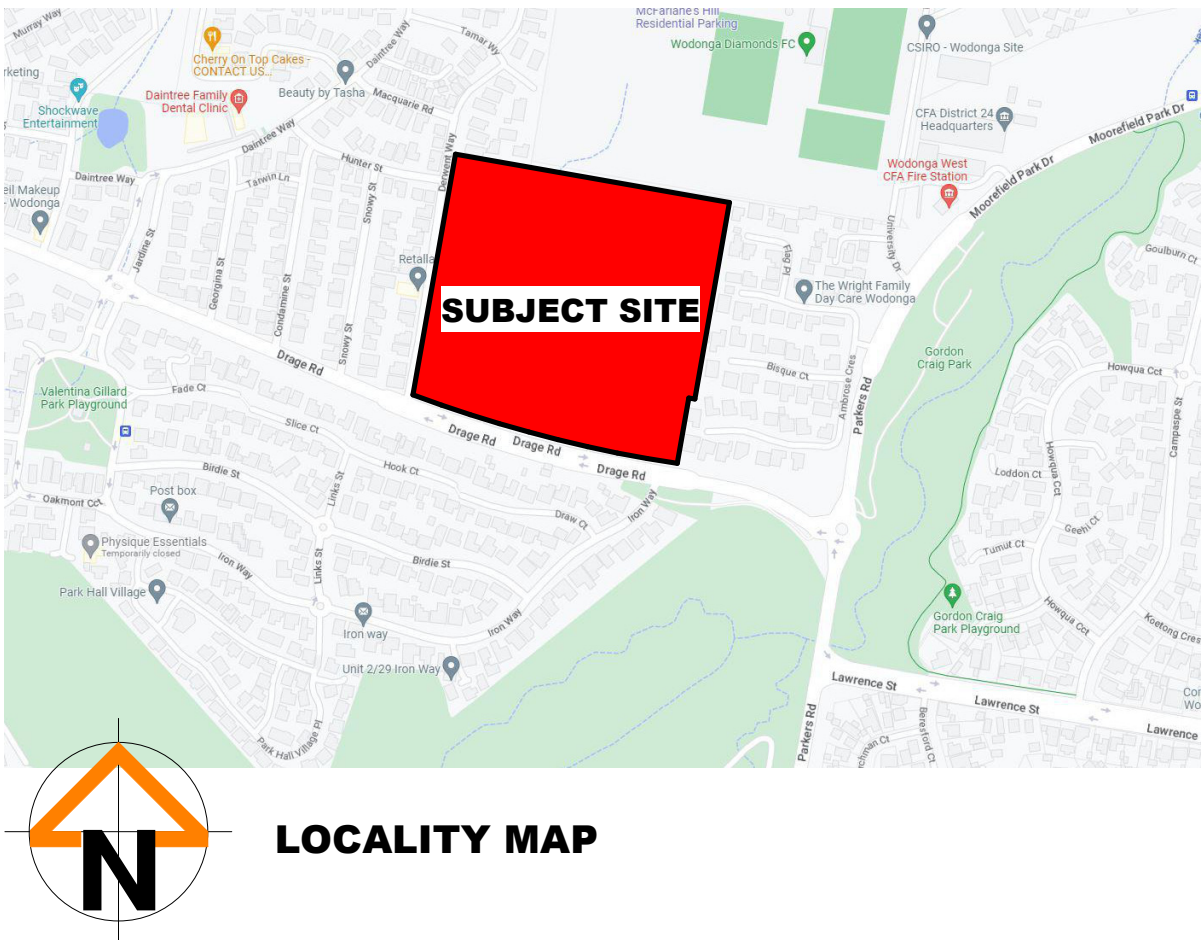


DRAWING REGISTER	
SHEET No	SHEET NAME
A01	LOCALITY, SITE PLAN
A02	GENERAL NOTES
A03	BUILDING SITE
A04	EXISTING FLOOR PLAN - GROUND
A05	PROPOSED FLOOR PLAN - GROUND
A06	PROPOSED FLOOR PLAN - FIRST
A07	FLOOR FINISHES
A08	CIRCULATION SPACE
A09	ELEVATIONS
A10	SECTIONS
A11	SECTIONS, ROOF PLAN
A12	REFLECTED CEILING PLANS
A13	3D PERSPECTIVES
A14	DETAILS
A15	DETAILS
A16	DETAILS
A17	DETAILS
A18	TYPICAL DETAILS
A19	INTERALS
A20	INTERALS
A21	INTERALS
A22	INTERALS
A23	INTERALS
A24	INTERALS
A25	INTERALS
A26	INTERALS
A27	INTERALS
A28	INTERALS
A29	3D PERSPECTIVES
TOTAL SHEETS: 29	



SITE DATA:-

ADDRESS: ...28 DRAGE ROAD,
WEST WODONGA VIC 3690
LOT NUMBER: ...301
PS NUMBER: ...610931
SITE AREA: ...9.536 ha
CLIMATE ZONE: ...6
LAND ZONE: ...GRZ GENERAL RESIDENTIAL ZONE

AREA TABULATION. APPROX AREAS. BUILDER TO CONFIRM			
NAME	AREA	SQUARES	LEVEL
PROPOSED FIRST FLOOR	452.99 m²	48.71	1st F.L. 3800
PROPOSED FIRST FLOOR VOID	149.73 m²	16.10	1st F.L. 3800
PROPOSED GROUND FLOOR	603.71 m²	64.82	Ex. F.L. 0000
	1206.43 m²	129.72	

SECTION J REQUIREMENTS - REFER TO FULL SECTION J REPORT

Project Details:

Climate Zone: 6

Building Class: Class 5 & 9b

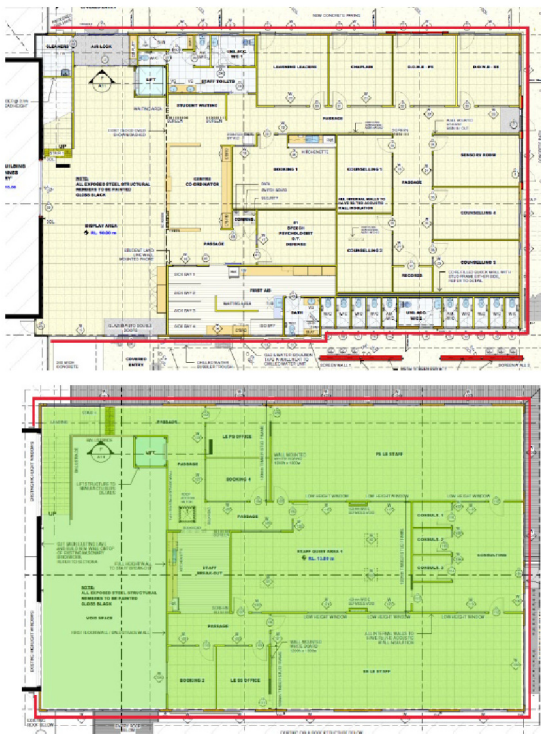
This report is based on the following architectural plans provided by the client,

Project No: 7608 Revision: Prelim 5 Date: 10/04/2025

Envelope: For the purposes of—
Section J in NCC Volume One, the parts of a building's fabric that separates a conditioned space or habitable room from—
the exterior of the building; or
a non-conditioned space including—
the floor of a rooftop plant room, lift-machine room or the like; and
the floor above a carpark or warehouse; and
the common wall with a carpark, warehouse or the like;

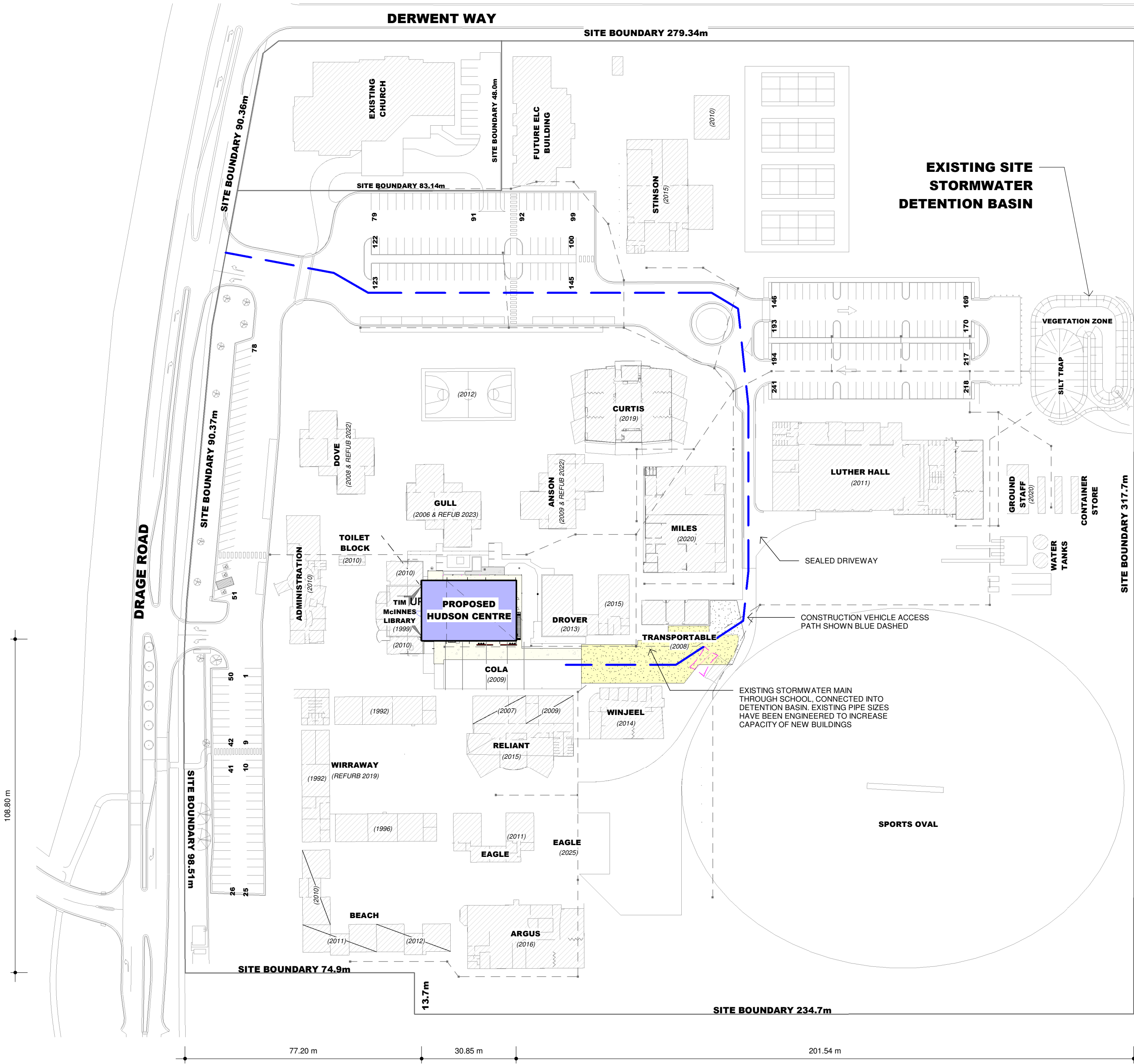
Building Envelopes:

Ceiling/roof: R4.0
External wall: R2.7

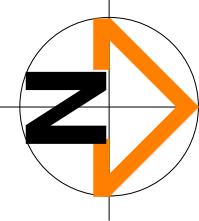


Summary of requirements:

Ceiling/ Roof	1. Install R4.0 insulation & R1.3 roof blanket to all proposed ceiling/roof areas (Refer to Building Envelope) Or provide a ceiling and roof system with total performance of R1.3
Walls	1. Install R2.7 insulation to all external walls serving the building envelope, 2. Install R0.20 Thermal Break wrap to all metal stud frame (where applicable) (Refer to Building Envelope) Or provide an external wall/glazing system/s with total performance of R2.6
Glazing	1. All external glazing to achieve a total U value of 6.7 & SHGC of 0.55, 2. All internal glazing to achieve a total U value of 6.7 & SHGC of 0.75. Must achieve the same or lower U values as specified above. Must achieve the same SHGC values or within 5% +/- tolerance as specified above.
Roof Lights	1. Roof Lights to achieve a total U value of no more than 6.0 & SHGC of ≤0.60
Floor	1. No additional insulation required.
Insulation	All reflective & bulk insulation must be installed in accordance with Part J4D3
Building Sealing	Conditioned building envelope to be sufficiently sealed in accordance with Part J5
Artificial lighting	The aggregate design illumination power load must not exceed Total 4639 watts
Air-conditioning	Air-conditioning and ventilation systems and components will be designed in accordance with the DTS requirements of Part J6 and a separate report will be submitted by the mechanical services engineer/designer to verify compliance where required. Unitary air-conditioning equipment including packaged air-conditioners, split systems, and variable refrigerant flow systems must comply with MEPS (Minimum Energy Performance Standards)
Heated water supply	A heated water supply system for food preparation and sanitary purposes to be designed and installed in accordance with Part B2 of NCC Volume Three — Plumbing Code of Australia.
Energy monitoring	The proposed building exceeds 500 m2 floor area, provide an energy meter configured to record the time-of-use consumption of gas and electricity.
Renewable energy and electric vehicle charging	A min. 7kW PV solar system required to service the proposed building. The proposed building must have features that facilitate the future installation of on-site renewable energy generation and storage; and electric vehicle charging equipment (where applicable) in accordance with J04 & J05.

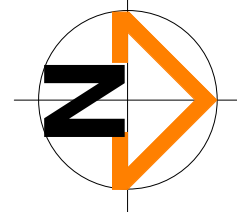


SITE PLAN - PROPOSED
1 : 1000

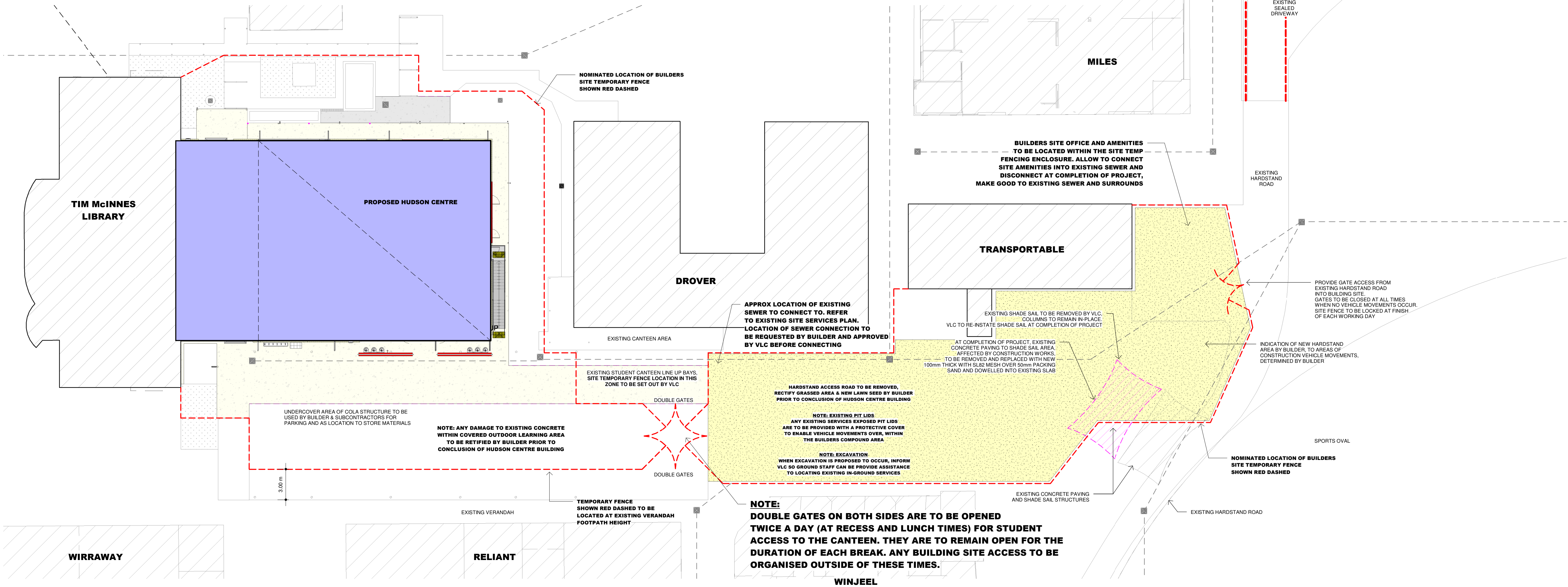


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LOCALITY, SITE PLAN			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS. COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.		COLOUR USED FOR PRESENTATION ONLY	
DATE			REV		AMENDMENT	
1800 434 110			admin@nrggh.com.au		Page 5 of 20	
1800 434 110			admin@nrggh.com.au		Page 6 of 20	
REGISTERED BUILDING FUNCTIONAL plus CDP			bdaa BUILDING DESIGN ASSOCIATION OF AUSTRALIA		ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246	
Drawn By: KYLE			Checked By: EUAN		PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690	
Z:- REVIT:- Revit:- Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt			3/06/2025 1:18:00 PM		Sheet: A01 Date: 2-6-2025 Job No: 7608	

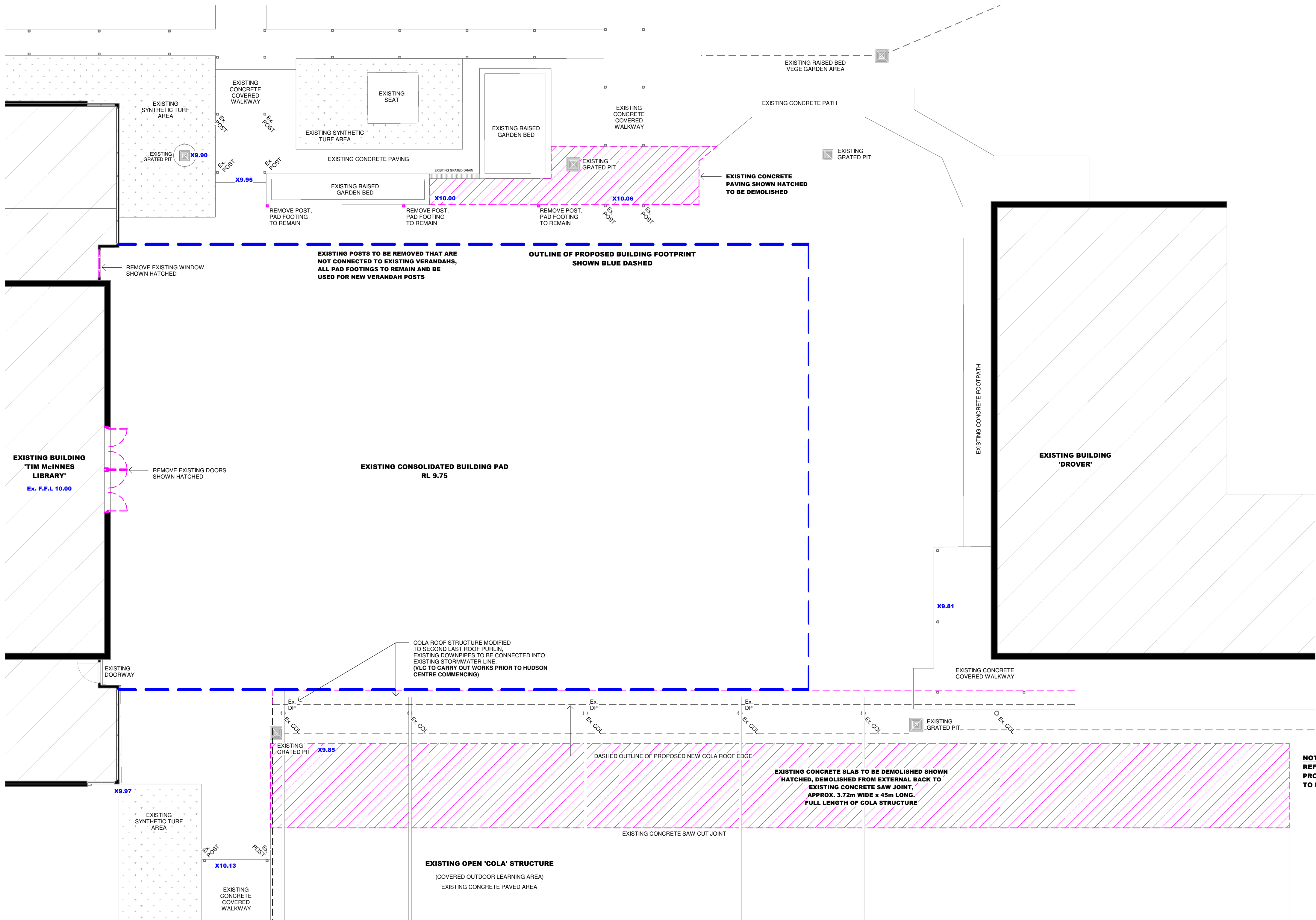
SITE PLAN - BUILDING SITE
1 : 200



SITE TRAFFIC
The College requires that all Trade attendance on site is to be controlled through the Contractor.
“No traffic to or from the site is allowed without escort on foot between 8:30– 9:00am; 10:45-11:15am; 12:45-1:40pm and 3:10 to 3:40pm”
– \$50 penalty applies to each breach.

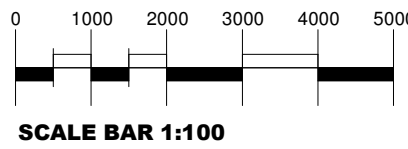
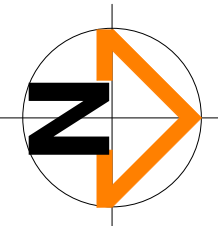


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BUILDING SITE			SHEET SIZE "A1"	
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DATE REV AMENDMENT			Date: 2-6-2025	
COLOUR USED FOR PRESENTATION ONLY			Job No: 7608	
NSW:- Certified Building Designer VIC:- DP/AD 1076			3/06/2025 1:18:14 PM	
Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.				
REGISTERED BUILDING DESIGNER				
bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA				
Rob PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246				
Drawn By: KYLE				
Checked By: EUAN				
PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690				
Z:- REVIT:- Revit:- Commercial/7608 Victory Lutheran College - Student Services Building/3 - Working Drawings/2025-5-29 FOR TENDER/7608 VLC Student Services Building - WD - FOR TENDER.rvt				






NOTE:
REFER TO SHEET A02 FOR
PROPOSED WORKS TO BUILDING SITE
TO BE INCLUDED BY BUILDER

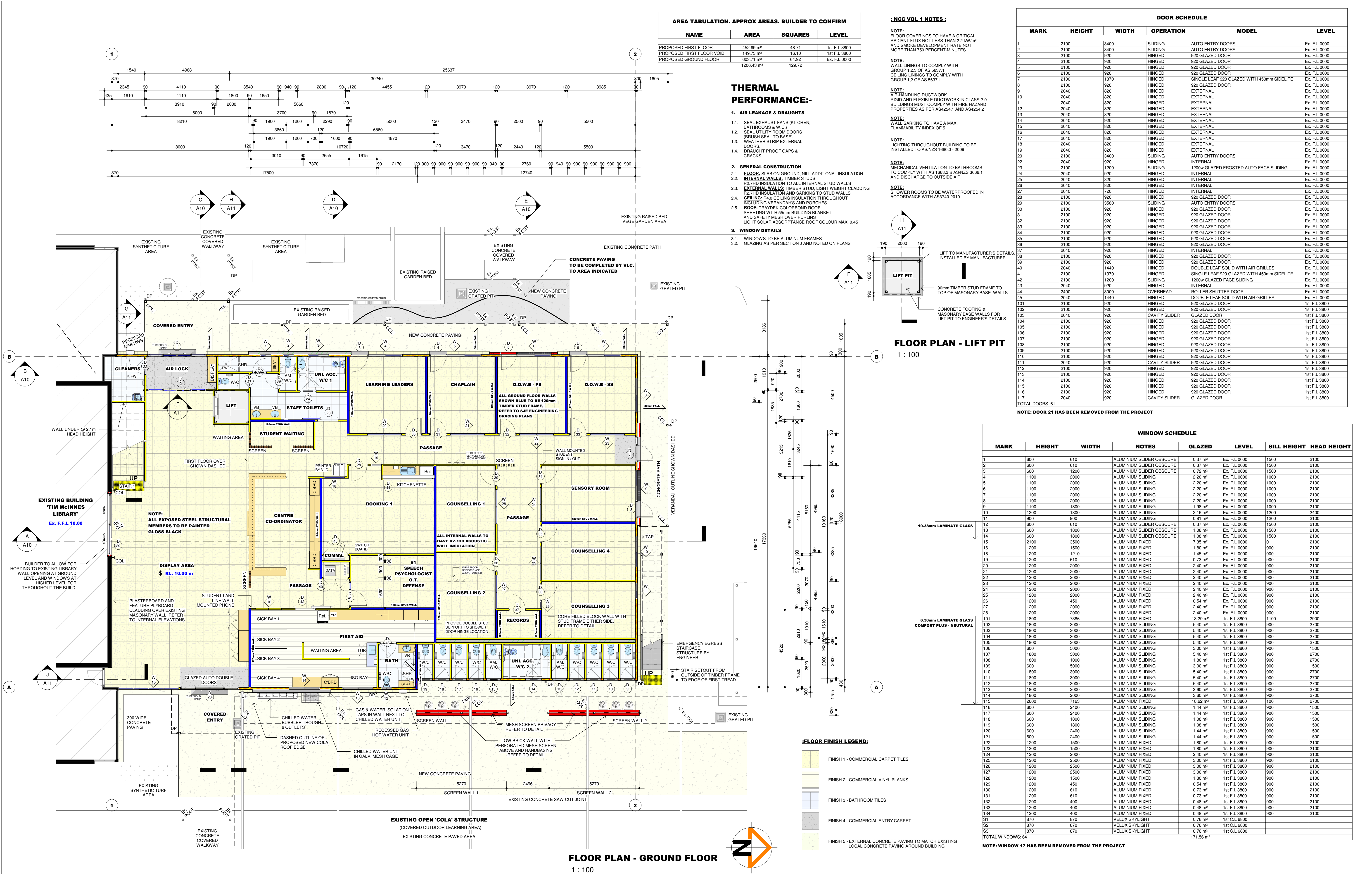
FLOOR PLAN - EXISTING
1 : 100

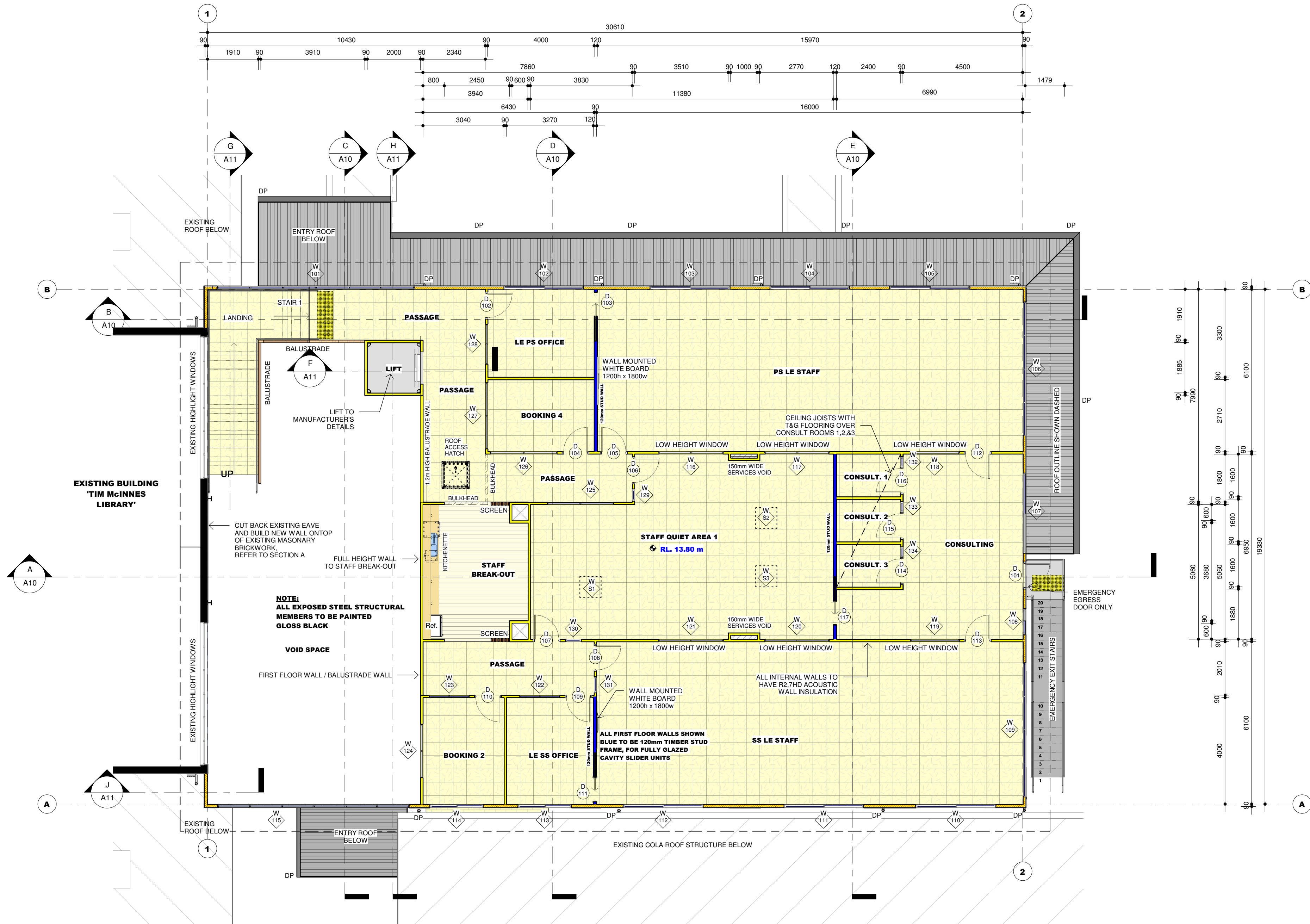


AREA TABULATION. APPROX AREAS. BUILDER TO CONFIRM			
NAME	AREA	SQUARES	LEVEL
PROPOSED FIRST FLOOR	452.99 m²	48.71	1st F.L 3800
PROPOSED FIRST FLOOR VOID	149.73 m²	16.10	1st F.L 3800
PROPOSED GROUND FLOOR	603.71 m²	64.92	Ex. F.L 0000
	1206.43 m²	129.72	

