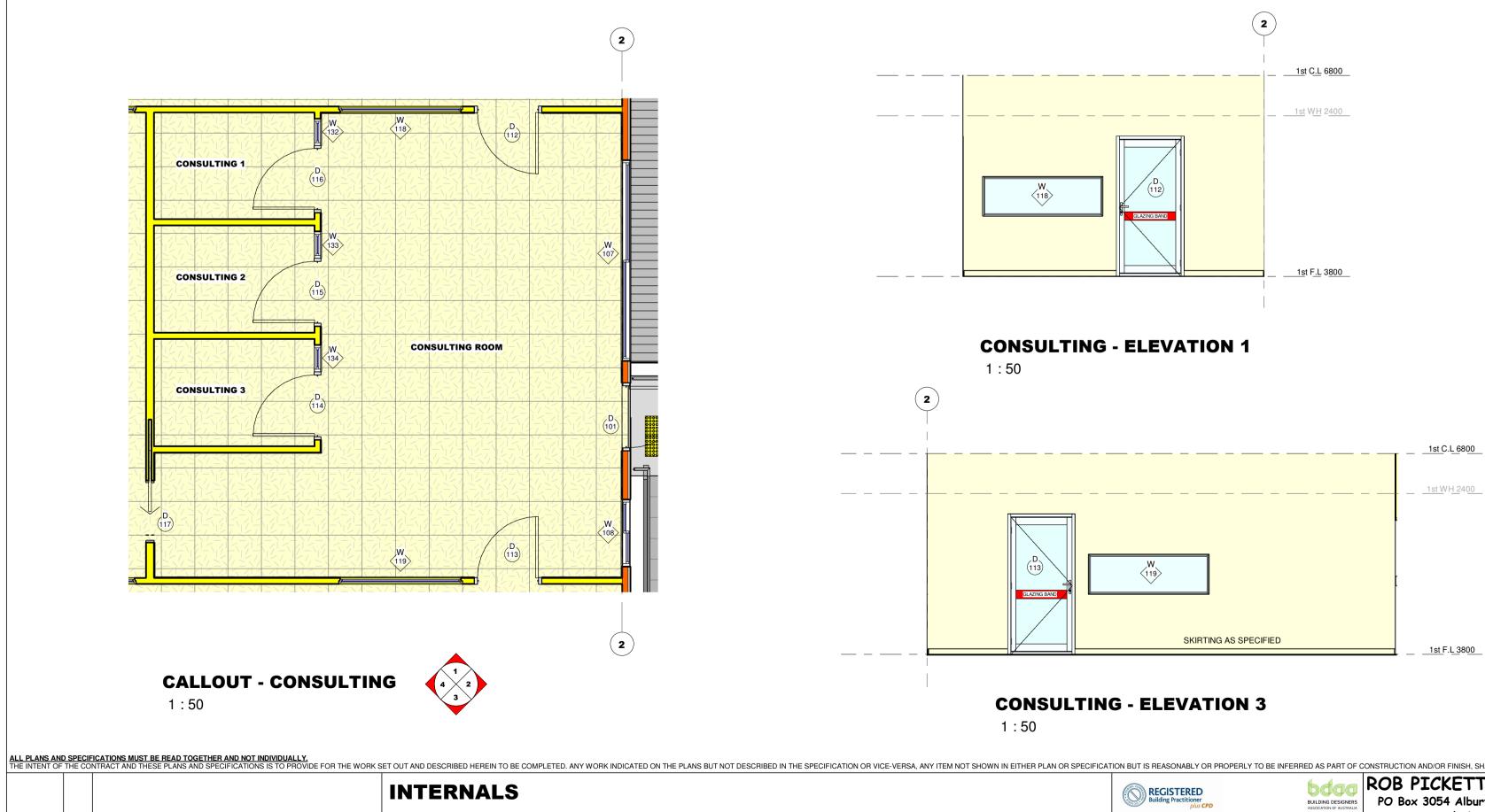
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STAFF BREAK-OUT - ELEVATION 1 1:50