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			EXISTING FLOOR PLAN - GROUND		 		ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246				PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690				SHEET SIZE "A1" Sheet: A04 Date: 2-6-2025 Job No: 7608	
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					NSW:- Certified Building Designer VIC:- DP/AD 1076		Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.		Checked By: EUAN							
DATE	REV	AMENDMENT											Z:\- REVIT\ Revit- Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt		3/06/2025 1:18:15 PM	





FLOOR PLAN - FIRST FLOOR
1 : 100



FLOOR FINISH LEGEND:

- FINISH 1 - COMMERCIAL CARPET TILES
- FINISH 2 - COMMERCIAL VINYL PLANKS
- FINISH 3 - BATHROOM TILES
- FINISH 4 - COMMERCIAL ENTRY CARPET
- FINISH 5 - EXTERNAL CONCRETE PAVING TO MATCH EXISTING LOCAL CONCRETE PAVING AROUND BUILDING

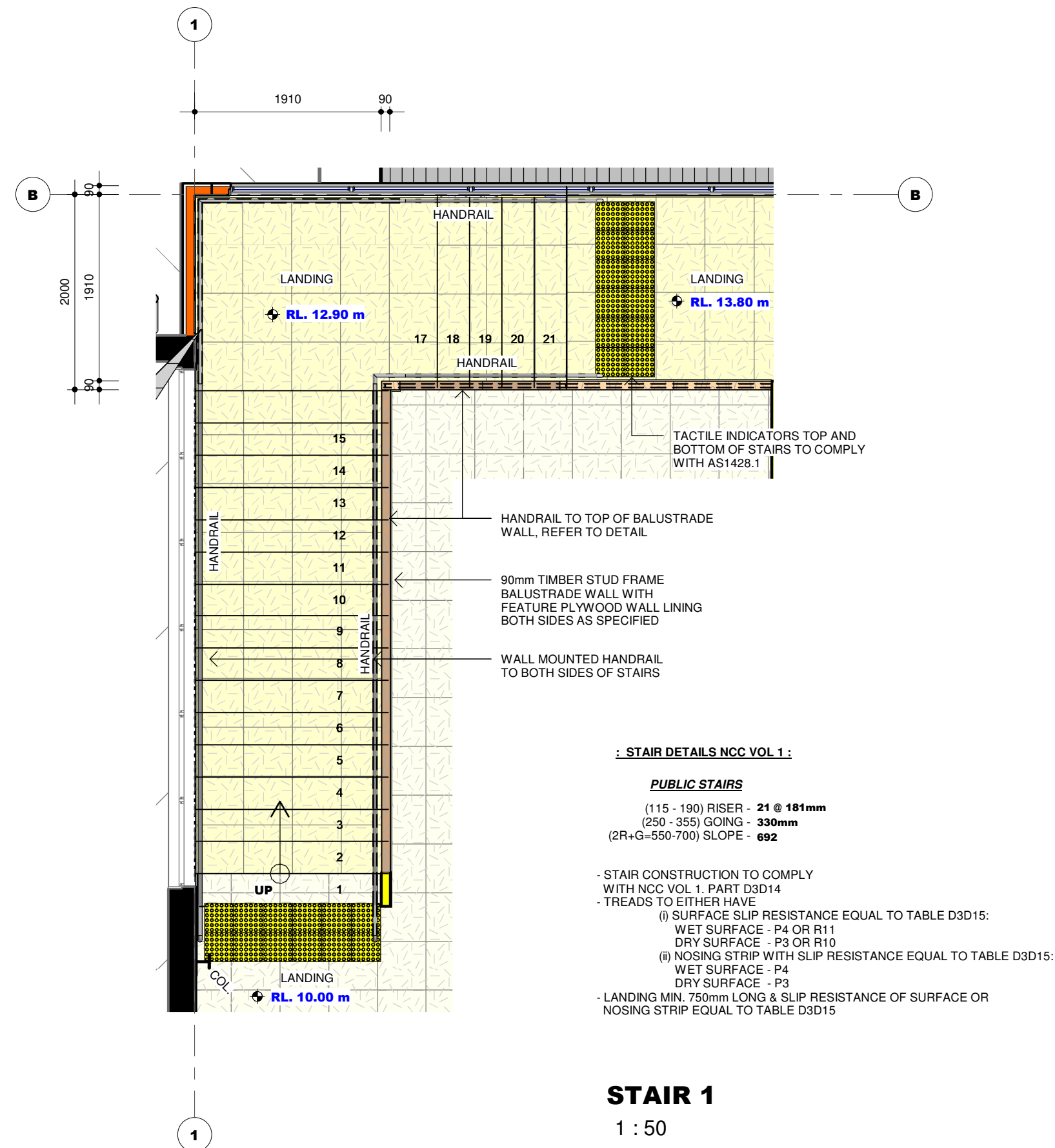
AREA TABULATION. APPROX AREAS. BUILDER TO CONFIRM			
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	1206.43 m ²	129.72	

NCC VOL 1 NOTES :

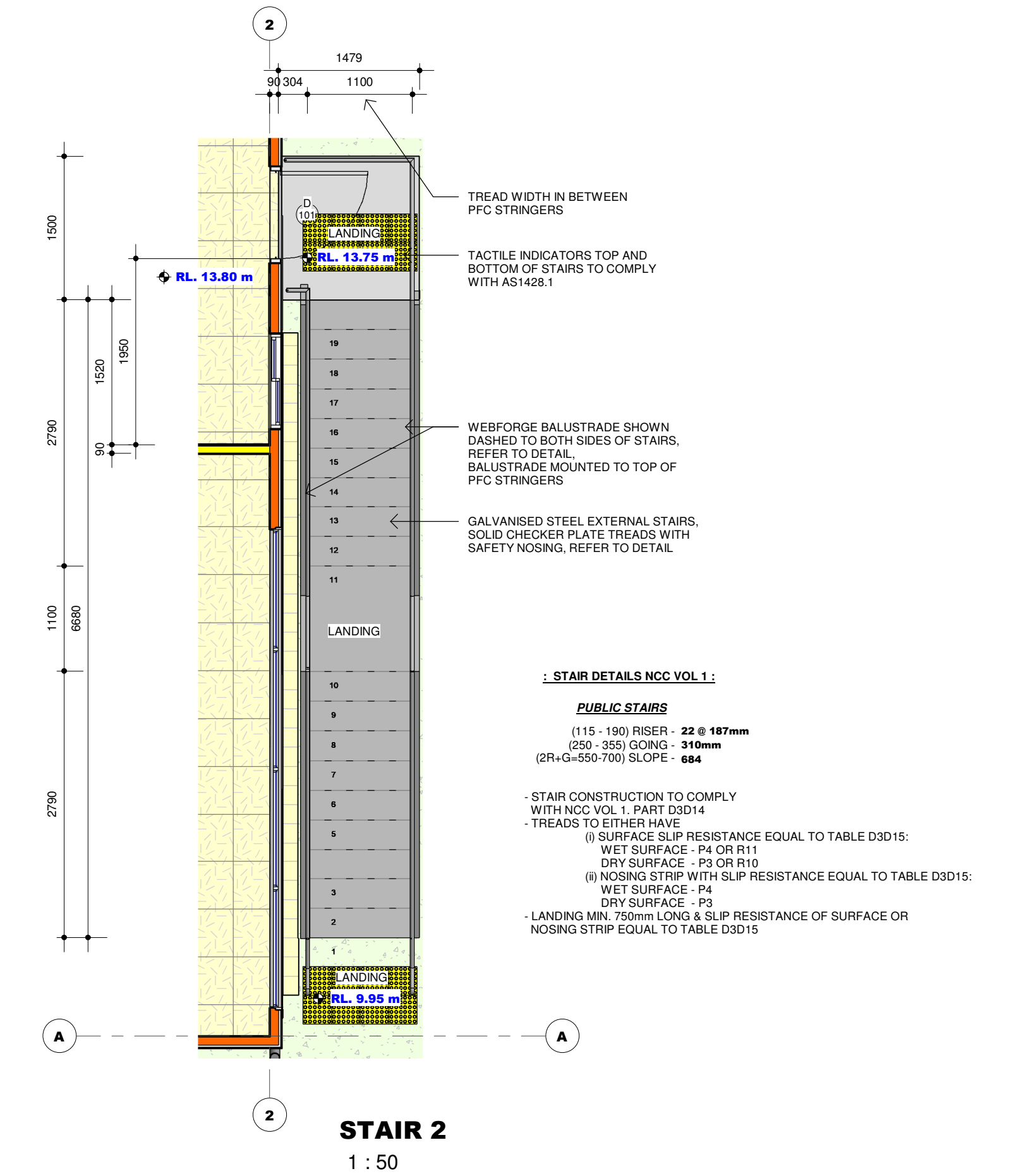
- NOTE:** FLOOR COVERINGS TO HAVE A CRITICAL RADIANT FLUX NOT LESS THAN 2.2 kW/m² AND SMOKE DEVELOPMENT RATE NOT MORE THAN 750 PERCENT-MINUTES
- NOTE:** WALL LININGS TO COMPLY WITH GROUP 1,2,3 OF AS 5637.1 CEILING LININGS TO COMPLY WITH GROUP 1,2 OF AS 5637.1
- NOTE:** AIR HANDLING DUCTWORK RIGID AND FLEXIBLE DUCTWORK IN CLASS 2-9 BUILDINGS MUST COMPLY WITH FIRE HAZARD PROPERTIES AS PER AS4254.1 AND AS4254.2
- NOTE:** WALL SARKING TO HAVE A MAX. FLAMMABILITY INDEX OF 5
- NOTE:** LIGHTING THROUGHOUT BUILDING TO BE INSTALLED TO AS/NZS 1688.0 - 2009
- NOTE:** MECHANICAL VENTILATION TO BATHROOMS TO COMPLY WITH AS 1668.2 & AS/NZS 3666.1 AND DISCHARGE TO OUTSIDE AIR
- NOTE:** SHOWER ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH AS3740-2010

THERMAL PERFORMANCE:-

- 1. AIR LEAKAGE & DRAUGHTS**
- 1.1. SEAL EXHAUST FANS (KITCHEN, BATHROOMS & W.C.)
 - 1.2. SEAL UTILITY ROOM DOORS (BRUSH SEAL TO BASE)
 - 1.3. WEATHER STRIP EXTERNAL DOORS
 - 1.4. DRAUGHT PROOF GAPS & CRACKS
- 2. GENERAL CONSTRUCTION**
- 2.1. FLOOR: SLAB ON GROUND, NILL ADDITIONAL INSULATION
 - 2.2. INTERNAL WALLS: TIMBER STUDS R2.7HD INSULATION TO ALL INTERNAL STUD WALLS
 - 2.3. EXTERNAL WALLS: TIMBER STUD, LIGHT WEIGHT GLADDING R2.7HD INSULATION AND SARKING TO STUD WALLS
 - 2.4. CEILING: R4.0 CEILING INSULATION THROUGHOUT INCLUDING VERANDHS AND PORCHES
 - 2.5. ROOF: TRAYDEK COLORBOND ROOF SHEETING WITH 55mm BUILDING BLANKET AND SAFETY MESH OVER PURLINS LIGHT SOLAR ABSORPTANCE ROOF COLOUR MAX. 0.45
- 3. WINDOW DETAILS**
- 3.1. WINDOWS TO BE ALUMINUM FRAMES
 - 3.2. GLAZING AS PER SECTION J AND NOTED ON PLANS



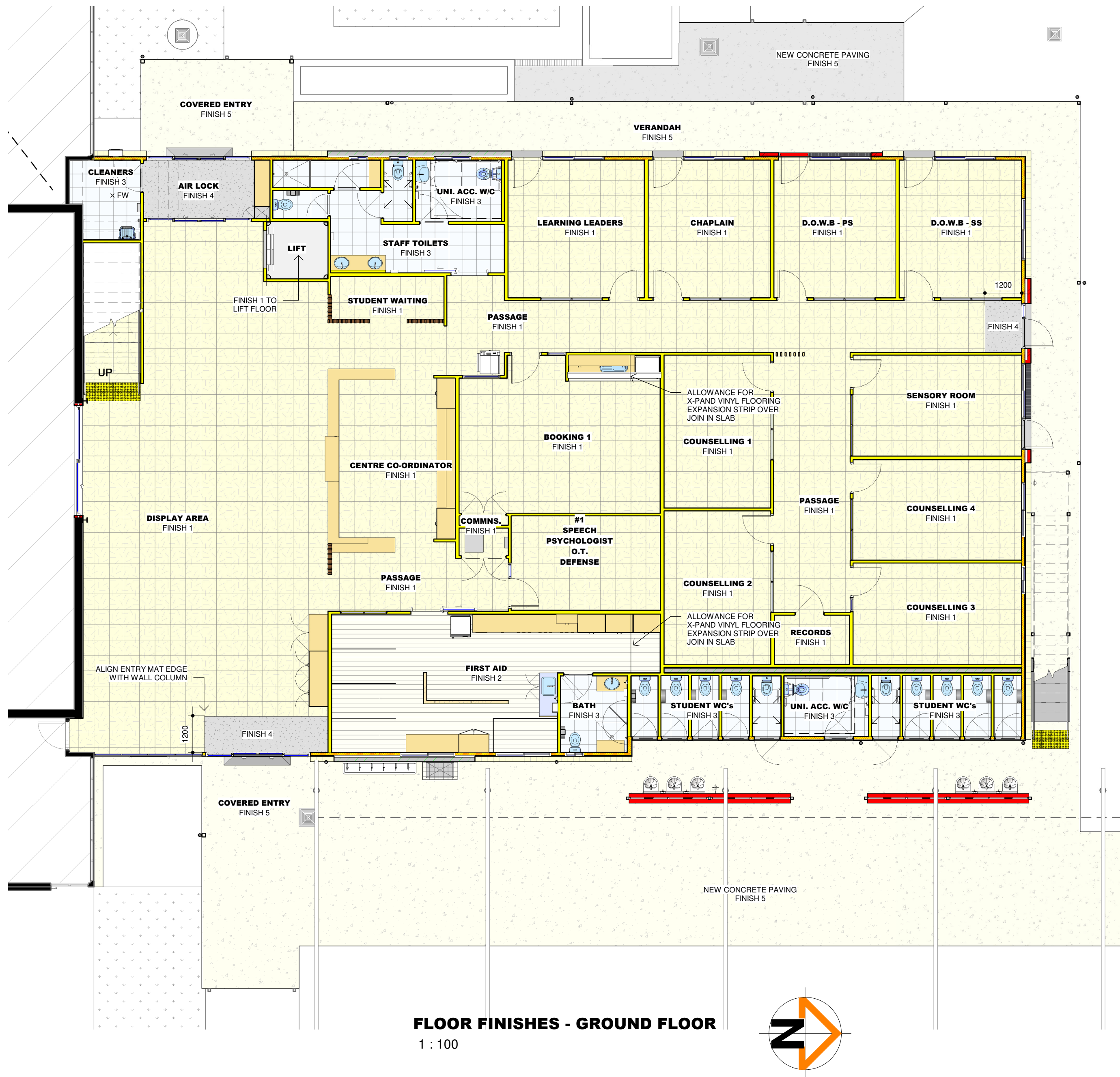
STAIR 1
1 : 50



STAIR DETAILS NCC VOL 1:

PUBLIC STAIRS
(115 - 190) RISER - 22 @ 187mm
(250 - 355) GOING - 310mm
(2R+G=550-700) SLOPE - 684

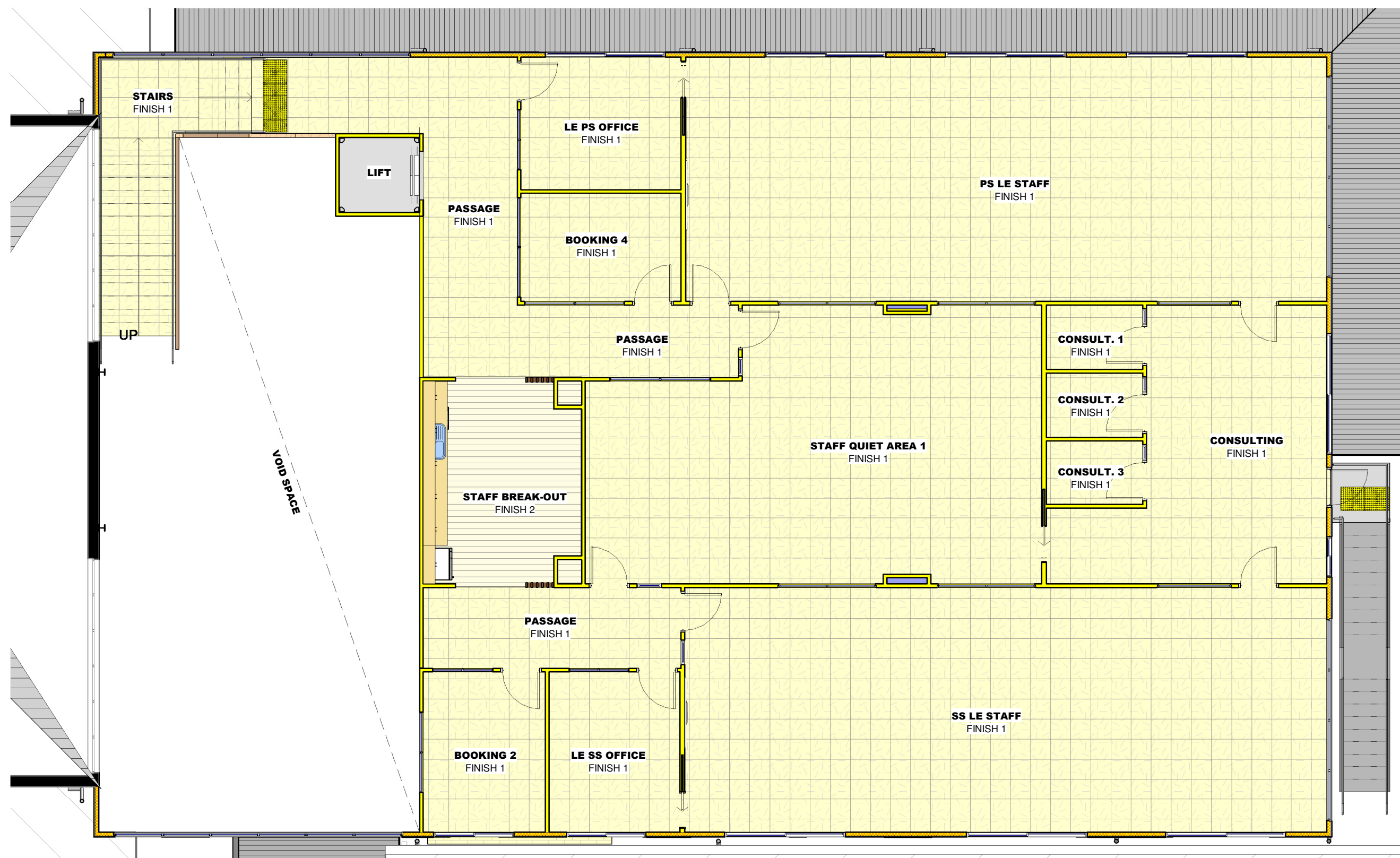
- STAIR CONSTRUCTION TO COMPLY WITH NCC VOL 1, PART D3D14.
- TREADS TO EITHER HAVE
- (i) SURFACE SLIP RESISTANCE EQUAL TO TABLE D3D15: WET SURFACE - P4 OR R11
 - (ii) DRY SURFACE - P3 OR R10
- NOSING STRIP WITH SLIP RESISTANCE EQUAL TO TABLE D3D15: WET SURFACE - P4
- DRY SURFACE - P3
- LANDING MIN. 750mm LONG & SLIP RESISTANCE OF SURFACE OR NOSING STRIP EQUAL TO TABLE D3D15



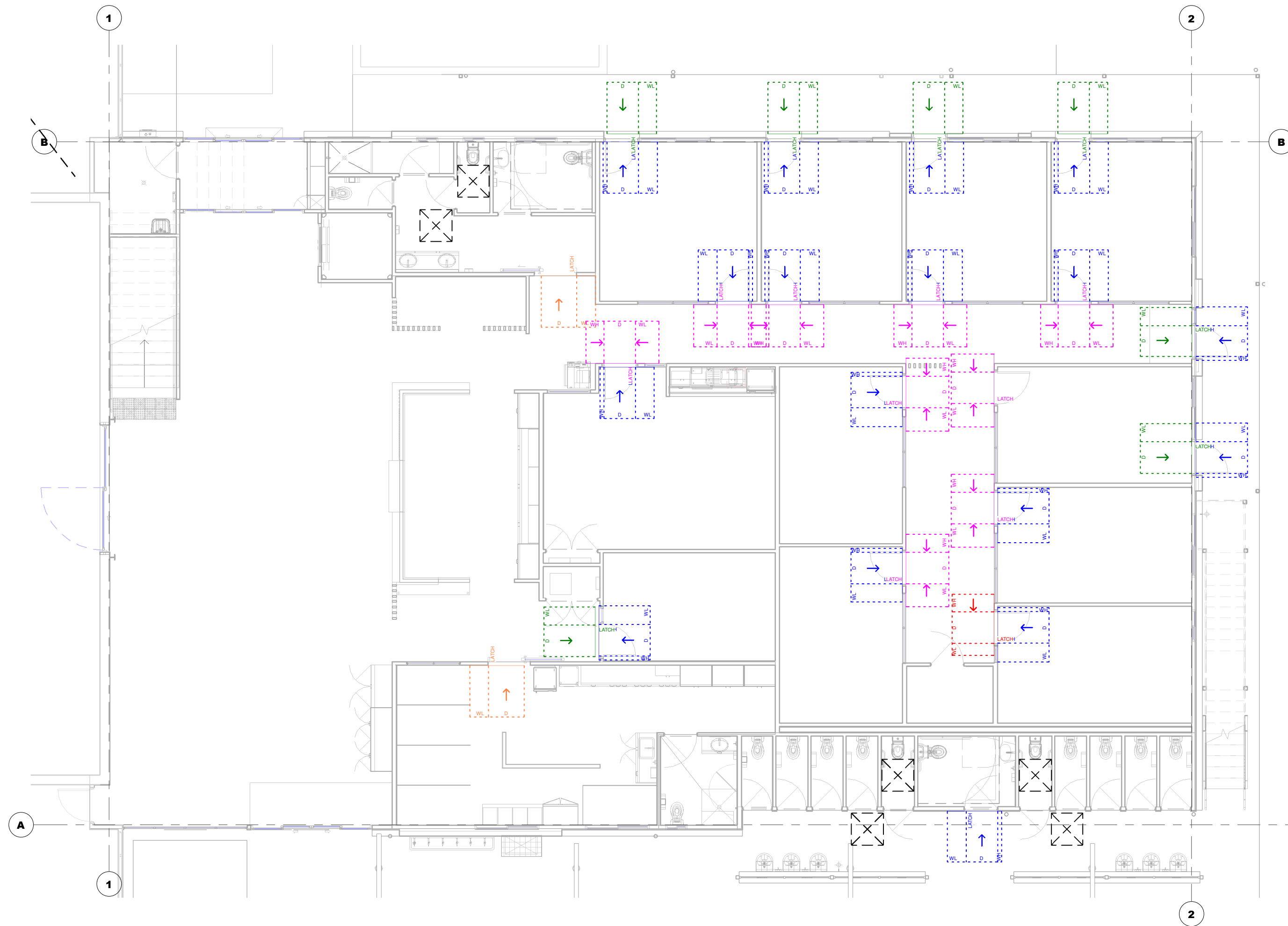
FLOOR FINISHES - GROUND FLOOR
1 : 100

FLOOR FINISH LEGEND:

- FINISH 1 - COMMERCIAL CARPET TILES
- FINISH 2 - COMMERCIAL VINYL PLANKS
- FINISH 3 - BATHROOM TILES
- FINISH 4 - COMMERCIAL ENTRY CARPET
- FINISH 5 - EXTERNAL CONCRETE PAVING TO MATCH EXISTING LOCAL CONCRETE PAVING AROUND BUILDING



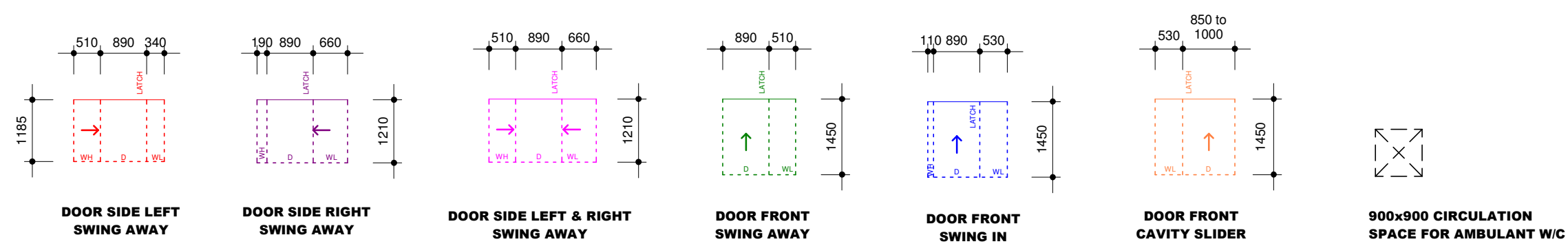
FLOOR FINISHES - FIRST FLOOR
1 : 100



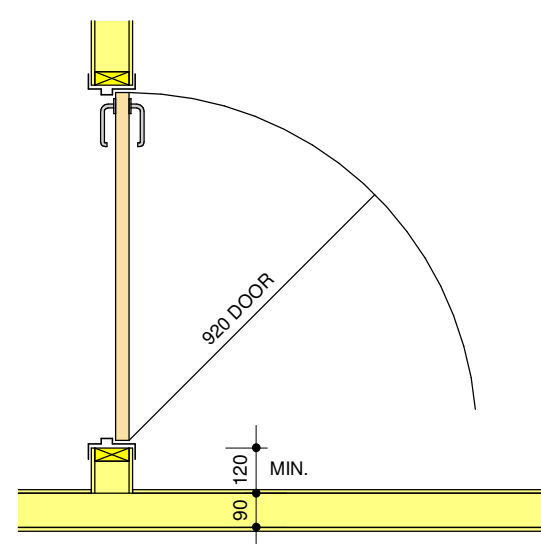
CIRCULATION SPACE - GROUND FLOOR
1 : 100



CIRCULATION SPACE - FIRST FLOOR
1 : 100



AS1428.1 DOOR CIRCULATION SPACE
1 : 100



TYPICAL DOOR LOCATION
1 : 20

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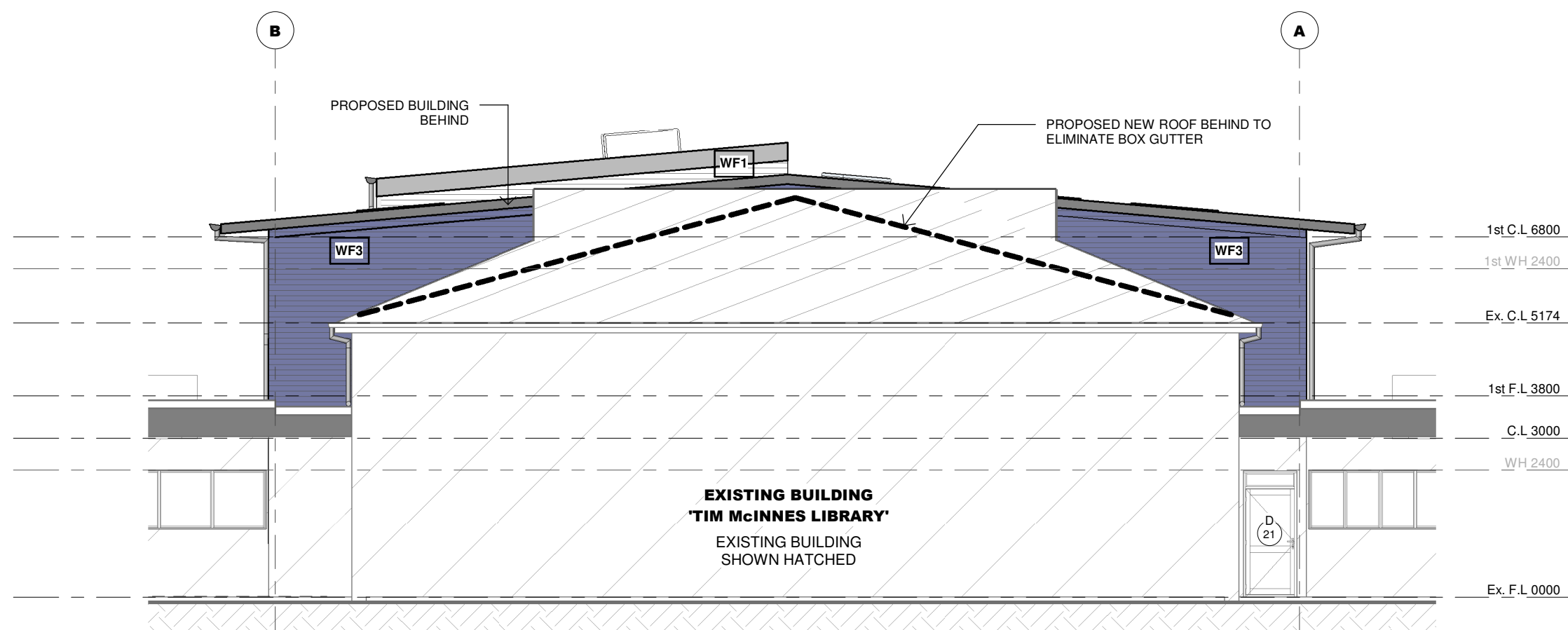
DATE	REV	AMENDMENT	CIRCULATION SPACE	REGISTERED BUILDING PROFESSIONAL plus CPD	bdoo BUILDING DESIGN OCCUPANCY RECOGNITION OF AUSTRALIA	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246	PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690	SHEET SIZE "A1" Sheet: A08 Date: 2-6-2025 Job No: 7608
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FOR TENDER

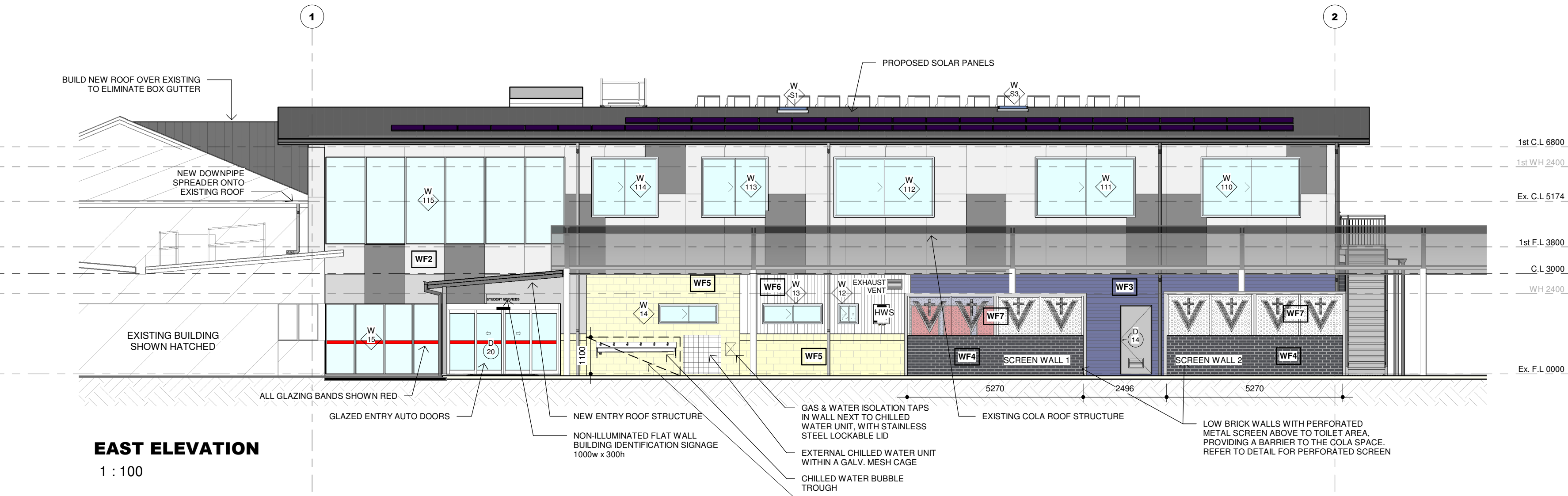
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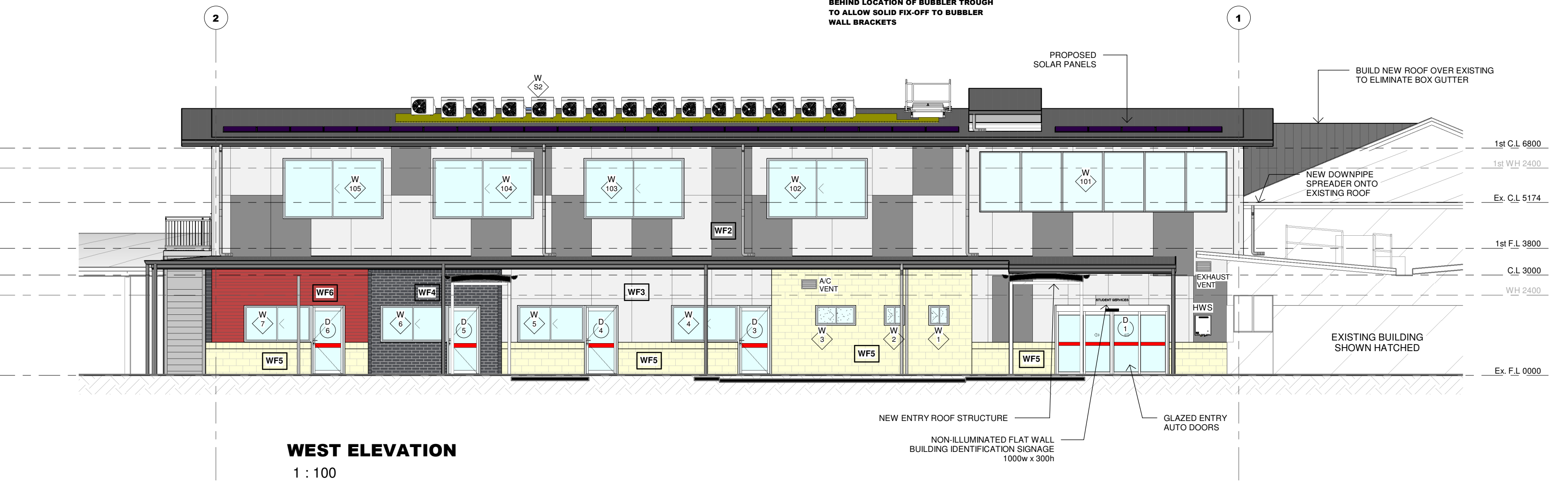
NORTH ELEVATION
1 : 100



SOUTH ELEVATION
1 : 100

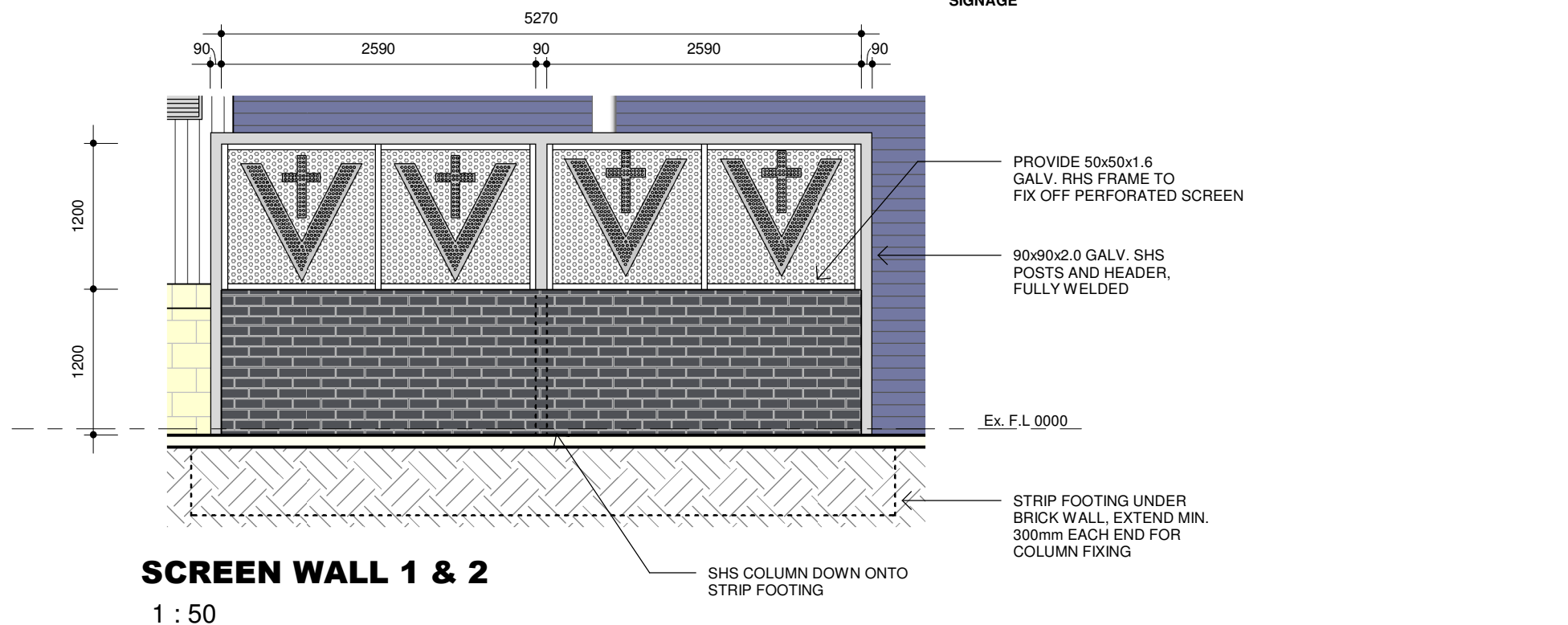


EAST ELEVATION
1 : 100

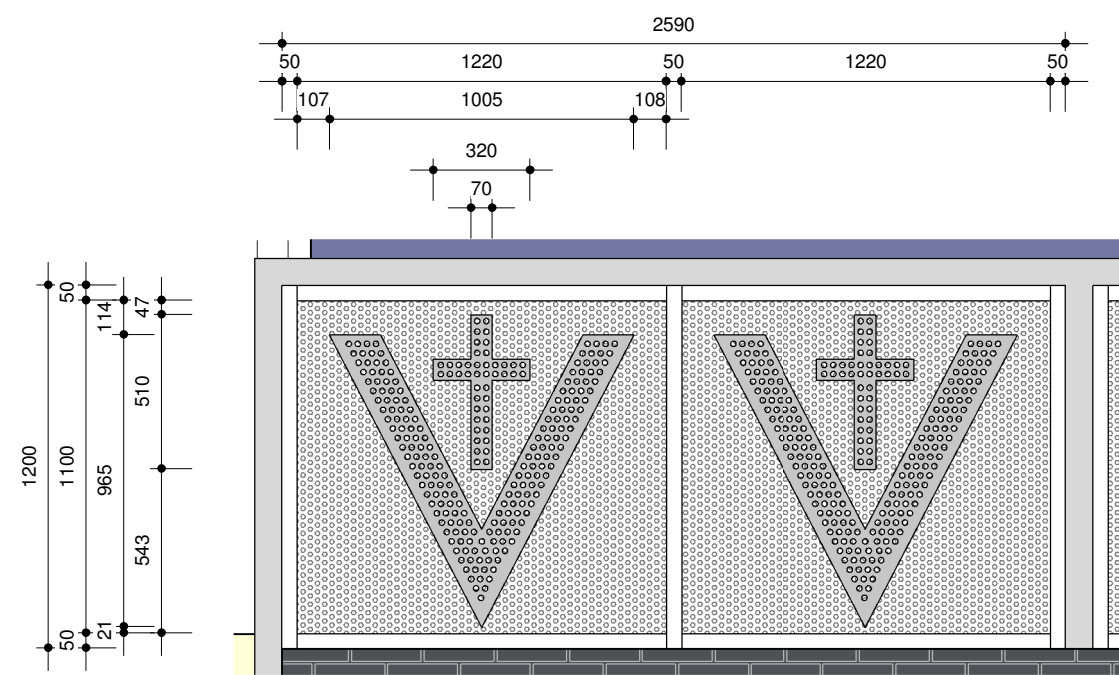


WEST ELEVATION
1 : 100

- :WALL FINISH LEGEND:**
- WF1 HORIZONTAL CORRUGATED COLORBOND 'SHALE GREY'
 - WF2 COMPOSITE ALUMINIUM CLADDING 'SILVER METALLIC' FEATURE 'DARK GREY METALLIC' PANELS
 - WF3 HORIZONTAL CORRUGATED COLORBOND 'DEEP OCEAN'
 - WF4 FACE BRICKWORK 'PGH BRICKS - URBAN ESSENCE 'STORM' WHITE MORTAR'
 - WF5 FACE BLOCKWORK 'ADBRI MASONRY - SMOOTH STONE 'OATMEAL'
 - WF6 HORIZONTAL CORRUGATED COLORBOND 'MANOR RED'
 - WF7 PERFORATED METAL SCREEN WITH SCHOOL LOGO
- : MATERIAL / COLOURS :**
- P.A DOORS - SHALE GREY
 - WINDOWS - BLACK SATIN
 - FASCIA - COLORBOND DEEP OCEAN
 - GUTTER - COLORBOND DEEP OCEAN
 - ROOFING - COLORBOND SHALE GREY
 - EAVE / SOFFIT - CORRUGATED COLORBOND SURFMIST
 - VERANDAH POSTS - GALVANISED
- BUILDING IDENTIFICATION SIGNAGE** ALUMINIUM COMPOSITE PANEL 'GREY' WITH 'DEEP OCEAN' LETTERING






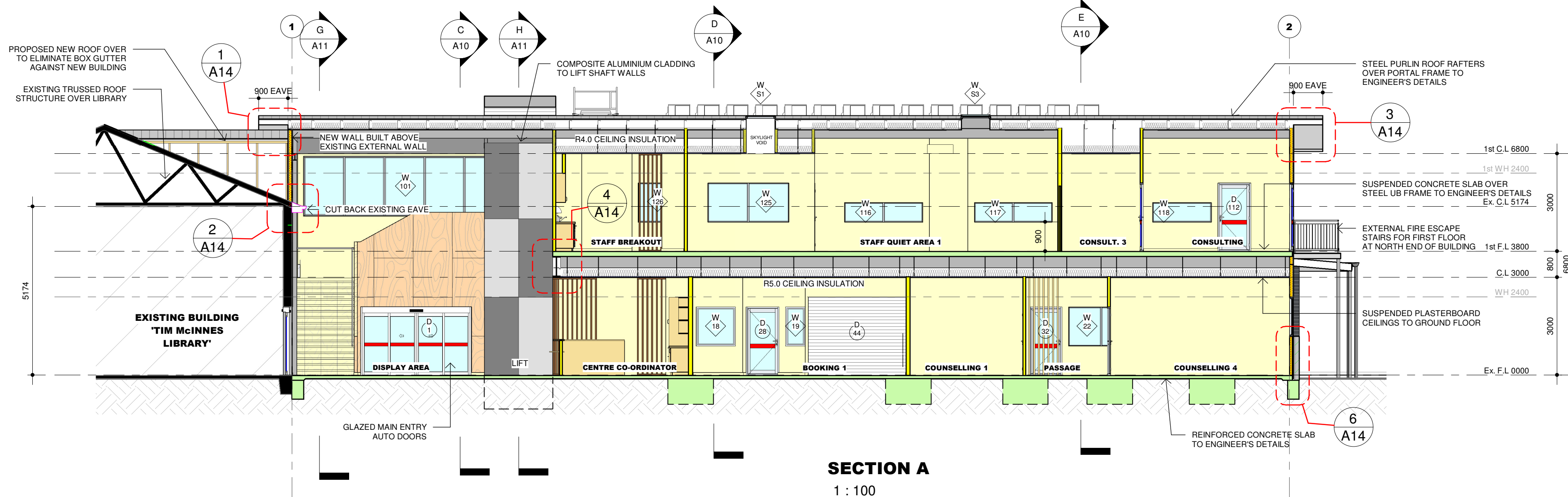
SCREEN WALL 1 & 2
1 : 50



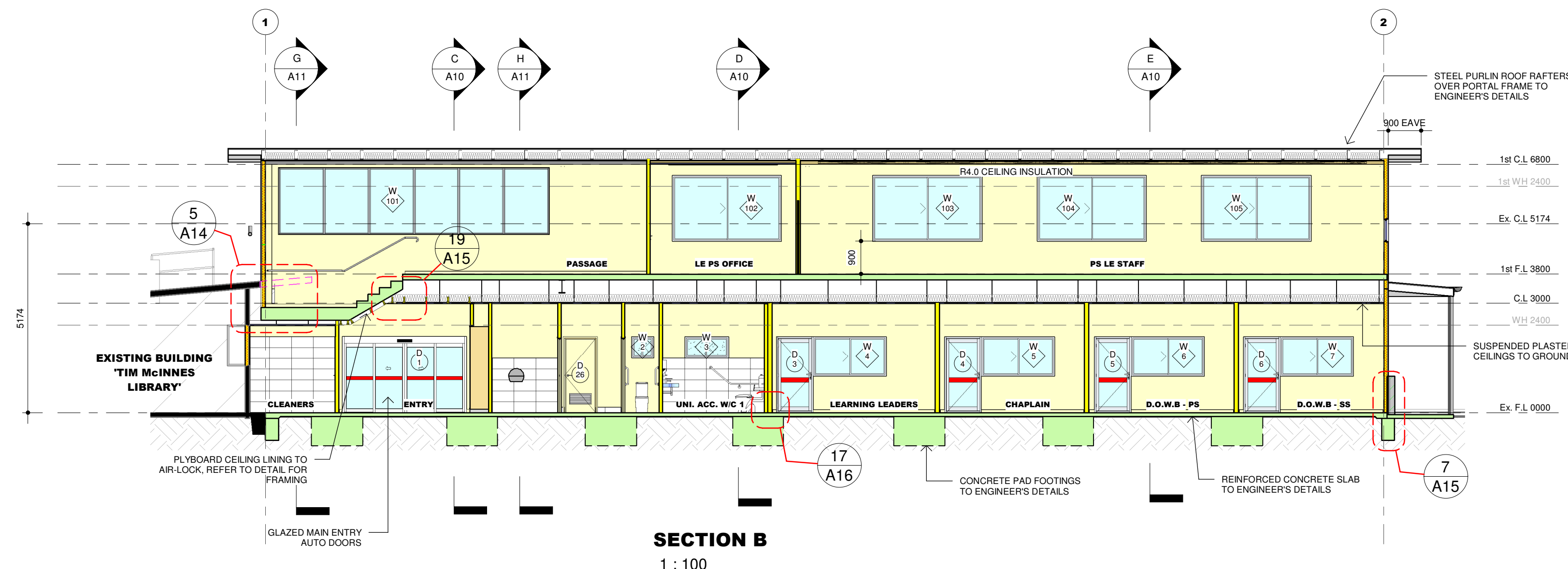
SCREEN WALL DETAIL
1 : 25

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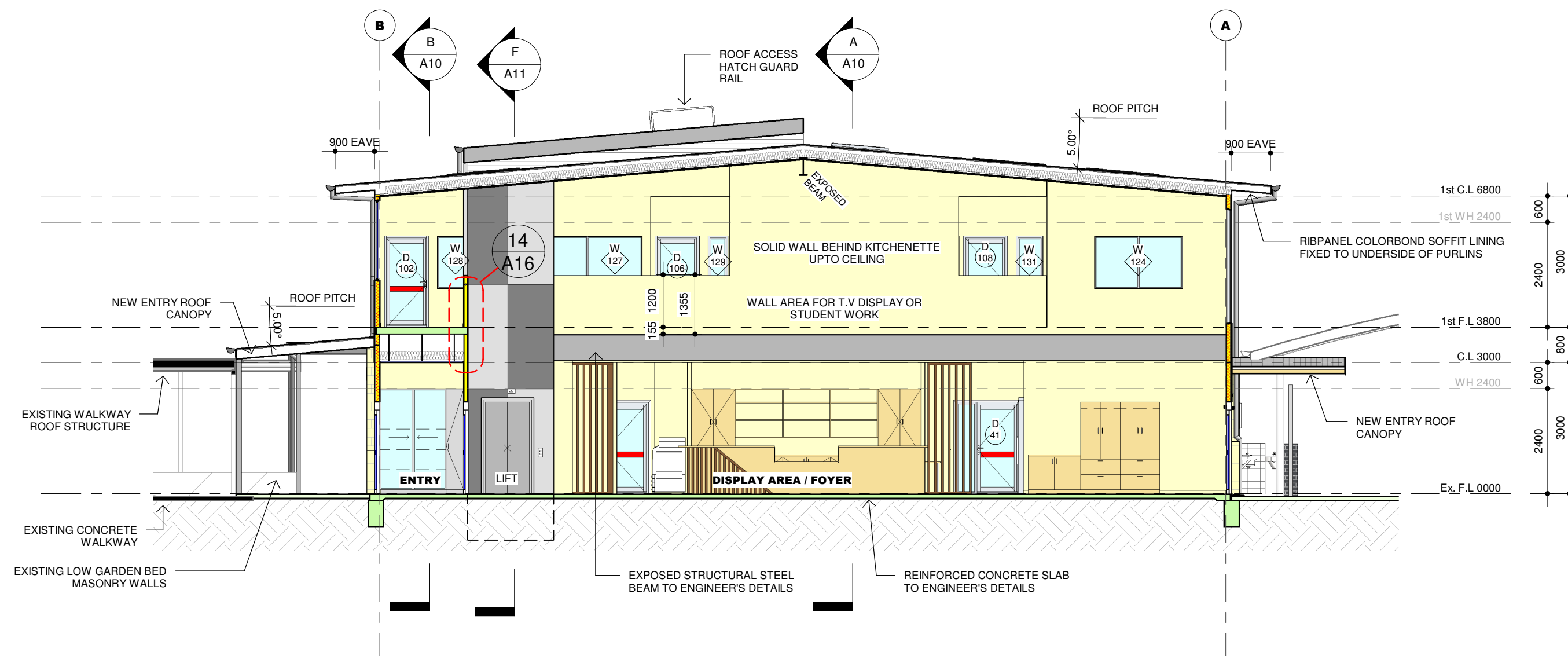
			ELEVATIONS		 		ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246				PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690				SHEET SIZE "A1" Sheet: A09 Date: 2-6-2025 Job No: 7608	
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS. COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.		COLOUR USED FOR PRESENTATION ONLY		Drawn By: KYLE Checked By: EUAN									
					NSW: Certified Building Designer VIC: DP/AD 1076		Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.									
DATE	REV	AMENDMENT														