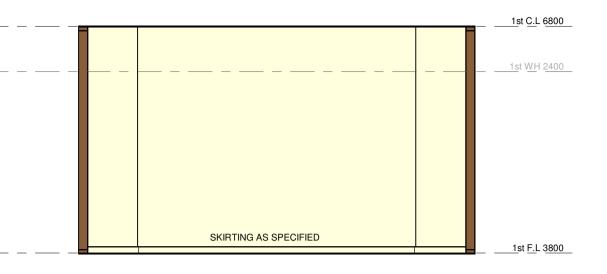
STAFF BREAK-OUT 1

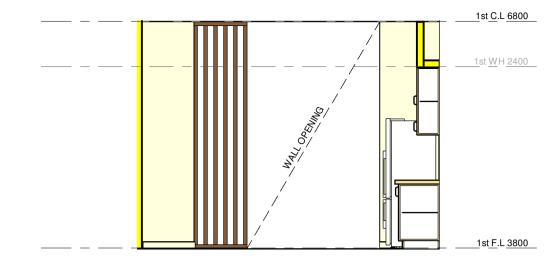


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DATE REV





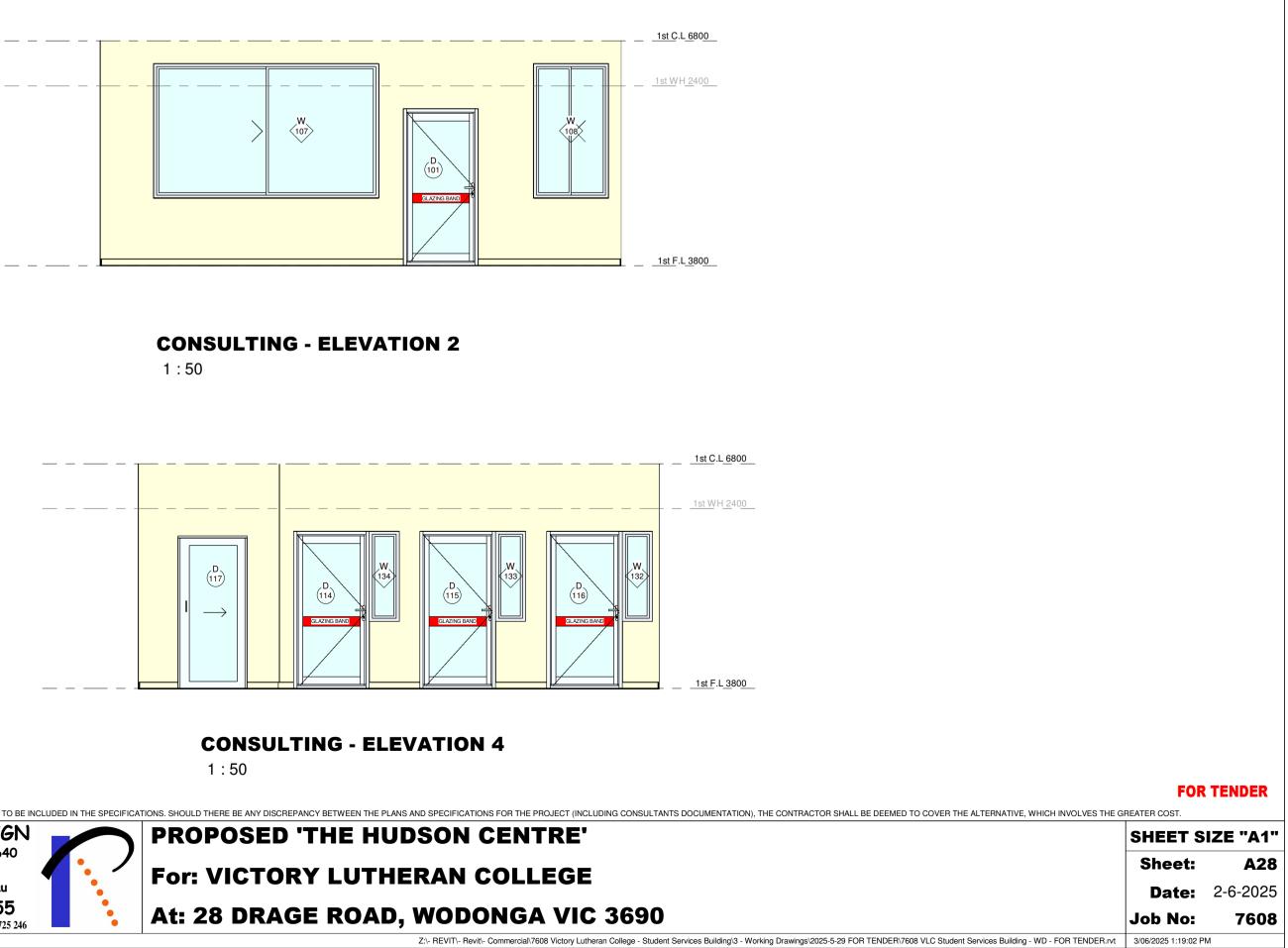
STAFF BREAK-OUT - ELEVATION 3

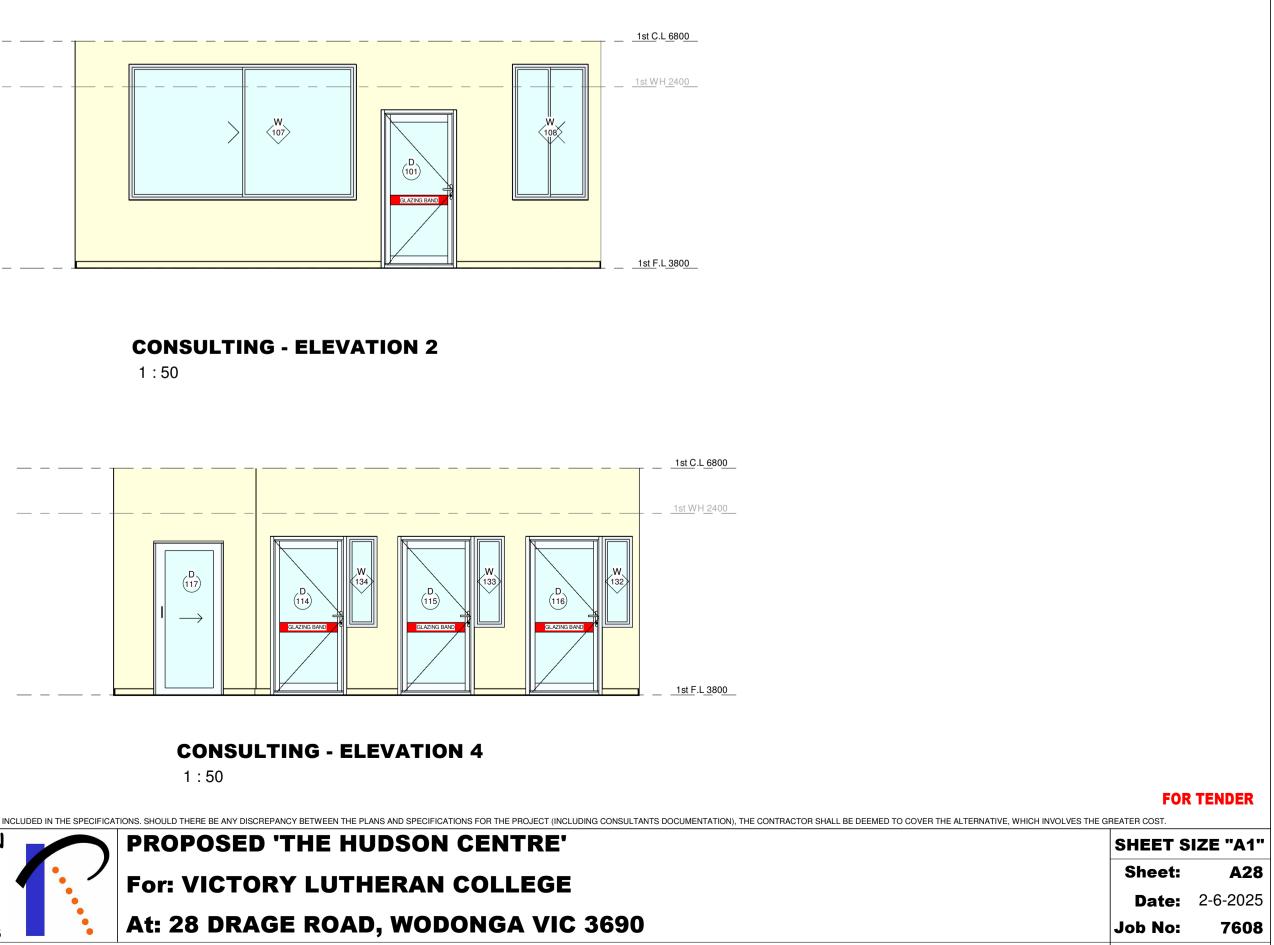
STAFF BREAK-OUT - ELEVATION 2 1:50



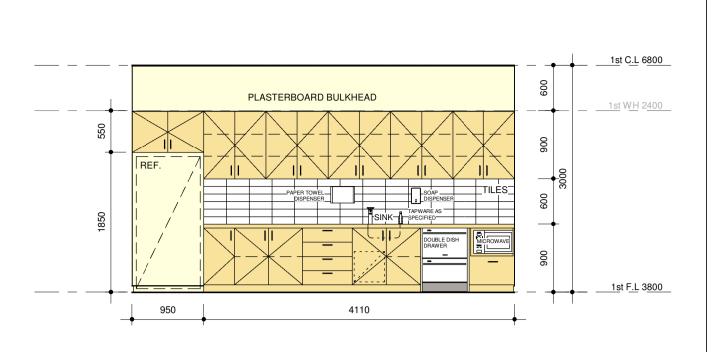
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STAFF BREAK OUT 2





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	REGISTERED Building Practitioner plus CPD	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640		PROPOSED 'THE HUDSON CE
NLY	Drawn By: KYLE		www.rpdesign.com.au Email: euan@rpdesign.com.au		For: VICTORY LUTHERAN CO
. Ltd. 6 kett Design.	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246		At: 28 DRAGE ROAD, WODONG



STAFF BREAK-OUT - ELEVATION 4 1:50