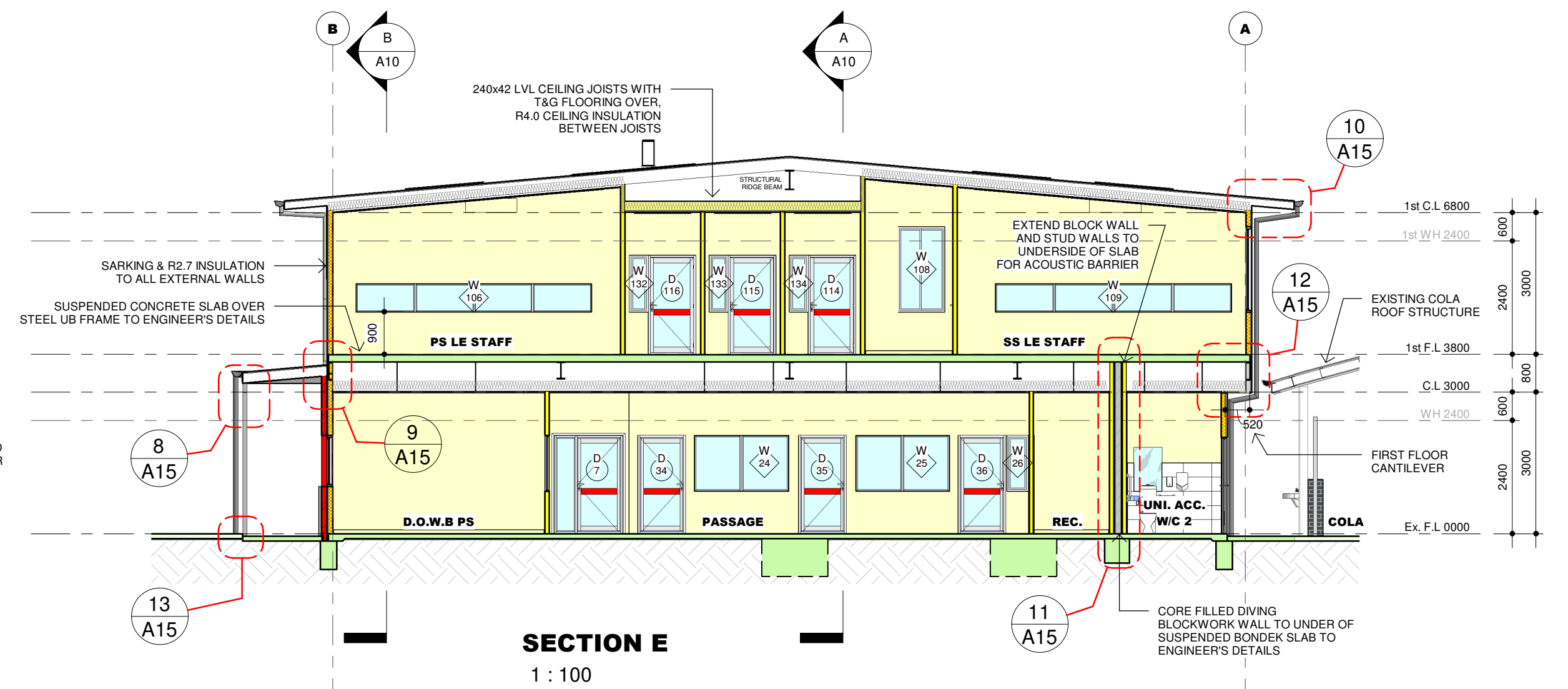
SECTION A
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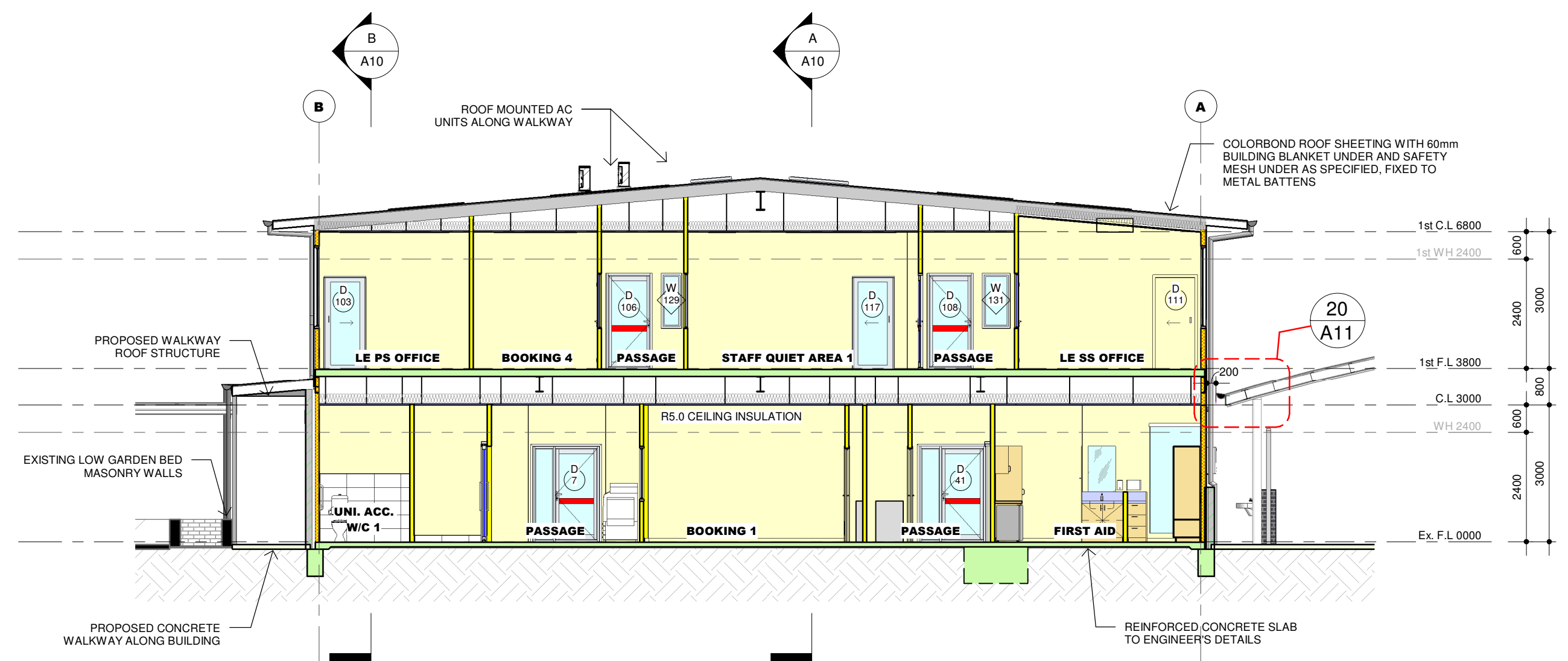
SECTION B
1 : 100



SECTION C
1 : 100



SECTION E
1 : 100



SECTION D
1 : 100

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SECTIONS

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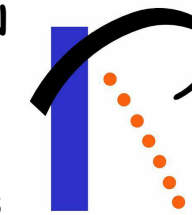
REGISTERED BUILDING DESIGNER

Drawn By: **KYLE**

Checked By: **EUAN**

bdag

ROB PICKETT DESIGN
PO Box 3054 Albury NSW 2640
www.rpdesign.com.au
Email: euan@rpdesign.com.au
PHONE 02 6021 1355
INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246



PROPOSED 'THE HUDSON CENTRE'

For: **VICTORY LUTHERAN COLLEGE**

At: **28 DRAGE ROAD, WODONGA VIC 3690**

FOR TENDER

SHEET SIZE "A1"

Sheet: A10

Date: 2-6-2025

Job No: 7608



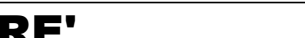
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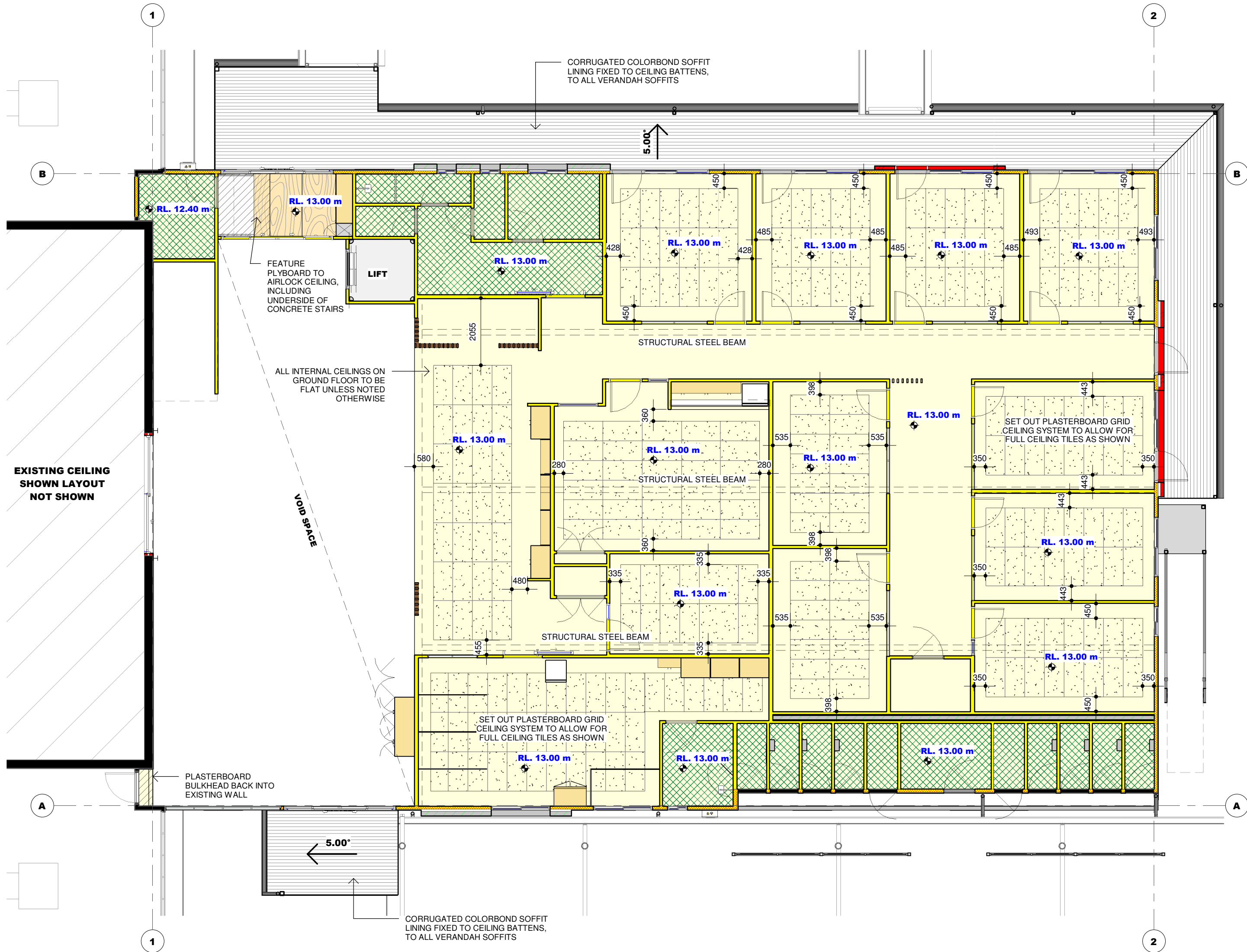
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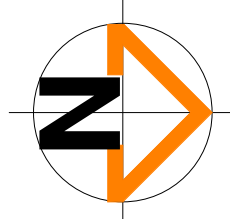
SHEET SIZE "A1"	
Sheet:	A11
Date:	2-6-2025
Job No:	7608

ALL PLANS AND SPECIFICATIONS MUST BE READ TOGETHER AND NOT INDIVIDUALLY.
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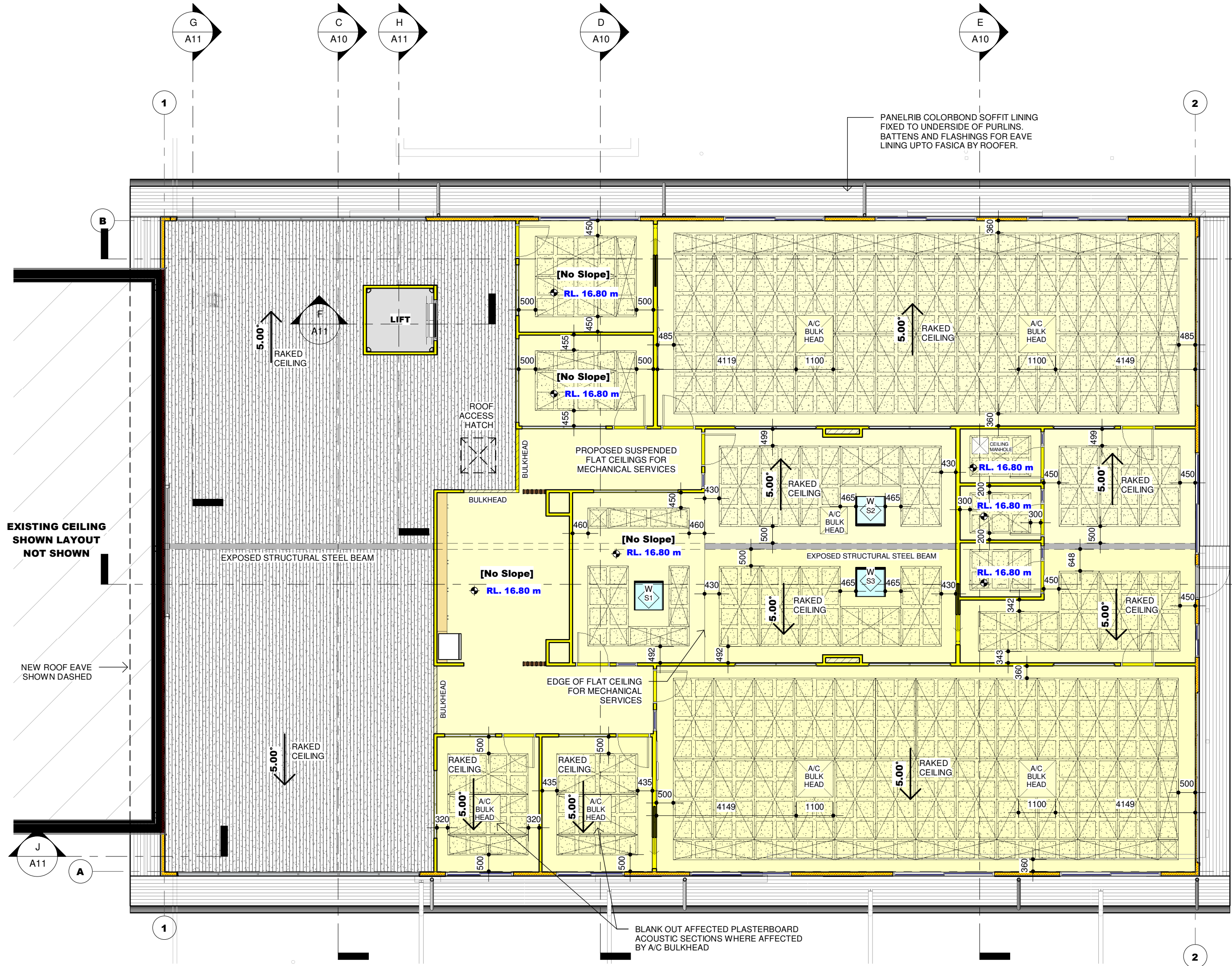
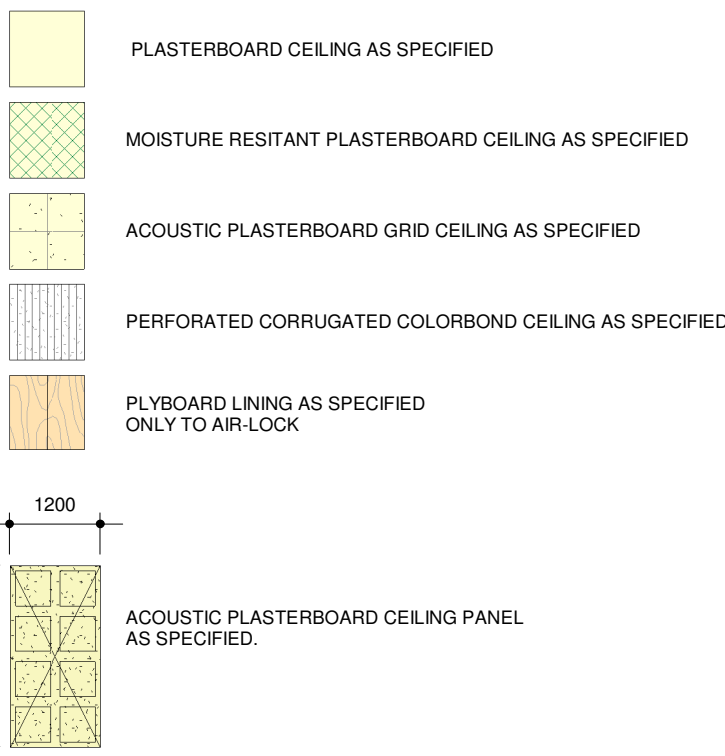
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			<p>THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS. COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.</p>		<p>COLOUR USED FOR PRESENTATION ONLY</p>		<p>Drawn By: KYLE</p>		<p>For: VICTORY LUTHERAN COLLEGE</p>		<p>Sheet: A11</p>	
<p>DATE REV AMENDMENT</p>			<p>NSW: - Certified Building Designer VIC: DP/AD 1076</p>		<p>Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.</p>		<p>Checked By: EUAN</p>		<p>At: 28 DRAGE ROAD, WODONGA VIC 3690</p>		<p>Date: 2-6-2025</p>	
							<p>INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246</p>				<p>Job No: 7608</p>	
							<p>7/- REVIT: Revit - Commercial/7608_Victory Lutheran College - Student Services Building/3 - Wodonga Drawings/2025-5-26 FOR TENDER/7608 VIC Student Services Building - WD - FOR TENDER not</p>				<p>3/06/2025 11:30 PM</p>	



REFLECTED CEILING PLAN - GROUND FLOOR
1 : 100



: CEILING FINISH LEGEND:



REFLECTED CEILING PLAN - FIRST FLOOR
1 : 100

NOTE:
A/C BULKHEADS TO BE
PAINTED MDF STRUCTURES
WITH AN UNDERSIDE HEIGHT
OF 3.0m ABOVE F.F.L.
NOMINAL DIMENSION LOCAL
BULKHEADS TO SUIT LOCAL
ACOUSTIC PLASTERBOARD

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DATE	REV	AMENDMENT

REFLECTED CEILING PLANS

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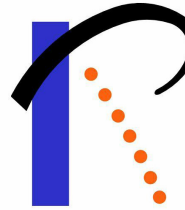
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BUILDING DESIGNER
plus CDP

bdag
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PO Box 3054 Albury NSW 2640
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Email: euan@rpdesign.com.au
PHONE 02 6021 1355
INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246



PROPOSED 'THE HUDSON CENTRE'

For: VICTORY LUTHERAN COLLEGE

At: 28 DRAGE ROAD, WODONGA VIC 3690

FOR TENDER

SHEET SIZE "A1"

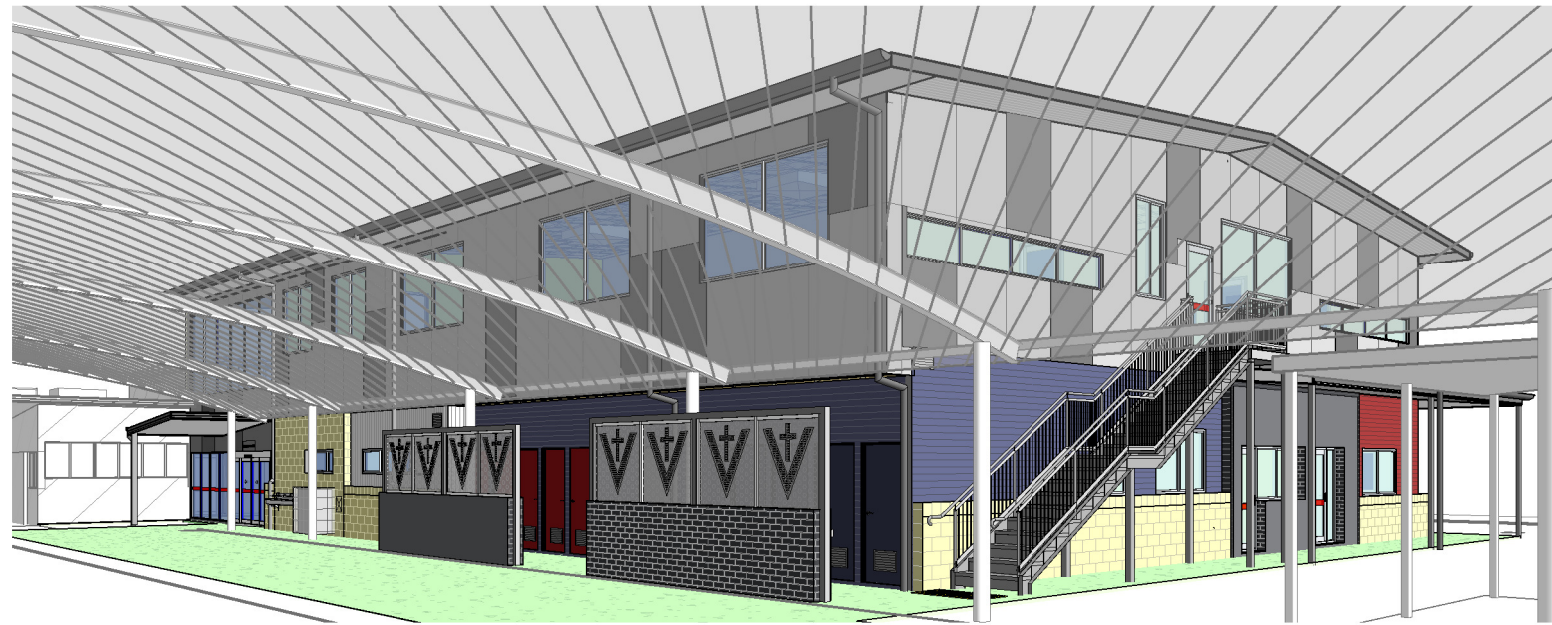
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Date: 2-6-2025

Job No: 7608

Z:- REVIT:- Revit:- Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt

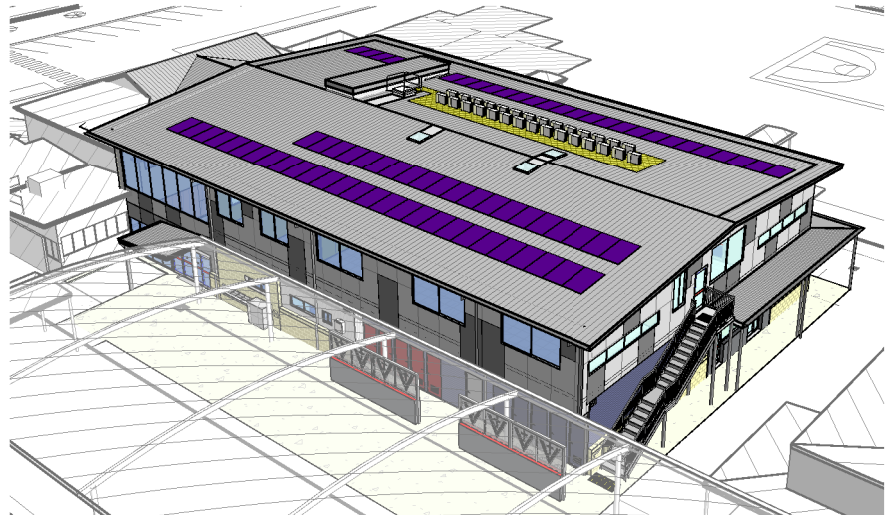
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3D View 1



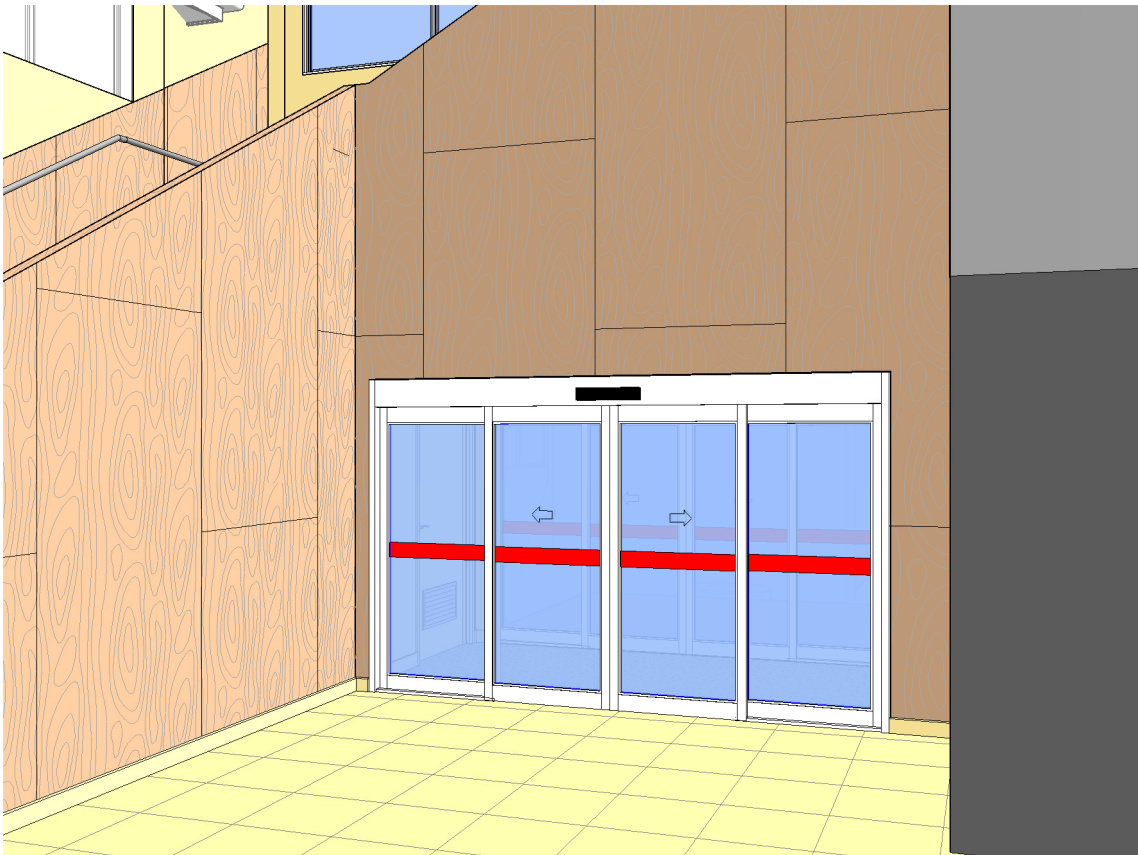
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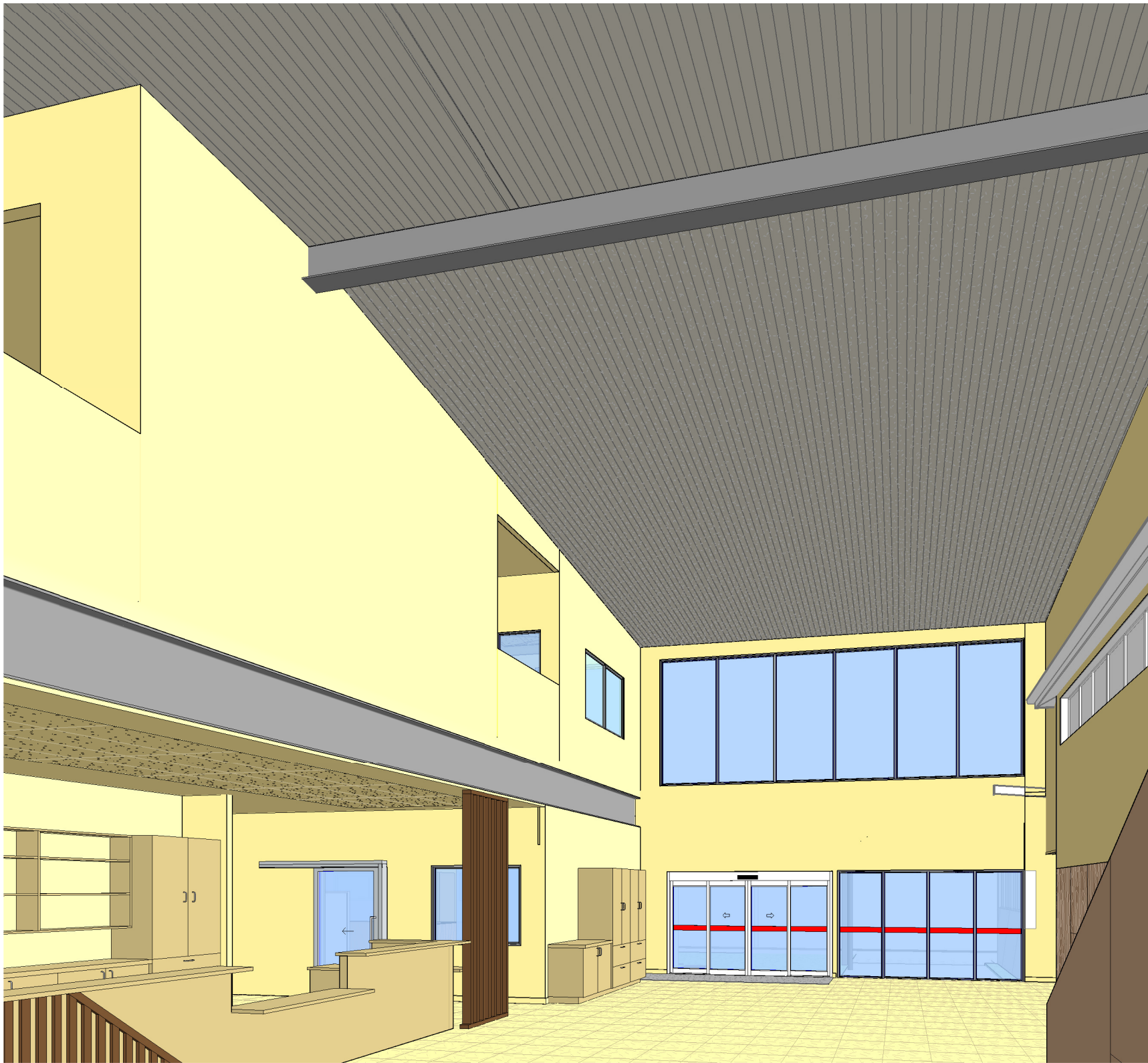
3D View 6