ALL PLANS A	ND SPECIFIC OF THE CON	ATIONS MUST BE READ TOGETHER AND NOT INDIVIDUAL RACT AND THESE PLANS AND SPECIFICATIONS IS TO PR	LY. OVIDE FOR THE WORK SET OUT AND DESCRIBED HEREIN TO BE COMPLETED. ANY WORK INDICATED ON THE PLANS BUT NOT DESCRIBED IN THE SPECIFIC	CATION OR VICE-VERSA, ANY IT!	EM NOT SHOWN IN EITHER PLAN OR SPECIFICA	ATION BUT IS REASONABLY OR PROPERLY TO BE INFE	RRED AS PART OF	CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INCLI	JDED IN THE SPECIFIC	SATIONS. SHOULD THERE BE ANY DISCREPANCY BET
			3D PERSPECTIVES			REGISTERED Building Practitioner	BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640		PROPOSED 'TH
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS, COMMENCING SITE WORK OR FABRICATION WORK.		D FOR PRESENTATION ONLY	Drawn By: KYLE		www.rpdesign.com.au Email: euan@rpdesign.com.au		For: VICTORY L
DATE	REV	AMENDMENT	COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.	NSW:- Certified Building Designer VIC:- DP/AD 1076	Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.	Checked By: EUAN		PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246		At: 28 DRAGE F
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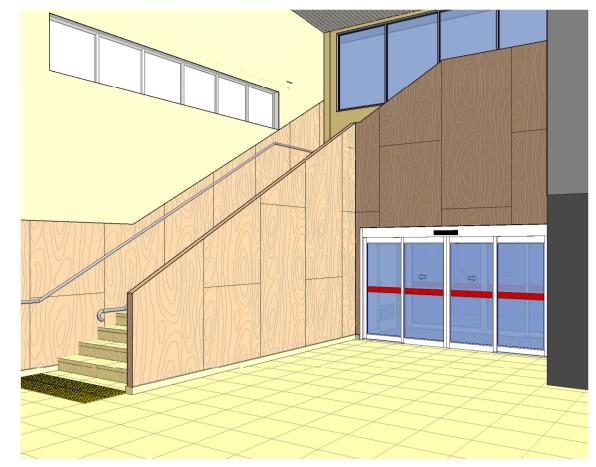






WEST ENTRY ROOF 1





DISPLAY AREA 4





DISPLAY AREA 5



EAST ENTRY ROOF 3

THE HUDSON CENTRE' LUTHERAN COLLEGE E ROAD, WODONGA VIO Z:\- REVIT\- Revit\- Commercial\7608 Victory Lut



DISPLAY AREA 6



STAIR 1



FOR TENDER

Y BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLUDING CONSULTANTS DOCUMENTATION), THE CONTRACTOR SHALL BE DEEMED TO COVER THE ALTERNATIVE, WHICH INVOLVES THE GREATER COST.

STAIR 2

		SHEET SIZE "A1"	
E	Sheet:	A29	
	Date:	2-6-2025	
IC 3690	Job No:	7608	
Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt	3/06/2025 1:19:07 F	M	