3D View 2



3D View 7



3D View 9



3D View 3



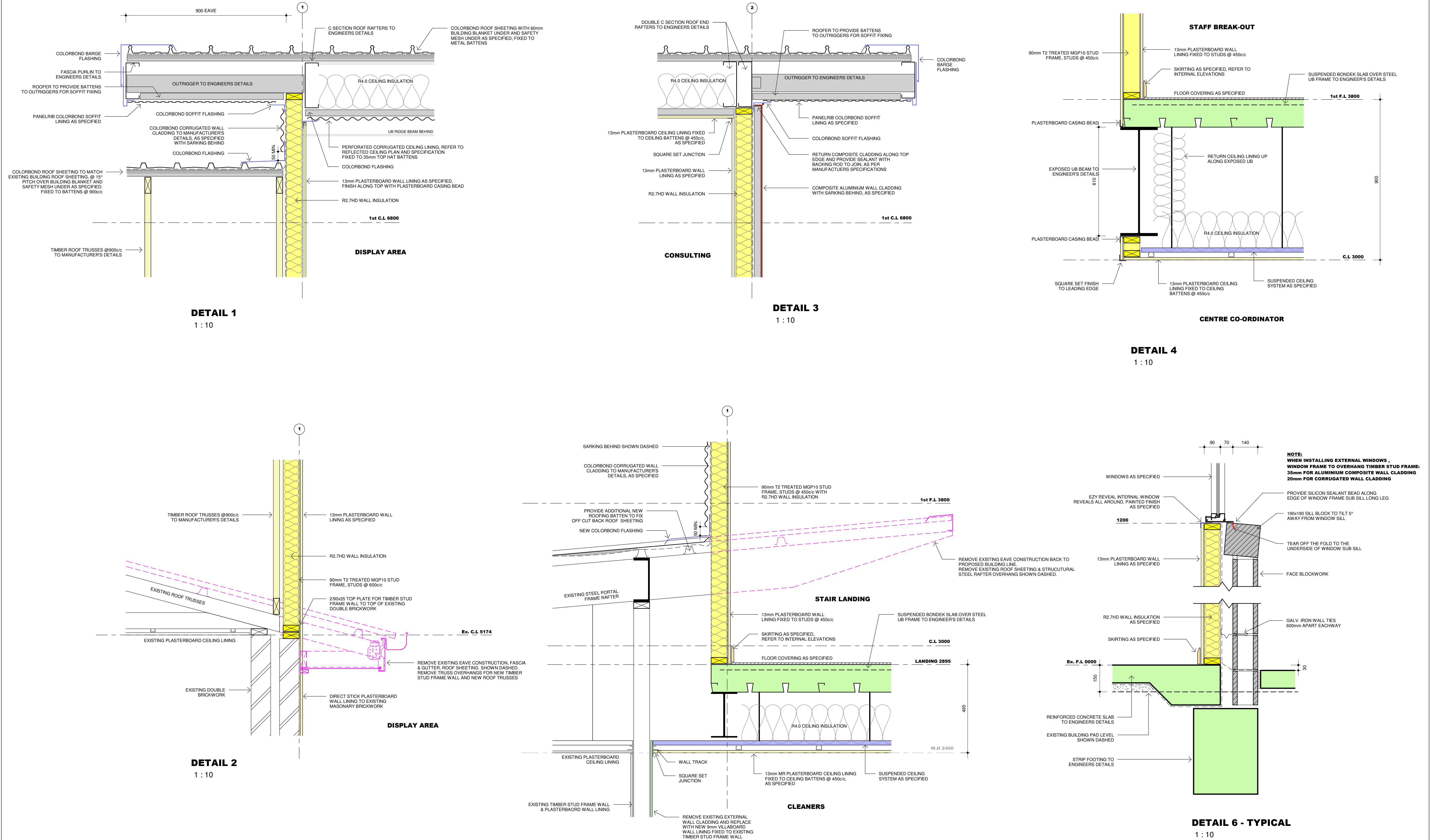
3D View 8

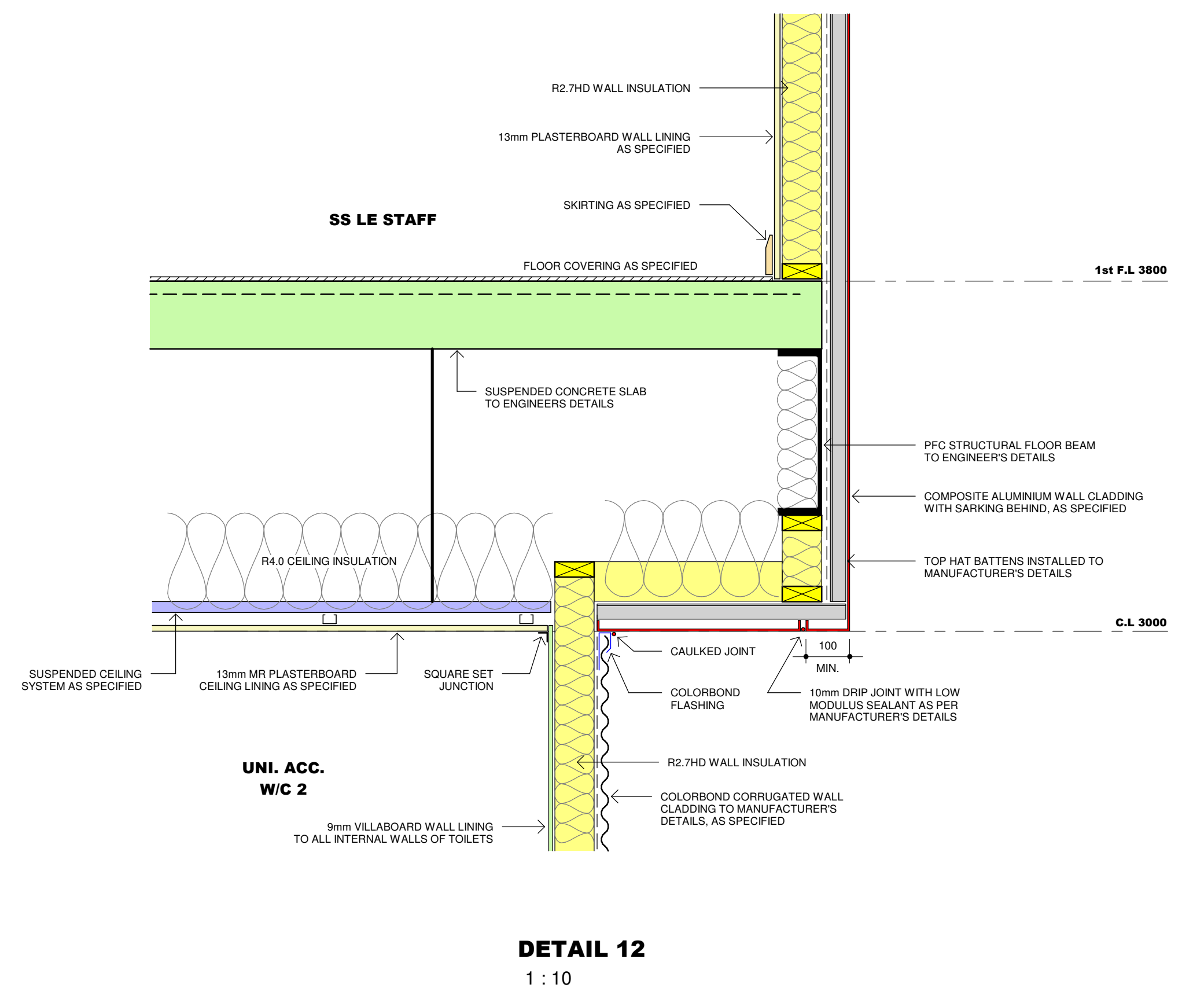
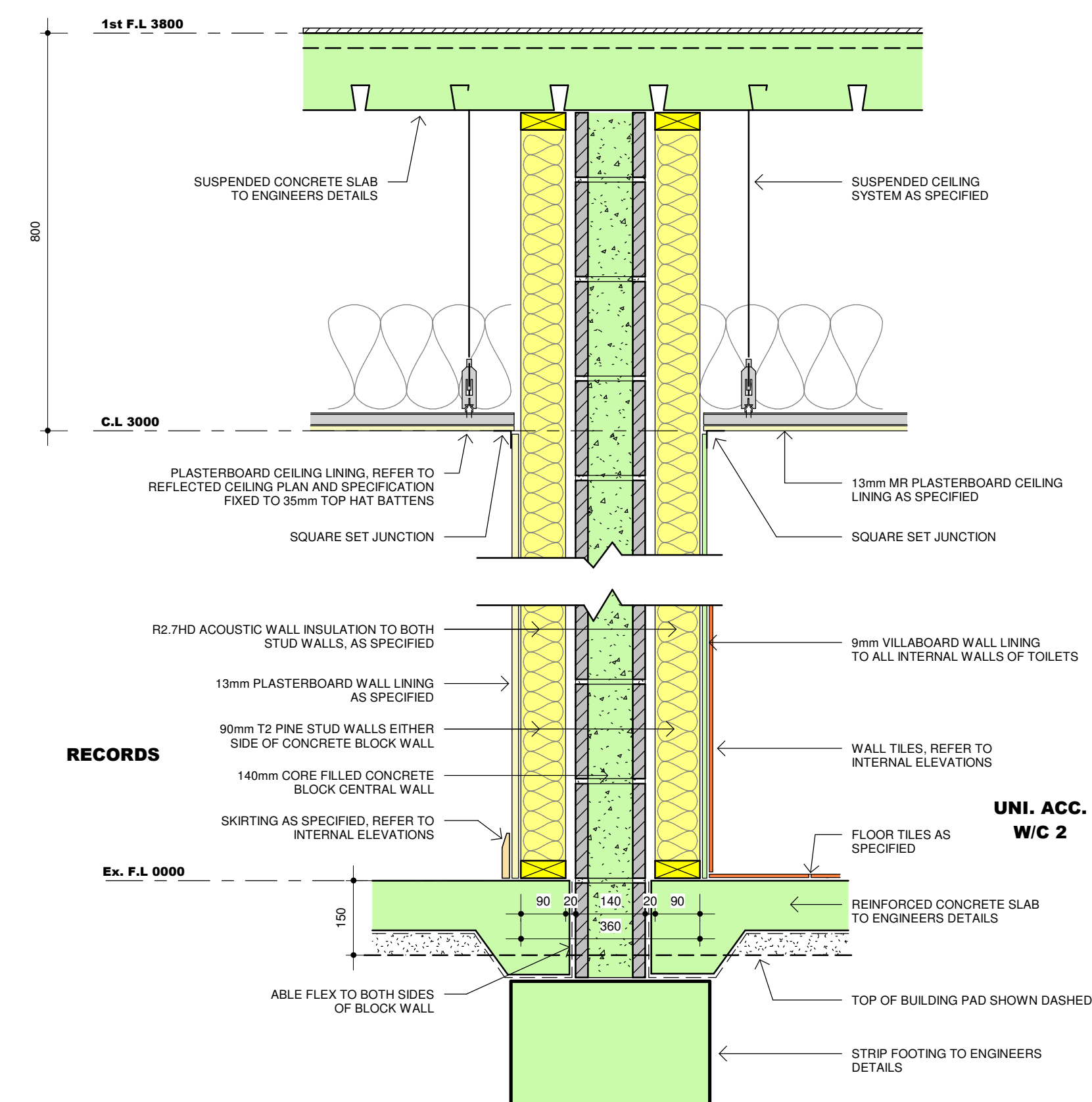
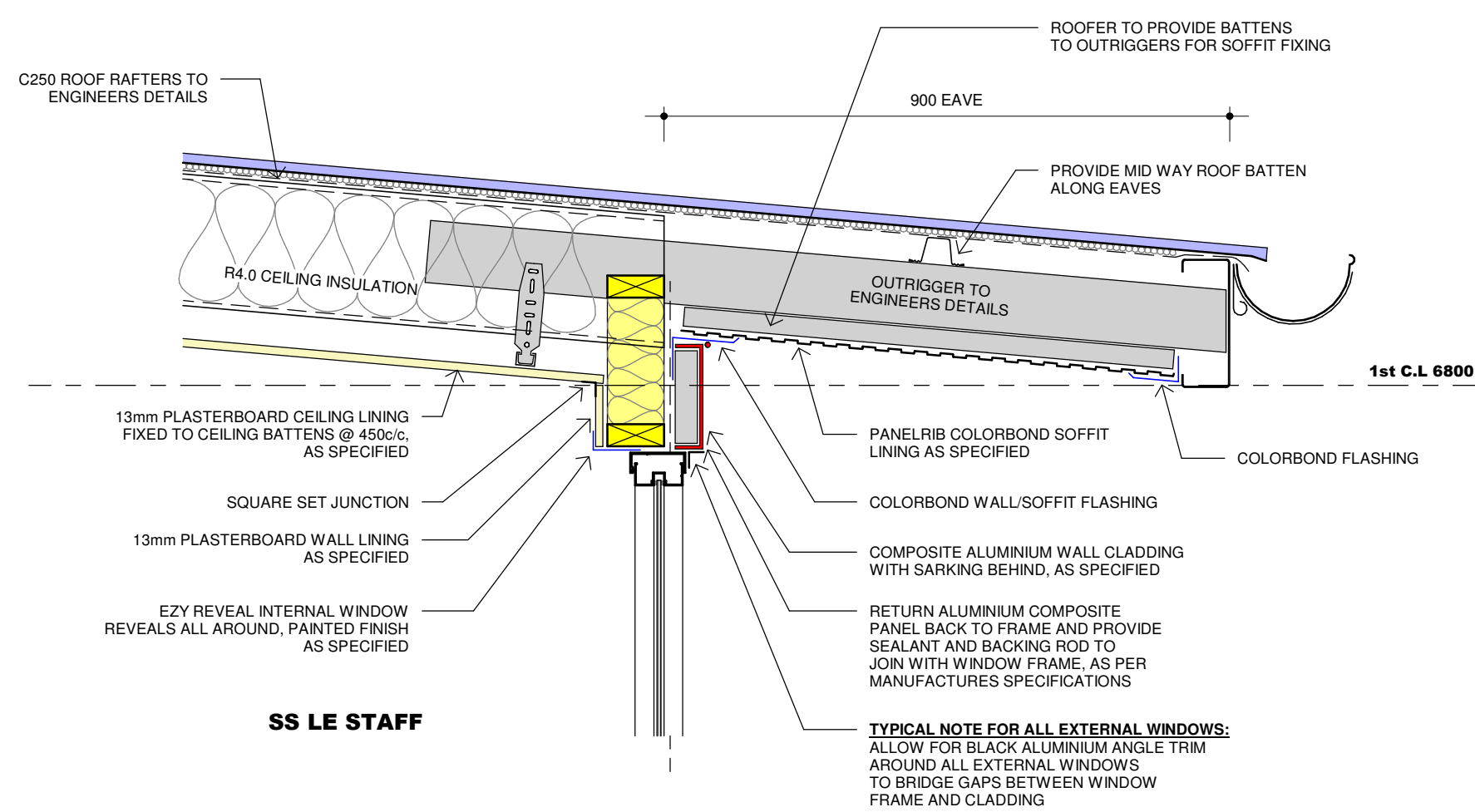
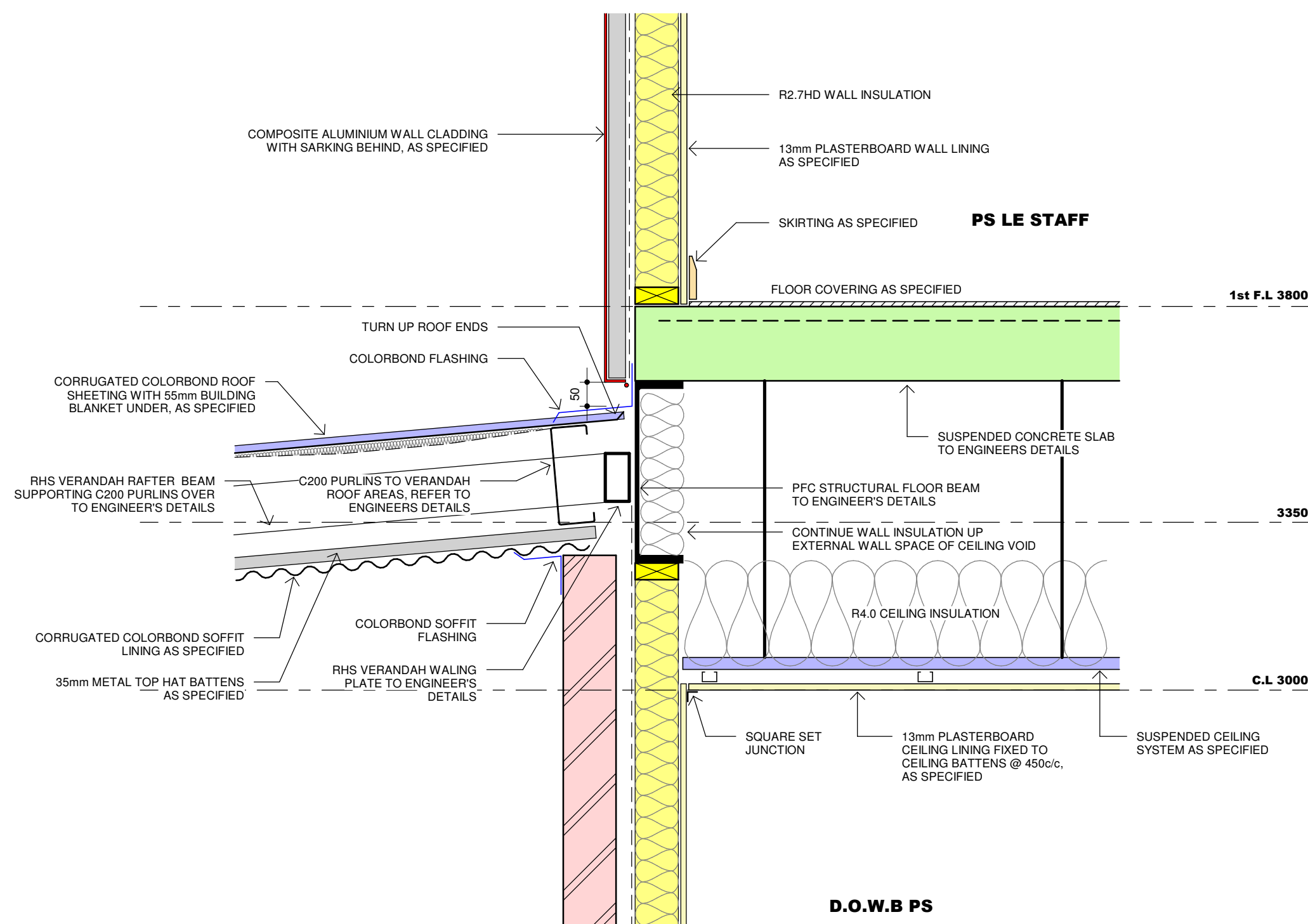
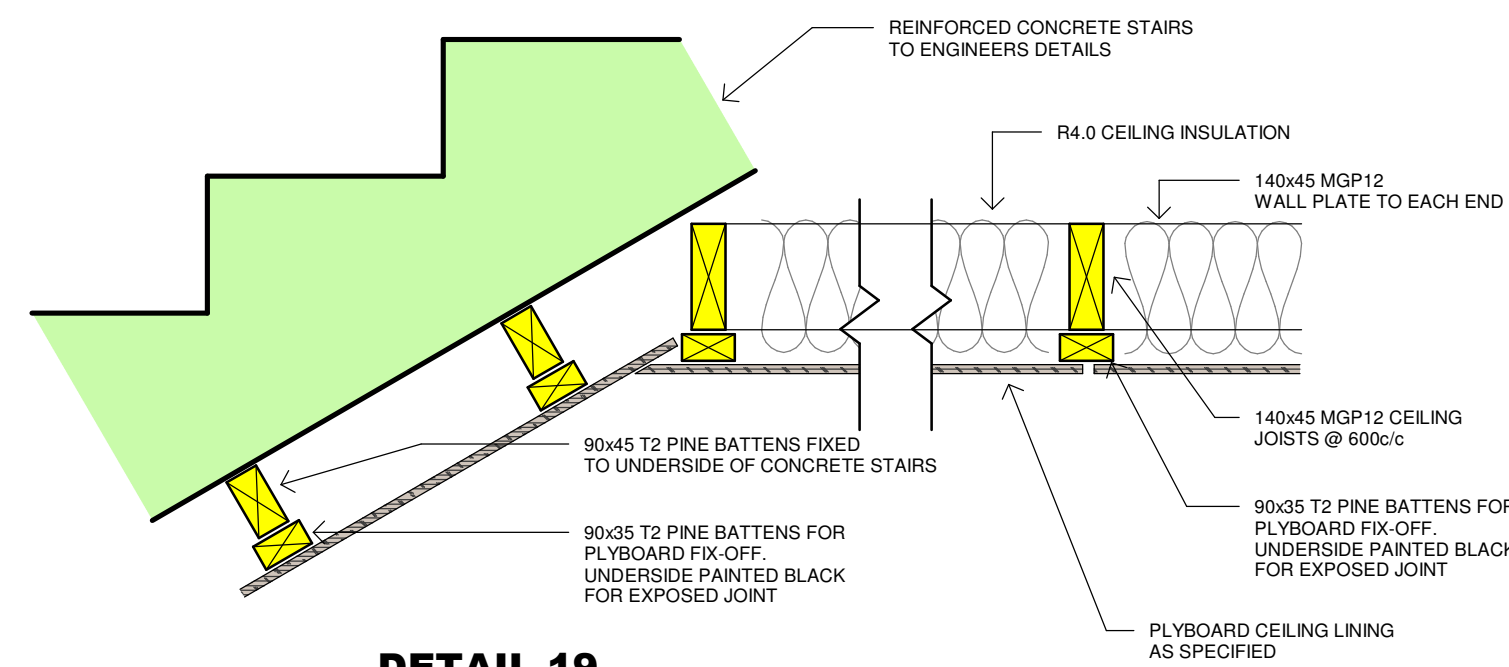
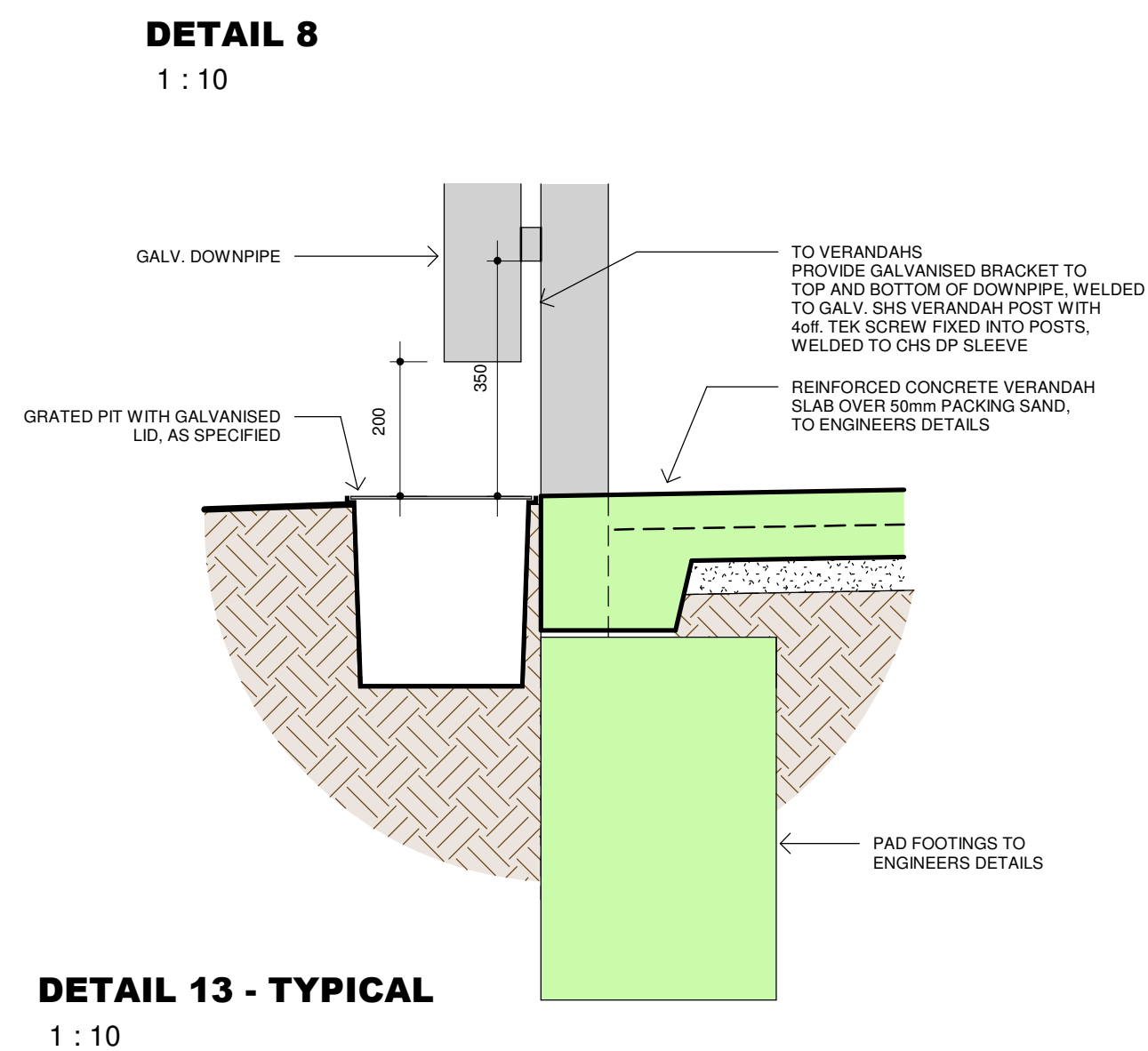
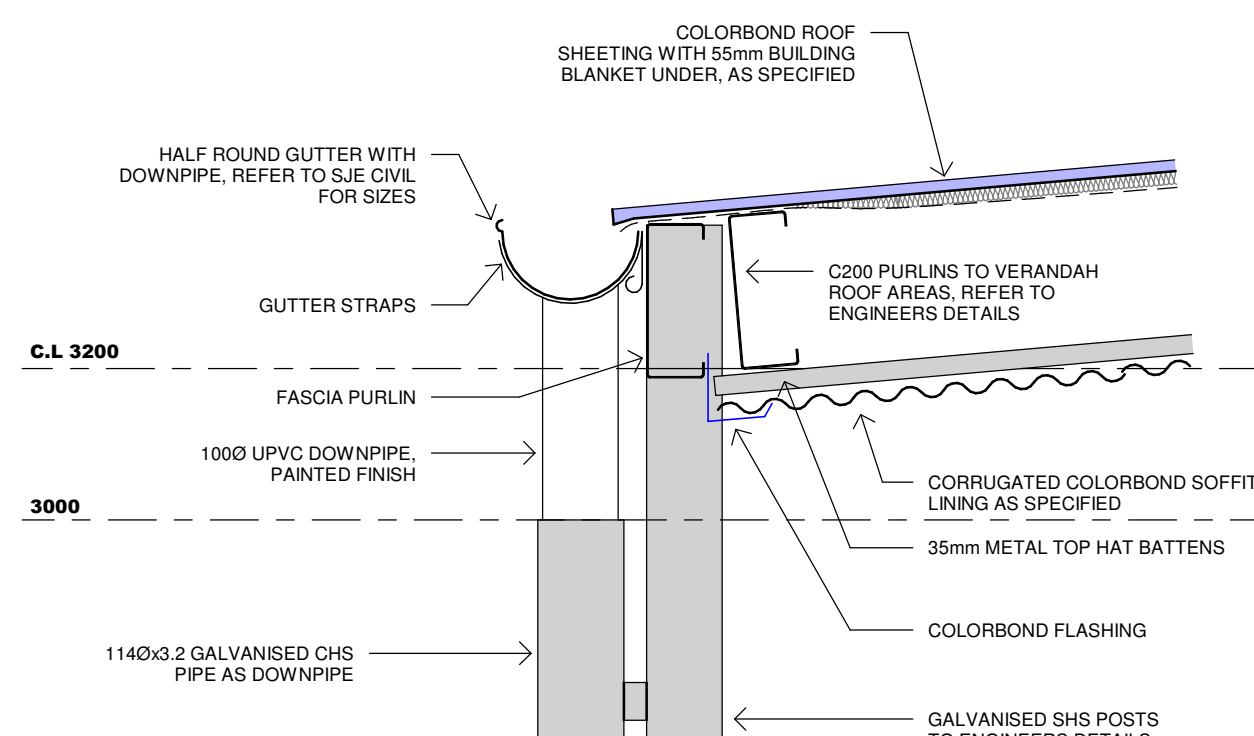
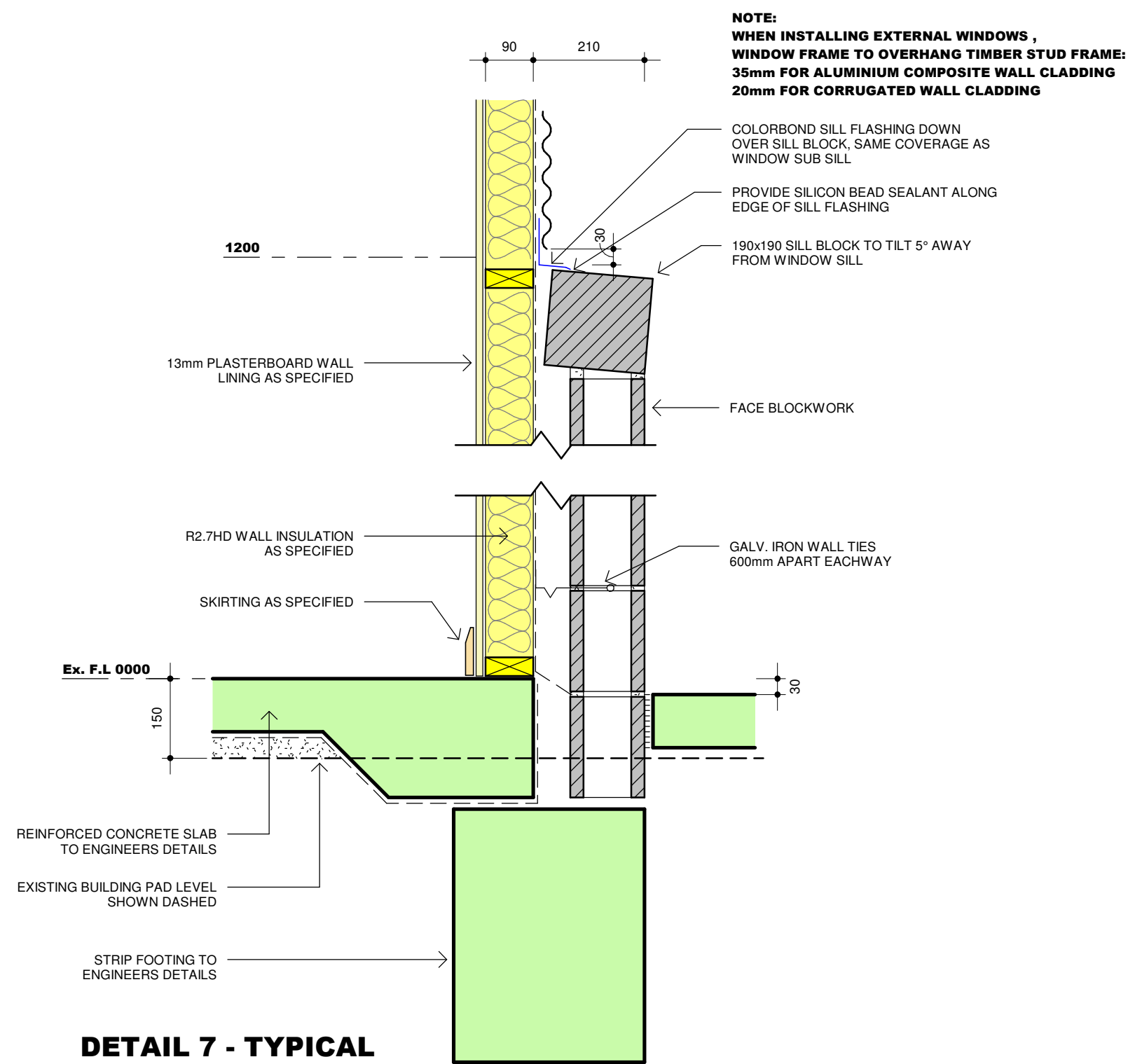


3D View 4




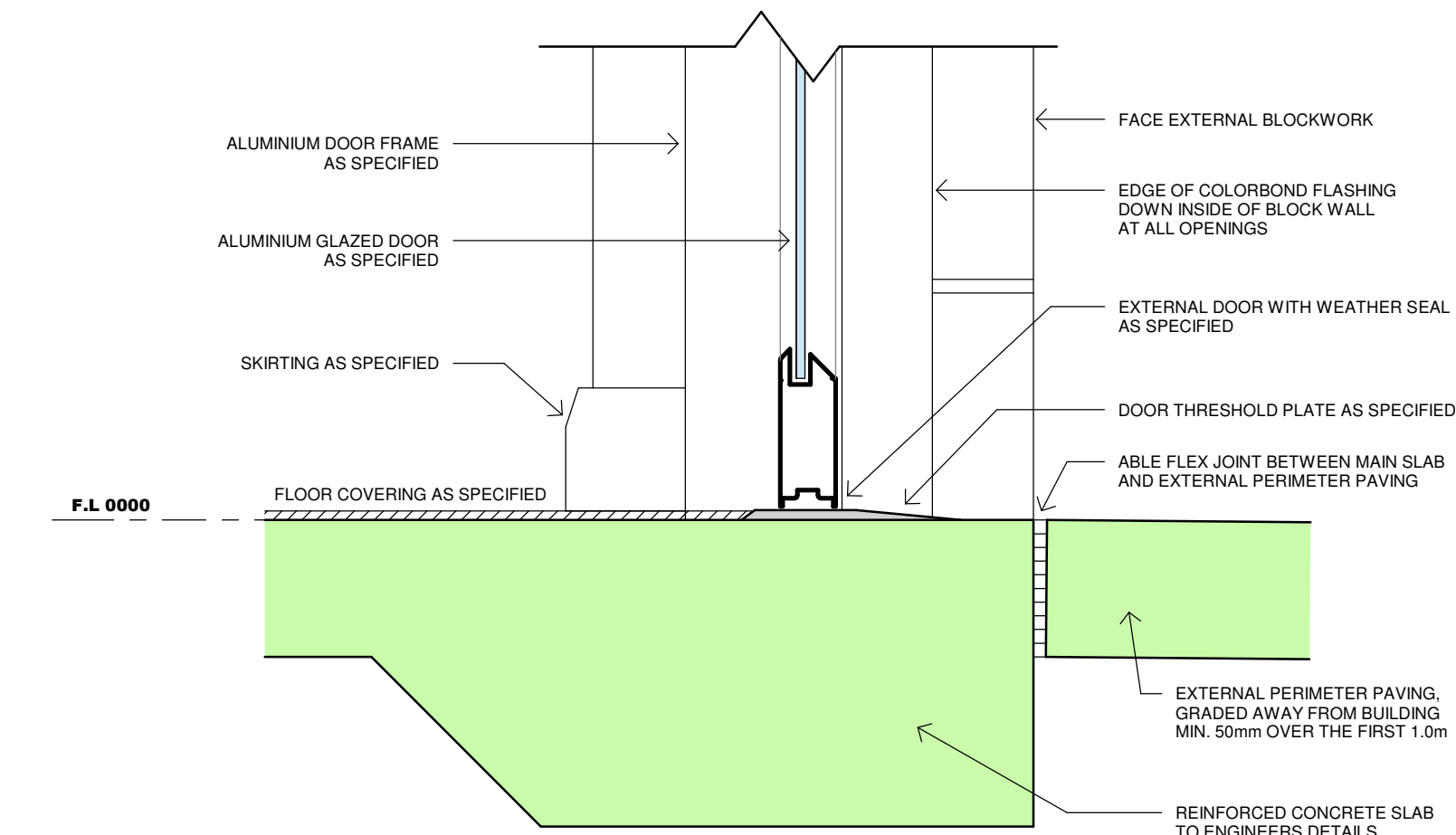
3D View 10



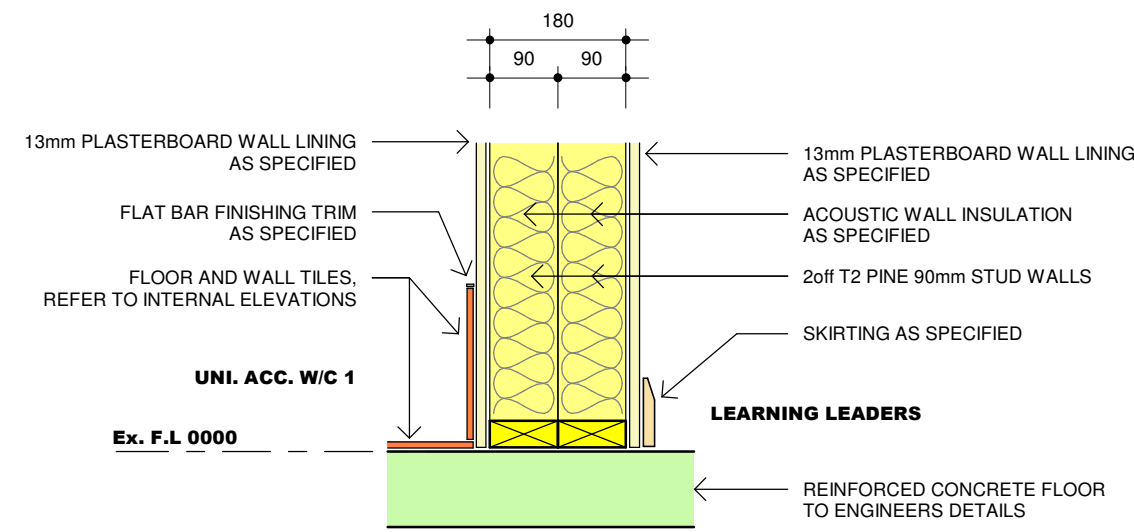


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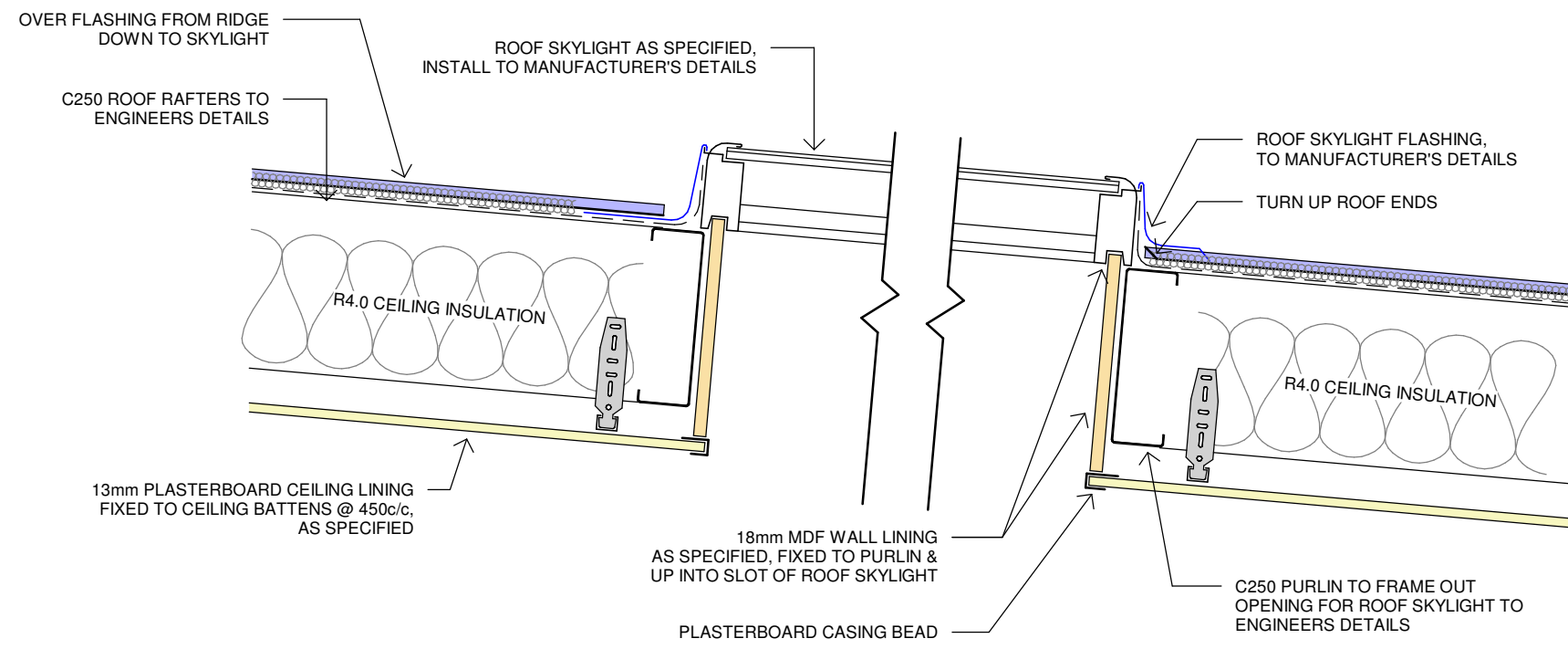
DATE	REV	AMENDMENT	DETAILS		DRAWN BY: KYLE CHECKED BY: EUAN	REGISTERED Building Practitioner 2011 CPD	bdoo BUILDING DESIGNERS AUSTRALIA	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246		PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690 <small>Z:\REVIT\ Revit\ Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025\5-29 For TENDER\7608 VLC Student Services Building - WD - For TENDER.rvt</small>	SHEET SIZE "A1"
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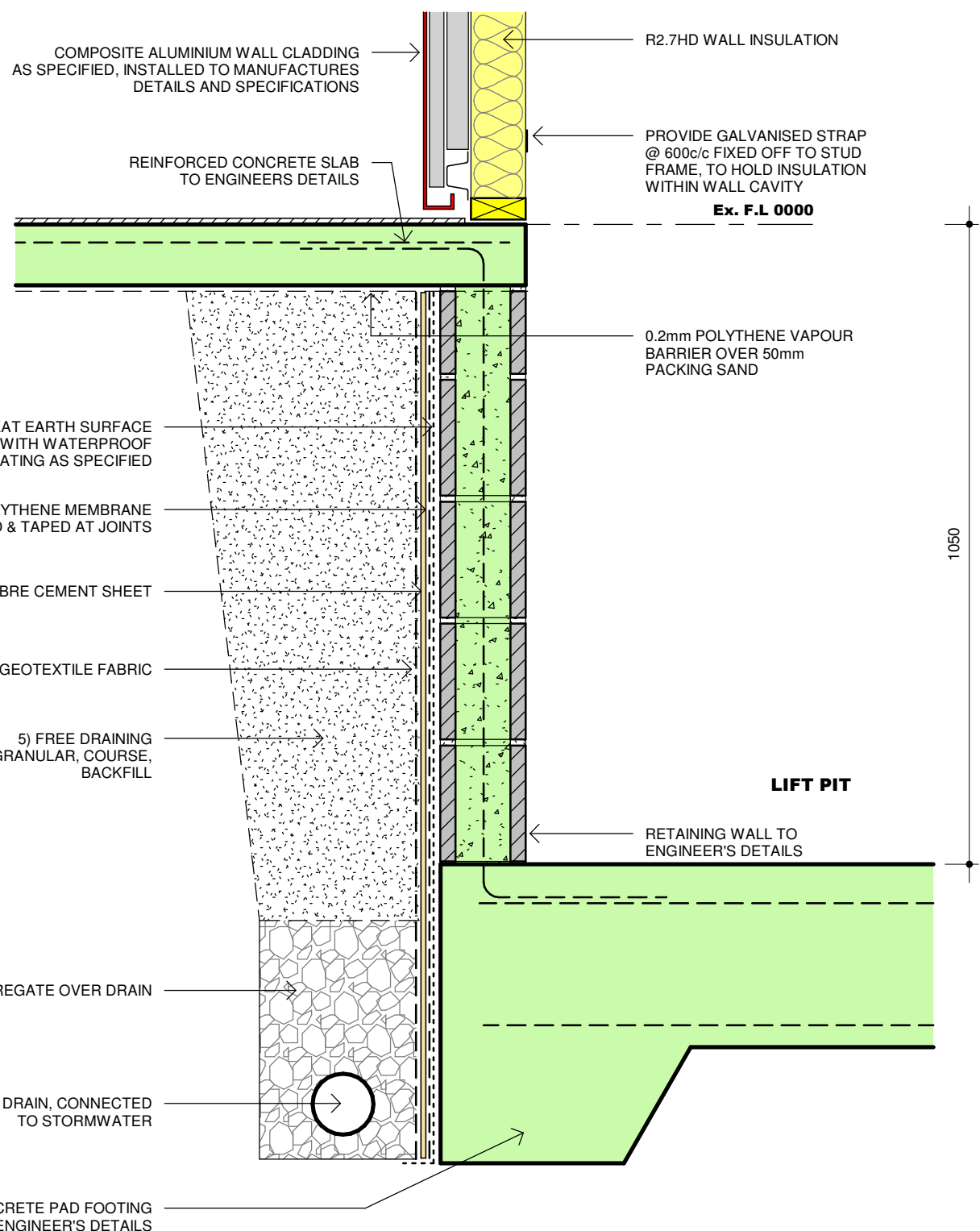
DETAIL 18 - TYPICAL
1 : 5



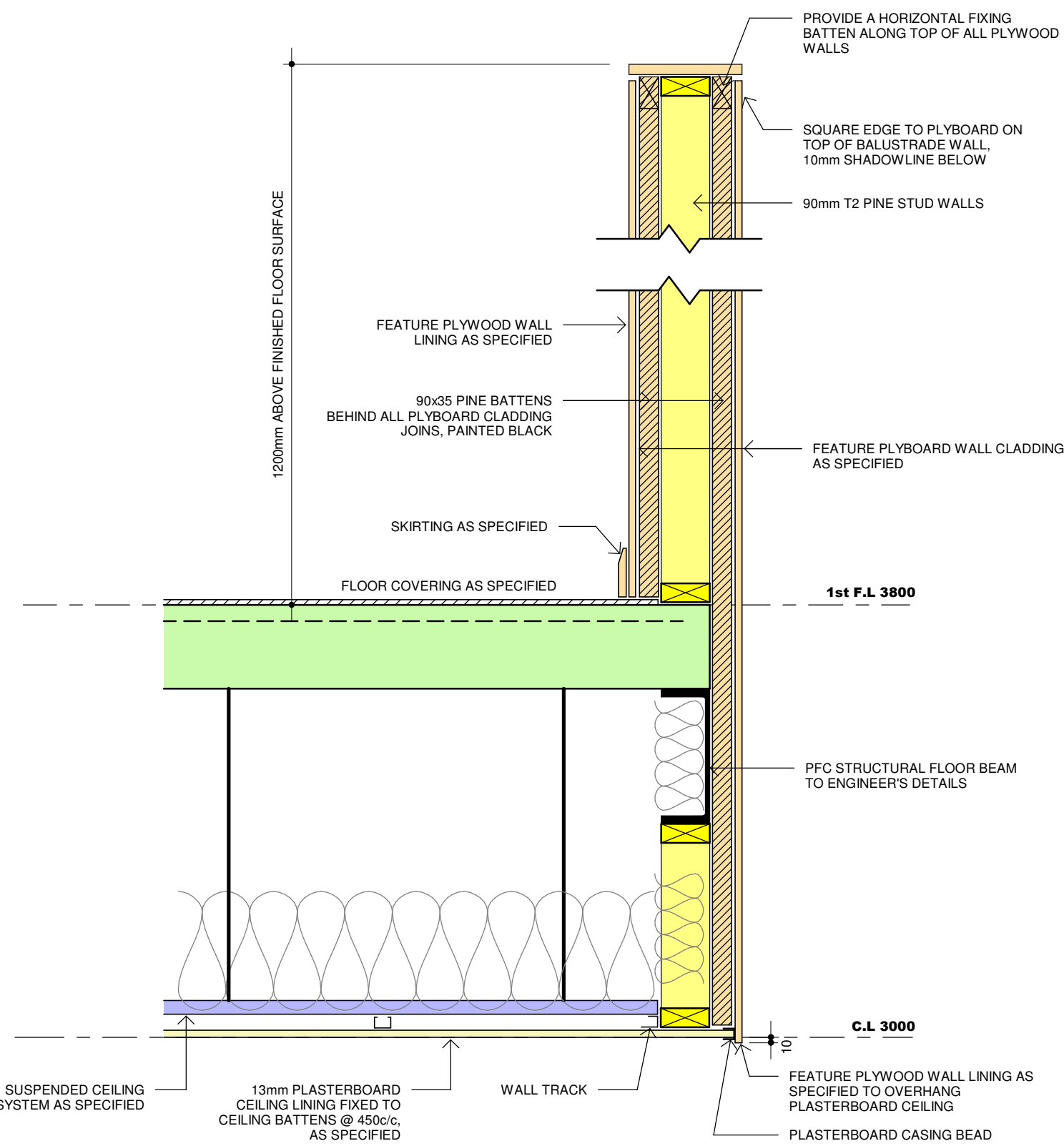
DETAIL 17
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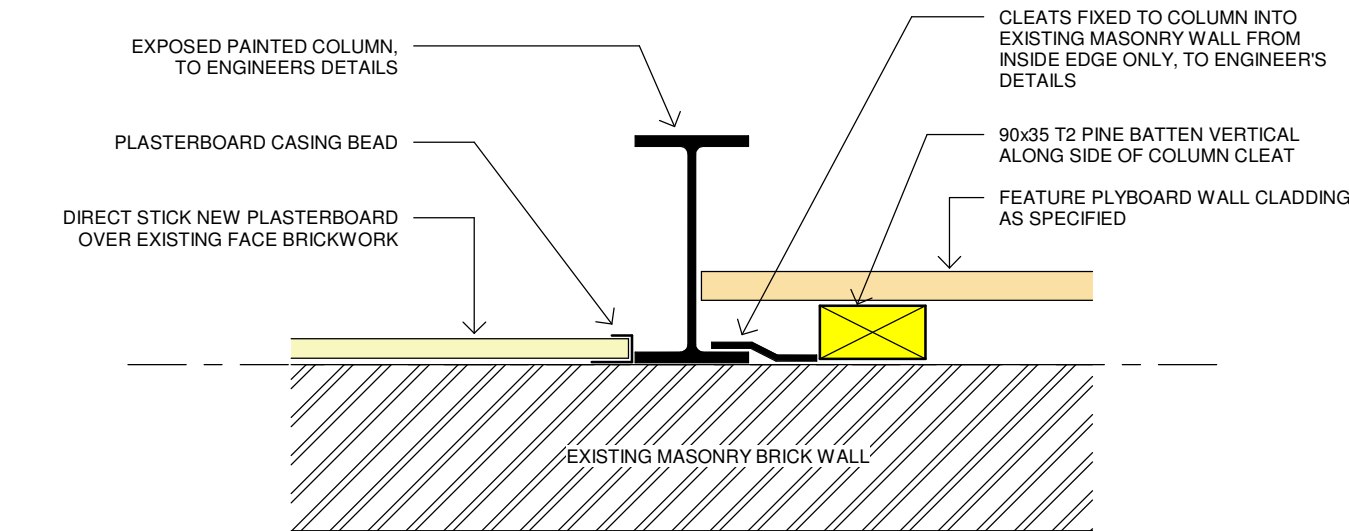
DETAIL 15 - TYPICAL SKYLIGHT
1 : 10



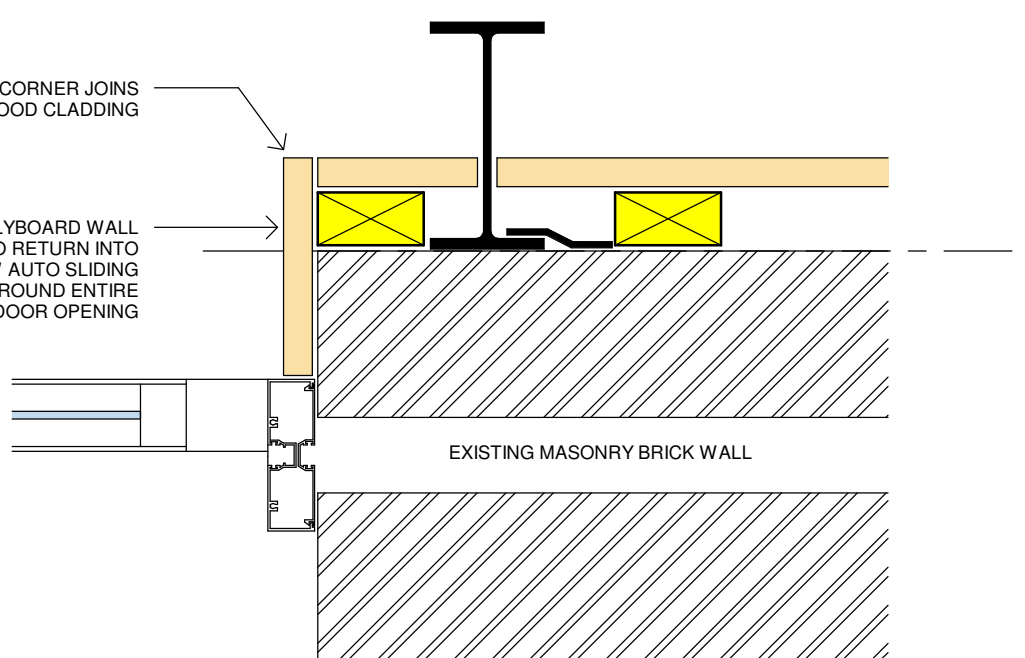
DETAIL 16
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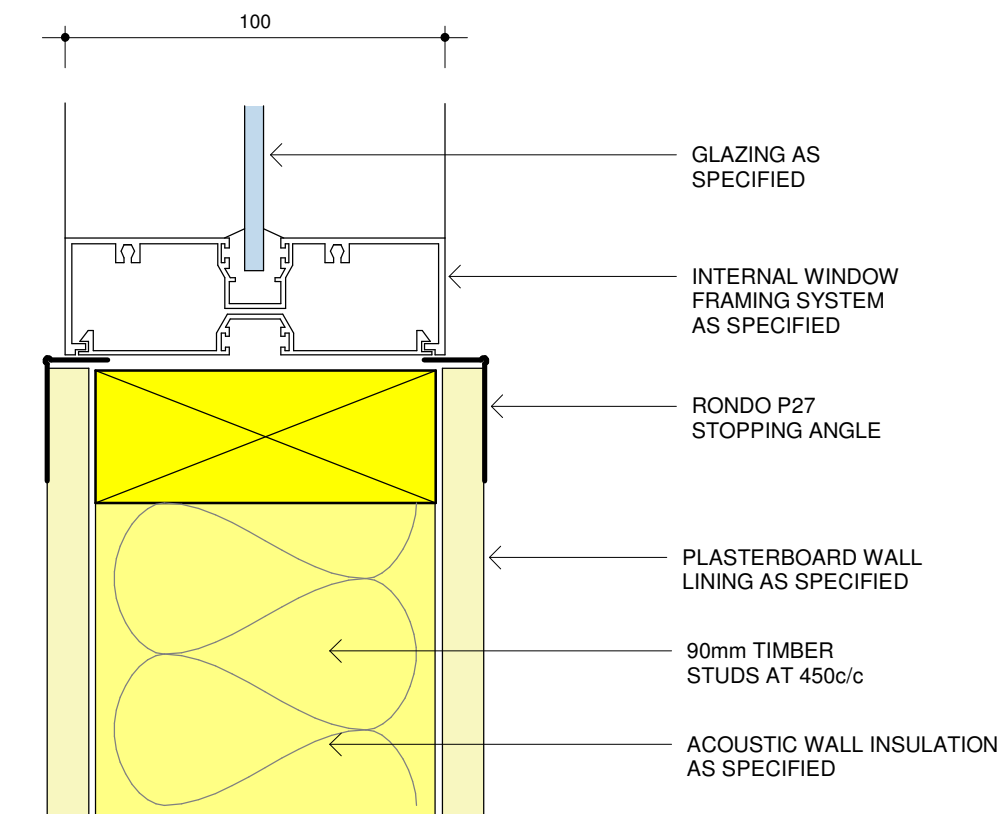
DETAIL 14
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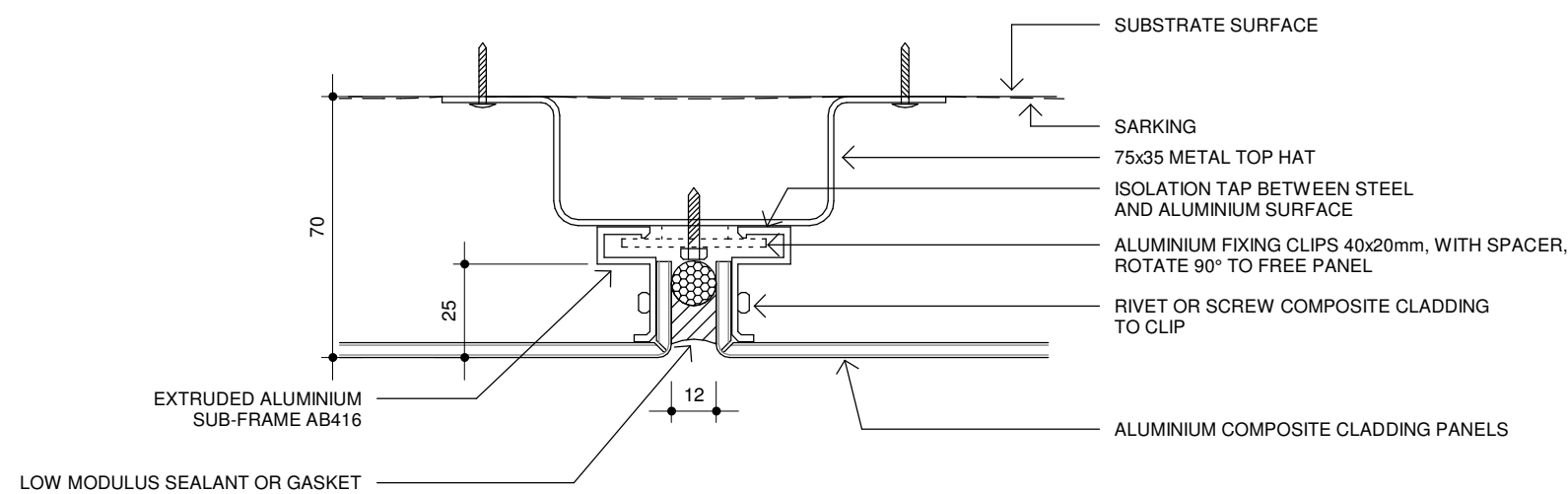
CLEAT DETAIL
1 : 5



AUTO SLIDING DOOR / PLYBOARD DETAIL
1 : 5



TYPICAL INTERNAL GLAZING
1 : 2



COMPOSITE CLADDING FIX
1 : 2

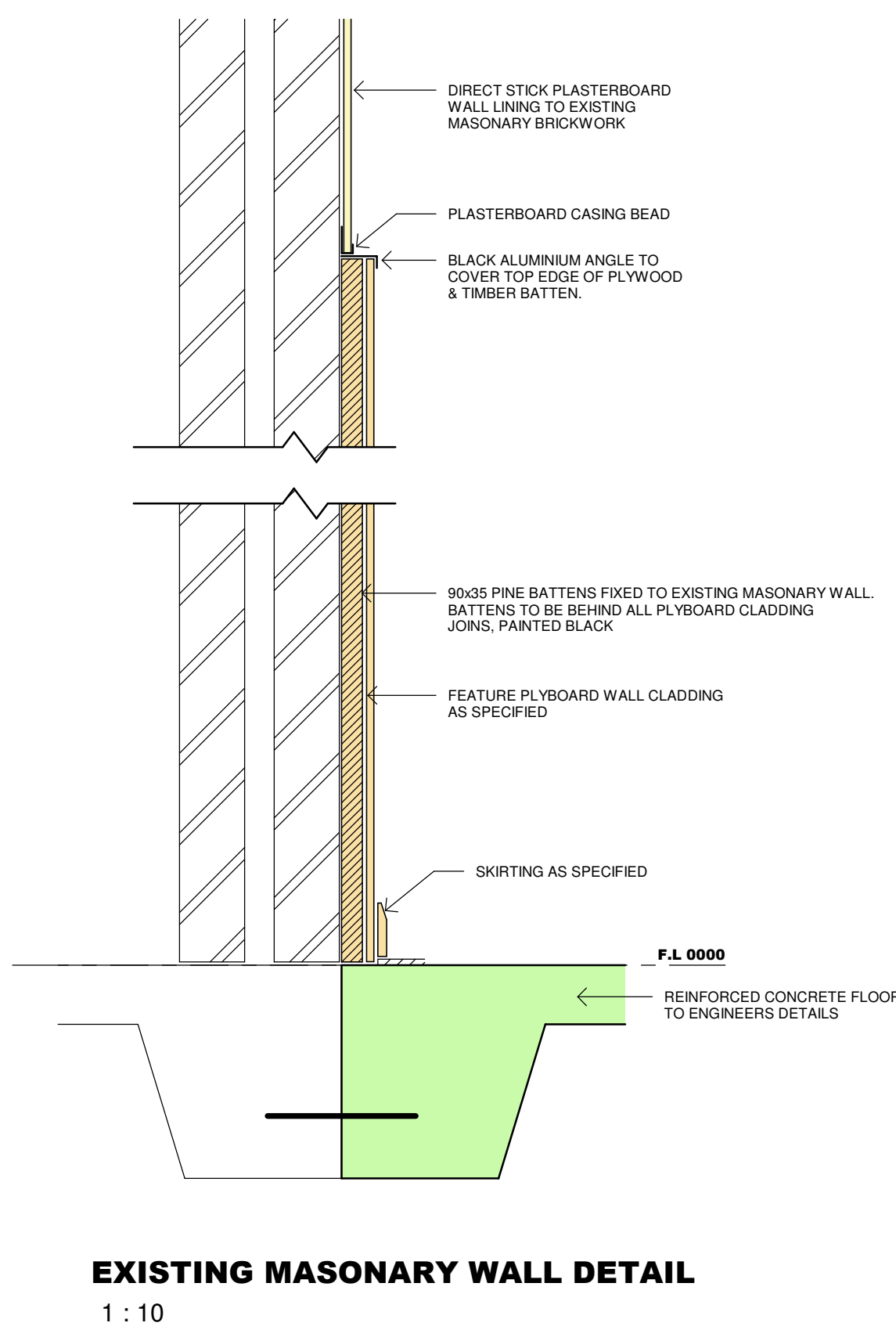
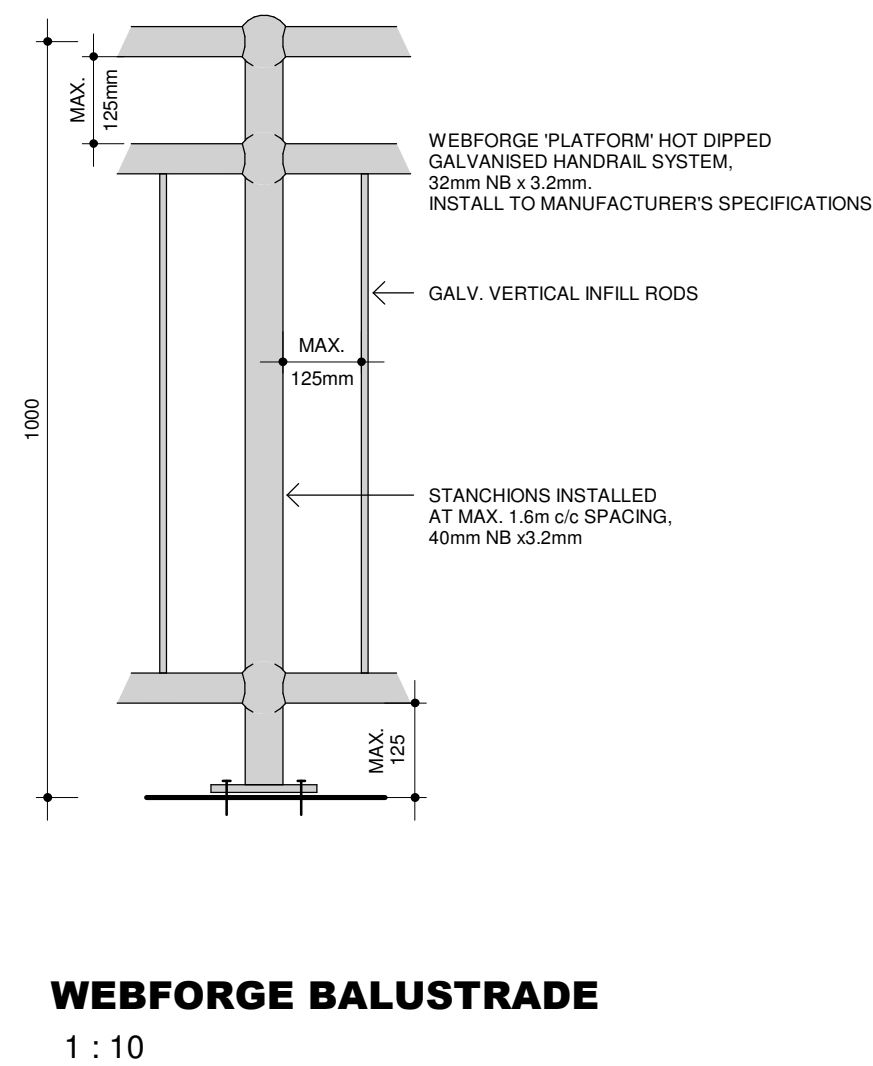
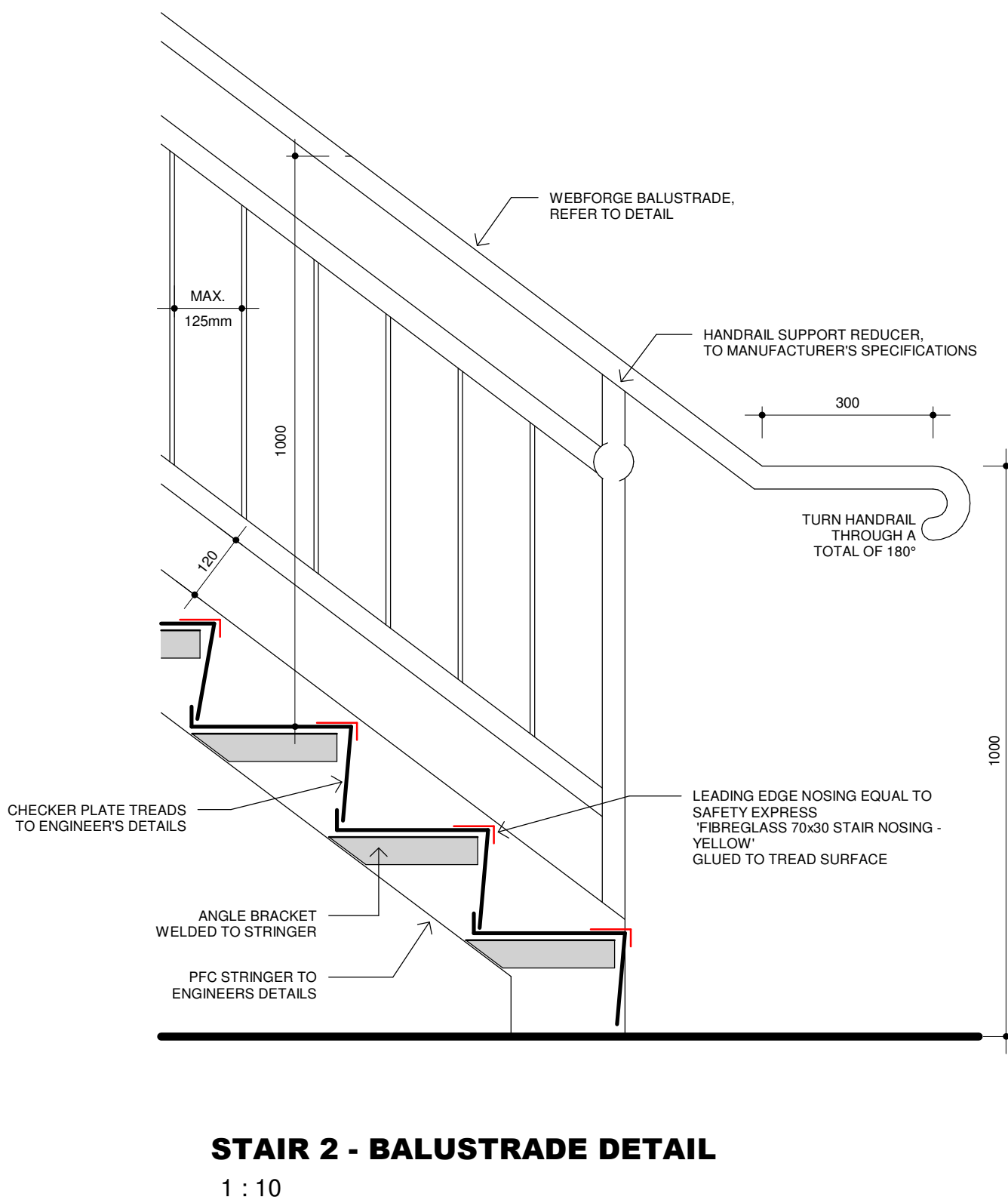
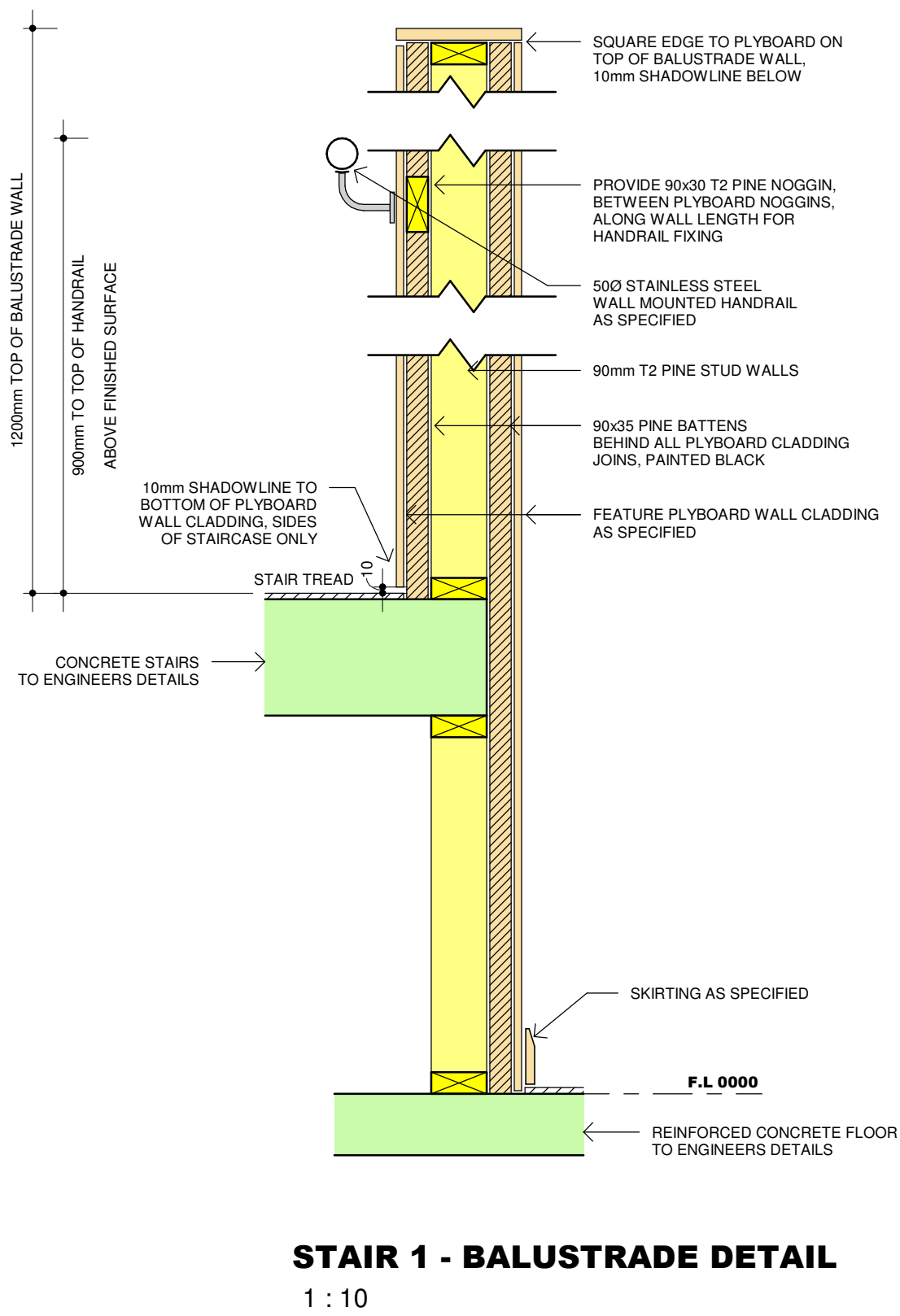
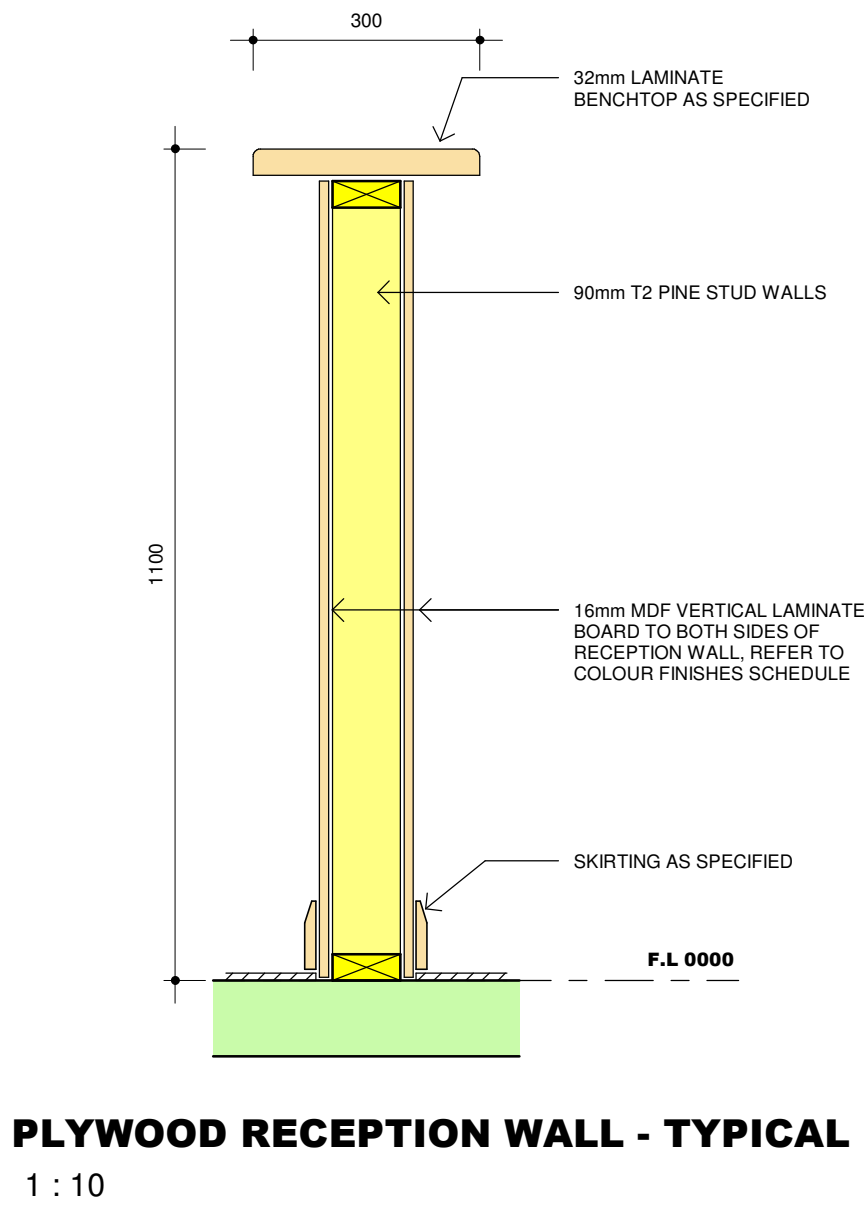
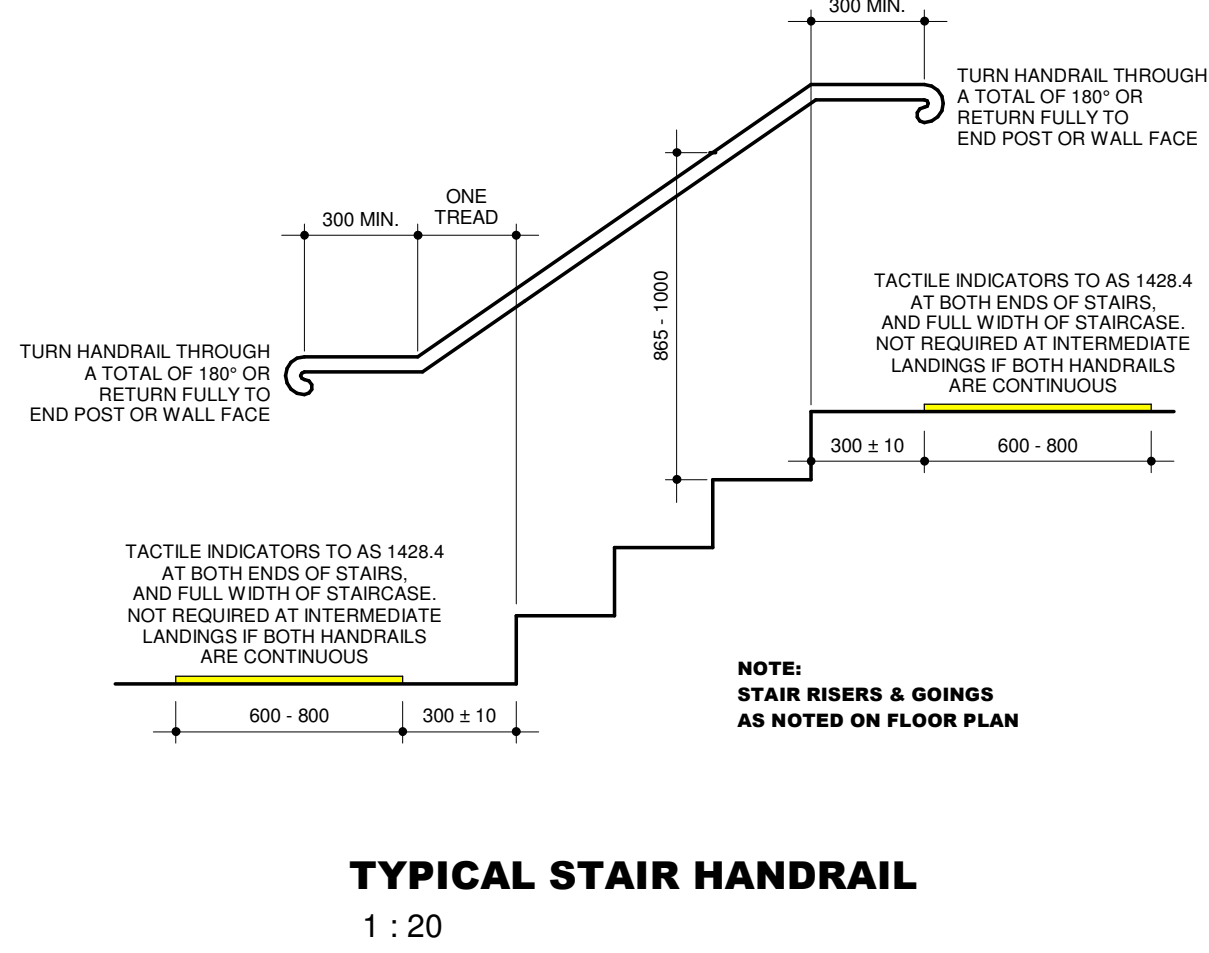
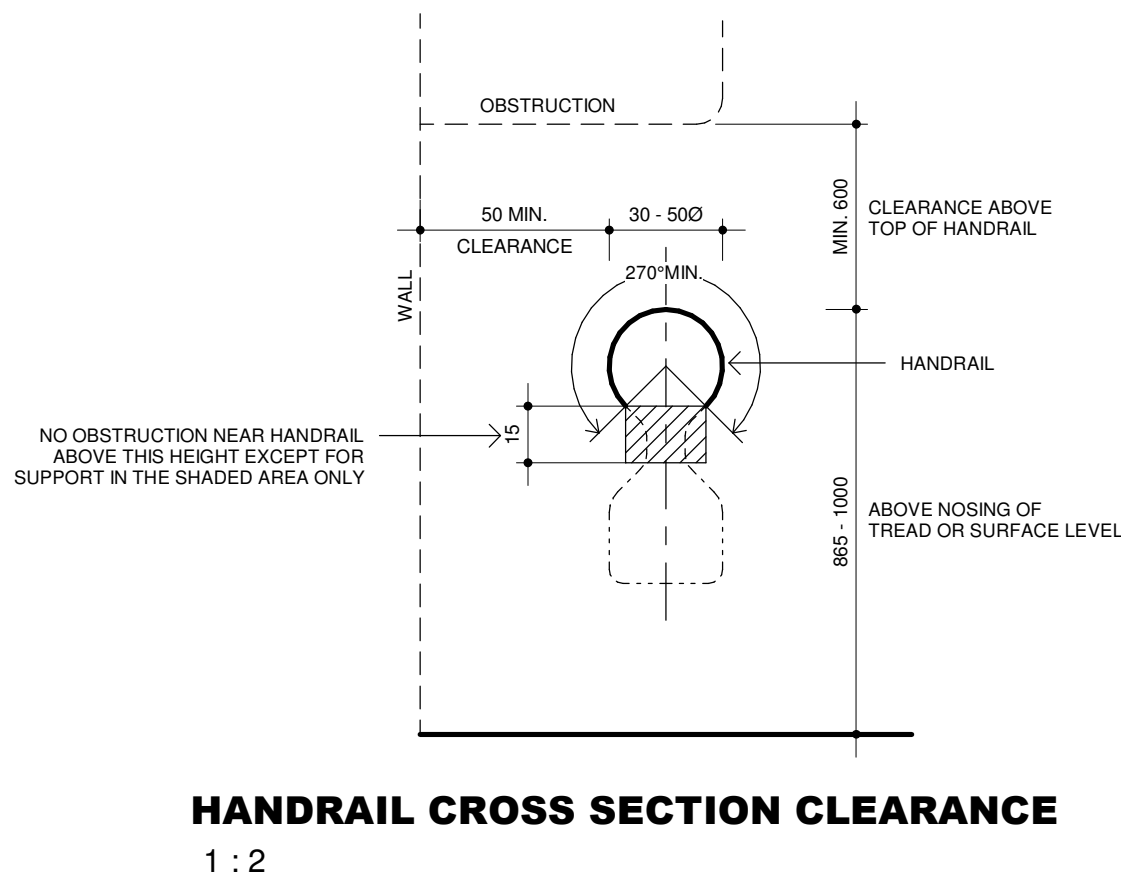
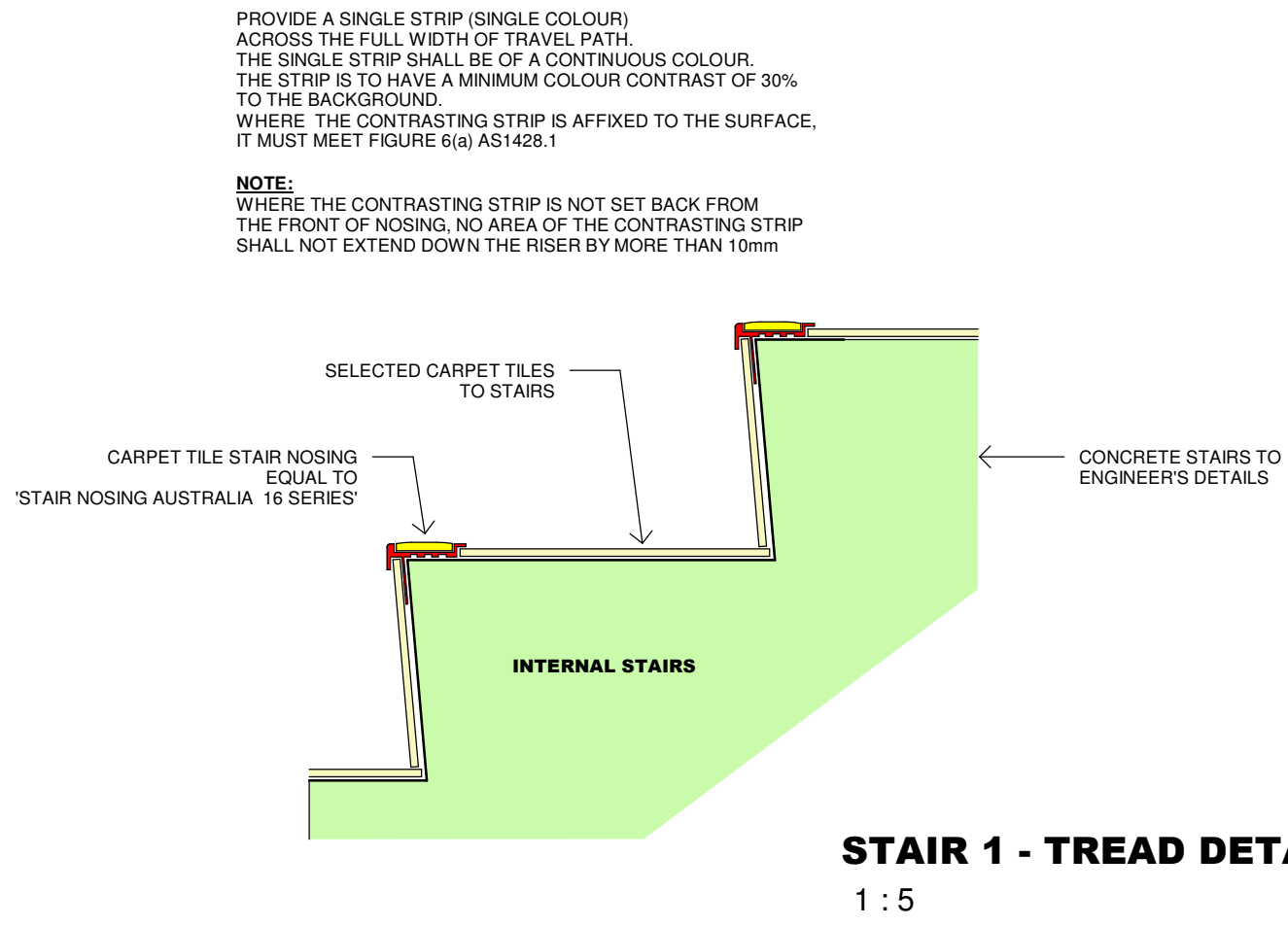
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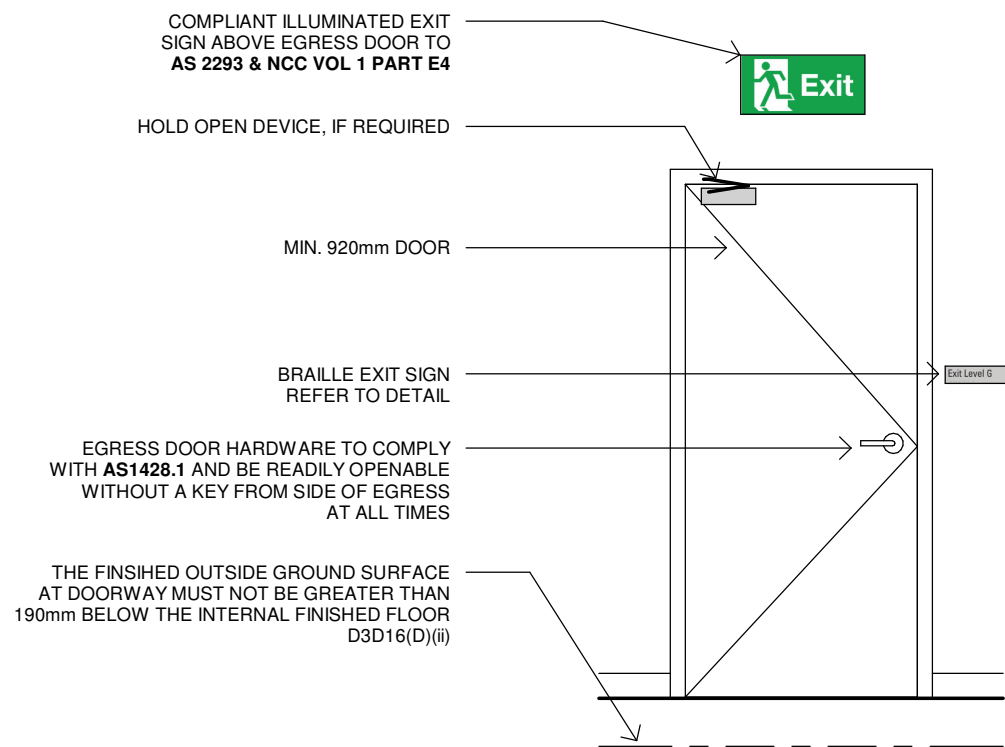
FOR TENDER

Z:- REVIT:- Revit: Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt

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DETAILS				SHEET SIZE "A1"			
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DATE				Date: 2-6-2025			
REV				Job No: 7608			
AMENDMENT				3/06/2025 1:18:29 PM			
REGISTERED BUILDING PROFESSIONAL				Z:\- REVIT\ - Revit\ Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt			
bdaa BUILDING DESIGN ASSOCIATES OF AUSTRALIA				ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246			
COLOUR USED FOR PRESENTATION ONLY				PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690			
NSW:- Certified Building Designer VIC:- DP/AD 1076				Drawn By: KYLE Checked By: EUAN			
Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.							



EXIT DOOR
1 : 30

**NCC VOL 1
D3D25 SWINGING DOORS**

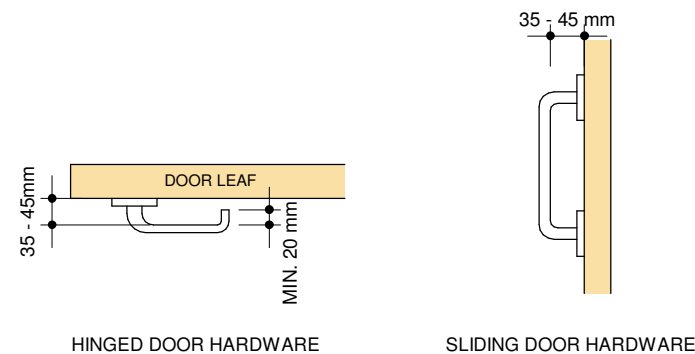
- (1) A SWINGING DOOR IN A REQUIRED EXIT OR FORMING PART OF A REQUIRED EXIT -
(A) MUST NOT ENCRoACH -
(i) AT ANY PART OF ITS SWING BY MORE THAN 500 MM ON THE REQUIRED WIDTH (INCLUDING ANY LANDINGS) OF A REQUIRED STAIRWAY, RAMP OR PASSAGEWAY IF IT IS LIKELY TO IMPEDE THE PATH OF TRAVEL OF THE PEOPLE ALREADY USING THE EXIT; AND
(ii) WHEN FULLY OPEN, BY MORE THAN 100 MM ON THE REQUIRED WIDTH OF THE REQUIRED EXIT; AND
(B) MUST SWING IN THE DIRECTION OF EGRESS UNLESS -
(i) IT SERVES A BUILDING OR PART WITH A FLOOR AREA NOT MORE THAN 200m²; IT IS THE ONLY REQUIRED EXIT FROM THE BUILDING OR PART AND IT IS FITTED WITH A DEVICE FOR HOLDING IT IN THE OPEN POSITION; OR
(ii) IT SERVES A SANITARY COMPARTMENT OR AIRLOCK (IN WHICH CASE IT MAY SWING IN EITHER DIRECTION); AND
(C) MUST NOT OTHERWISE IMPEDE THE PATH OR DIRECTION OF EGRESS.
(2) THE MEASUREMENT OF ENCRoACHMENT REFERRED TO IN (1)(A) IN EACH CASE IS TO INCLUDE DOOR HANDLES OR OTHER FURNITURE OR ATTACHMENTS TO THE DOOR.

**NCC VOL 1
D3D26 OPERATION OF LATCH**

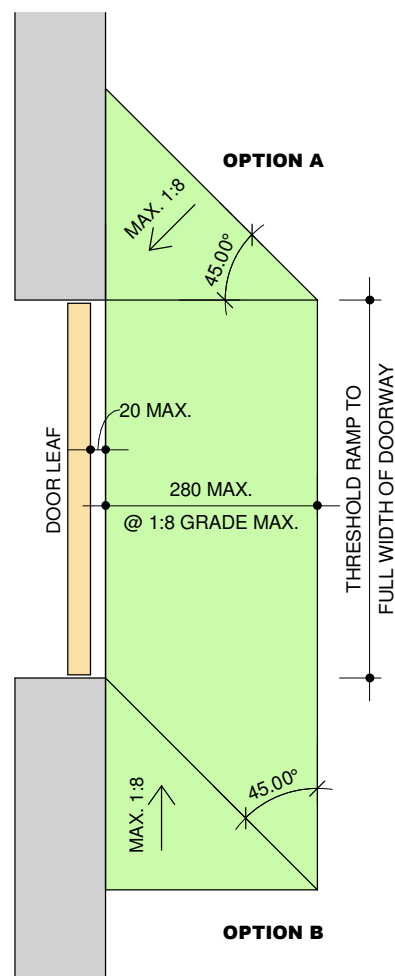
- (1) A DOOR IN A REQUIRED EXIT, FORMING PART OF A REQUIRED EXIT OR IN THE PATH OF TRAVEL TO A REQUIRED EXIT MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY -
(A) A SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900 MM AND 1.1 M FROM THE FLOOR AND IS SERVING AN AREA REQUIRED TO BE ACCESSIBLE BY PART D4
(i) BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH; AND
(ii) HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE OF NOT LESS THAN 35 MM AND NOT MORE THAN 45 MM; OR
(B) A SINGLE HAND PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900 MM AND 1.2 M FROM THE FLOOR

NOTE: ACCESSIBLE PATH DOOR HARDWARE

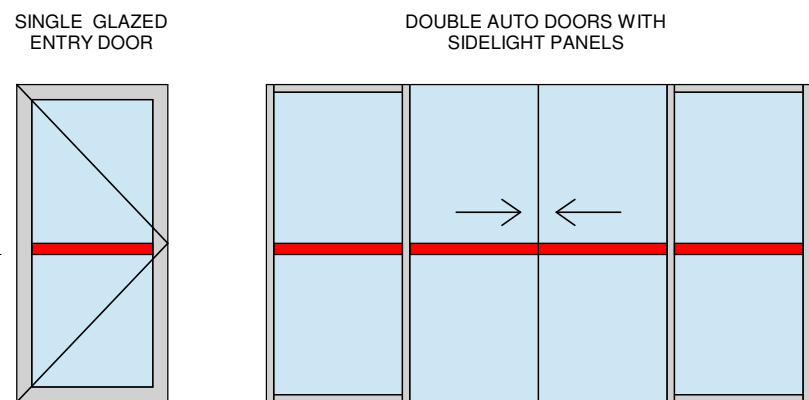
DOOR HANDLE AND RELATED HARDWARE SHALL BE OF THE TYPE THAT ALLOWS THE DOOR TO BE UNLOCKED AND OPENED WITH ONE HAND. THE HANDLE SHALL BE SUCH THAT THE HAND OF A PERSON WHO CANNOT GRIP WILL NOT SLIP FROM THE HANDLE DURING THE OPERATION OF THE LATCH.
CLEARANCE BETWEEN THE HANDLE AND BACK PLATE OR DOOR FACE AT CENTRE GRIP SECTION OF HANDLE SHALL BE BETWEEN 35 - 45mm
D TYPE HANDLES SHALL BE PROVIDED ON SLIDING DOORS.
WHERE SNIBS ARE INSTALLED, THEY SHALL HAVE A LEVER HANDLE LENGTH MIN. 45mm FROM CENTRE OF THE SPINDLE.
DOORS FITTED WITH CLOSERS ARE TO COMPLY WITH THESE FORCES
- INITIAL DOOR OPENING ...20 N
- SWING OR SLIDE DOOR ...20 N
- HOLD DOOR OPEN BETWEEN 60° - 90° ...20N
WHERE AN OUTWARD OPENING DOOR DOES NOT HAVE A DOOR CLOSER, A HORIZONTAL HANDRAIL OR PULL BAR SHALL BE FIxed ON THE CLOSING FACE OF A SIDE-HUNG DOOR.



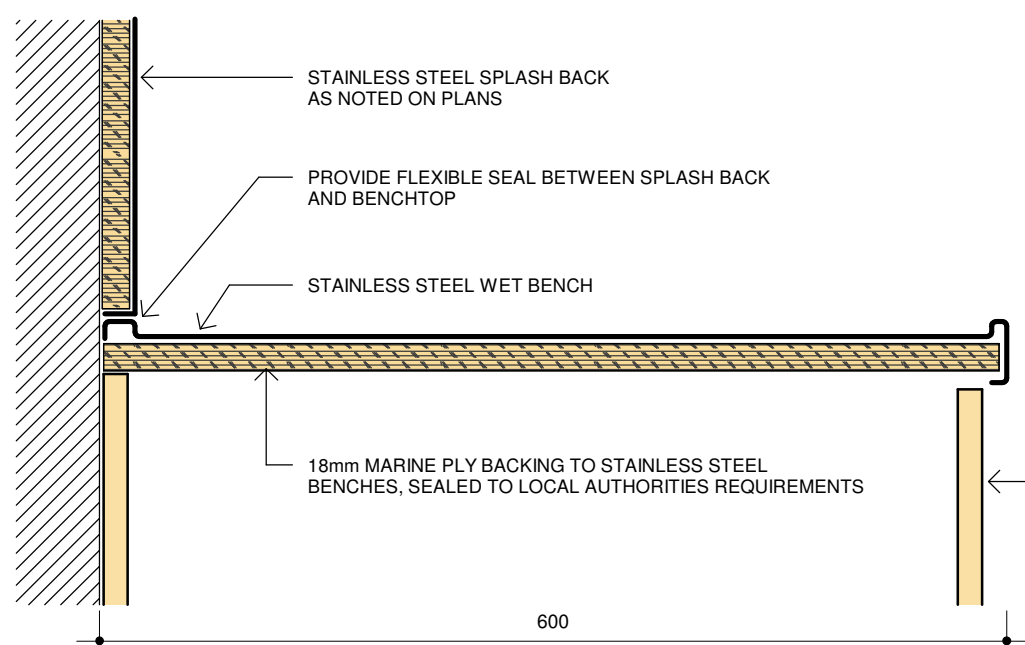
ACCESSIBLE DOOR HARDWARE
1 : 10



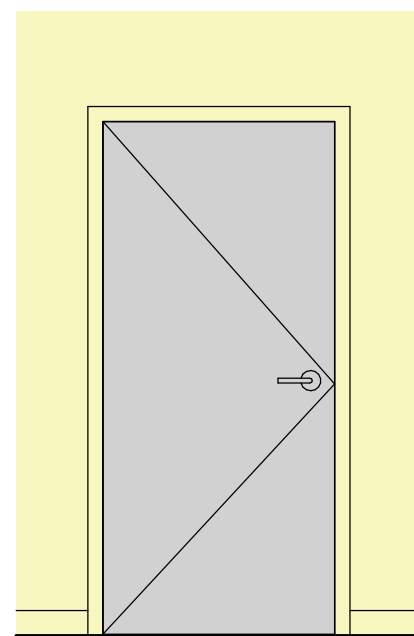
THRESHOLD RAMP
1 : 10



GLAZING BAND
1 : 10



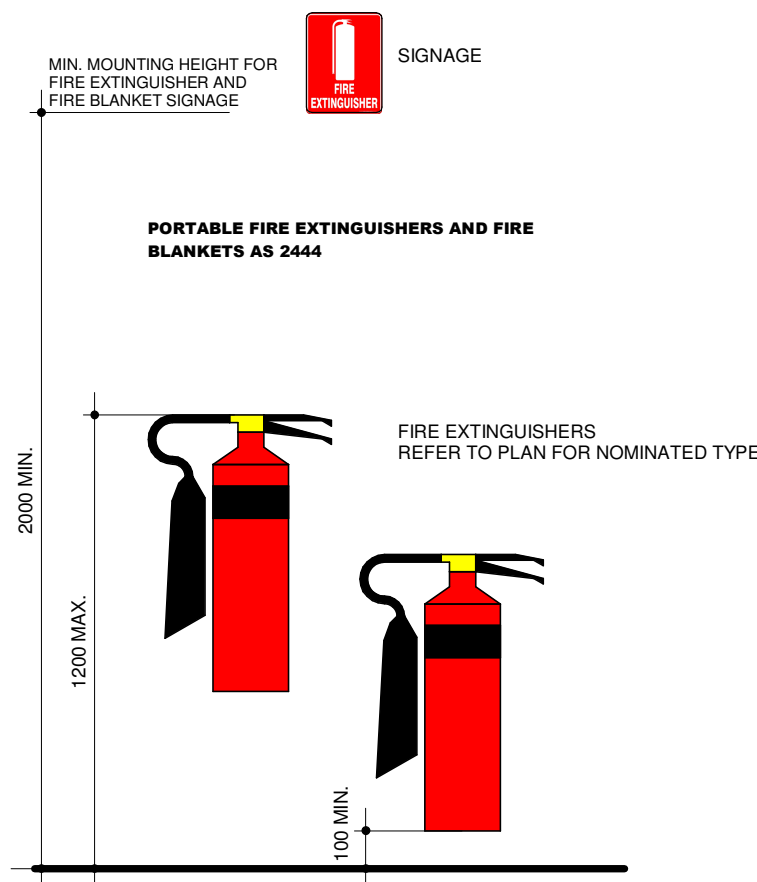
STAINLESS STEEL BENCH
1 : 5



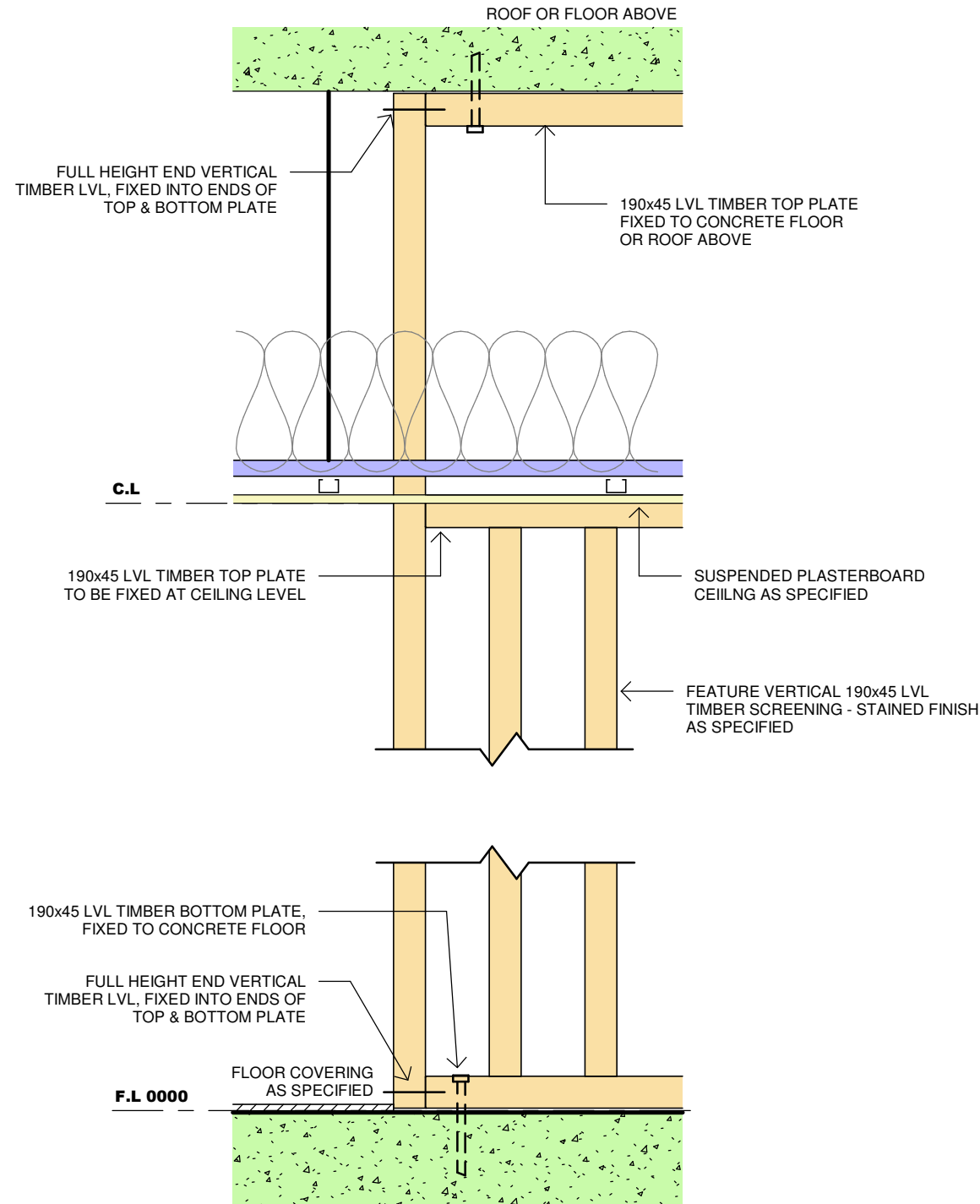
DOORWAY LUMINANCE
1 : 30



TYPICAL BRaille EXIT SIGN
1 : 10



FIRE EXTINGUISHER MOUNTING
1 : 20



VERTICAL TIMBER SCREEN
1 : 10

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DATE	REV	AMENDMENT	TYPICAL DETAILS	COLOUR USED FOR PRESENTATION ONLY	Drawn By: KYLE Checked By: EUAN	ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246	PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690	SHEET SIZE "A1" Sheet: A18 Date: 2-6-2025 Job No: 7608
			THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS. COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.	NSW:- Certified Building Designer VIC:- DP/AD 1076	Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.			

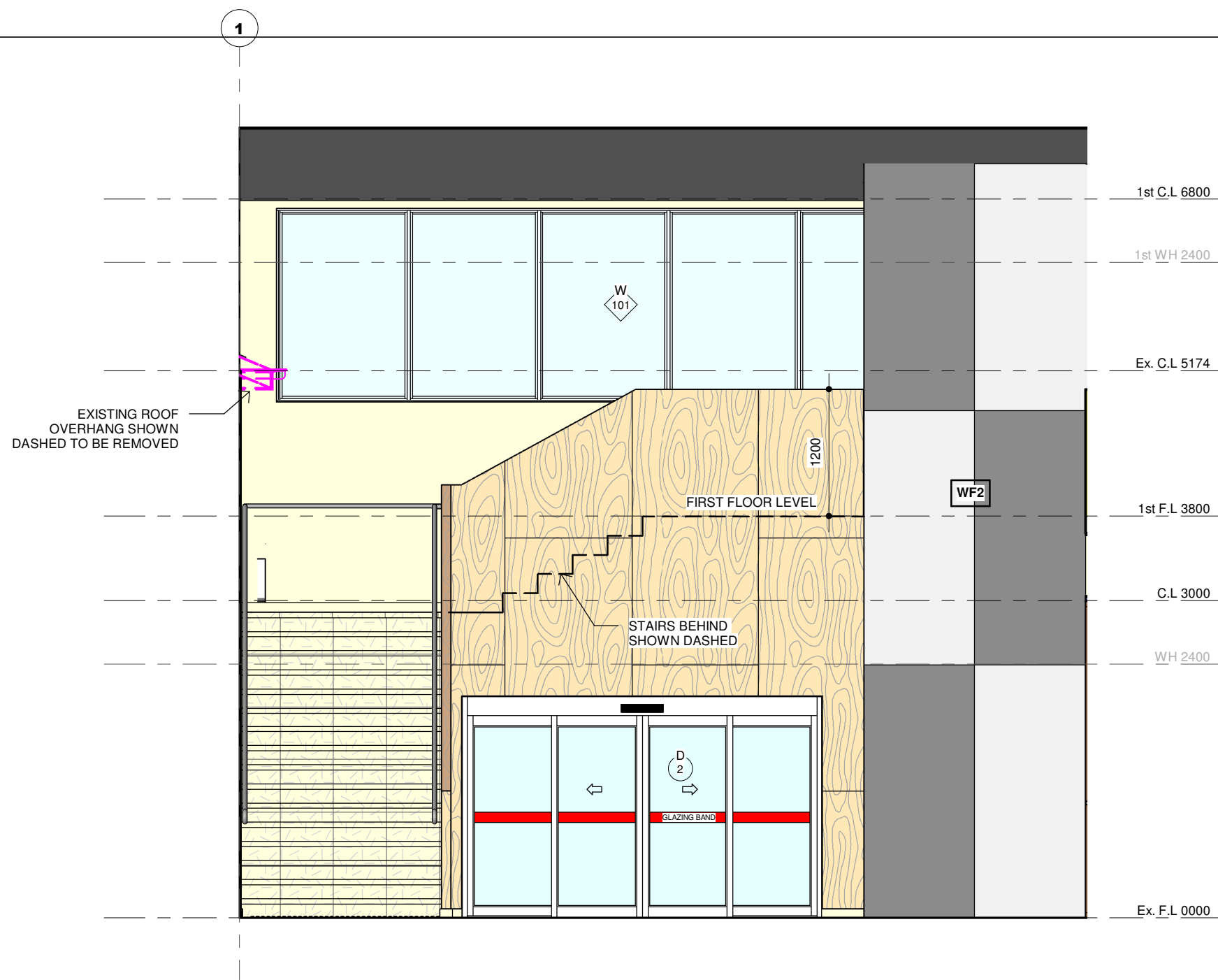
FOR TENDER

Z:- REVIT:- Revit:- Commercial7608 Victory Lutheran College - Student Services Building3 - Working Drawings2025-5-29 FOR TENDER7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/6/2025 1:18:29 PM

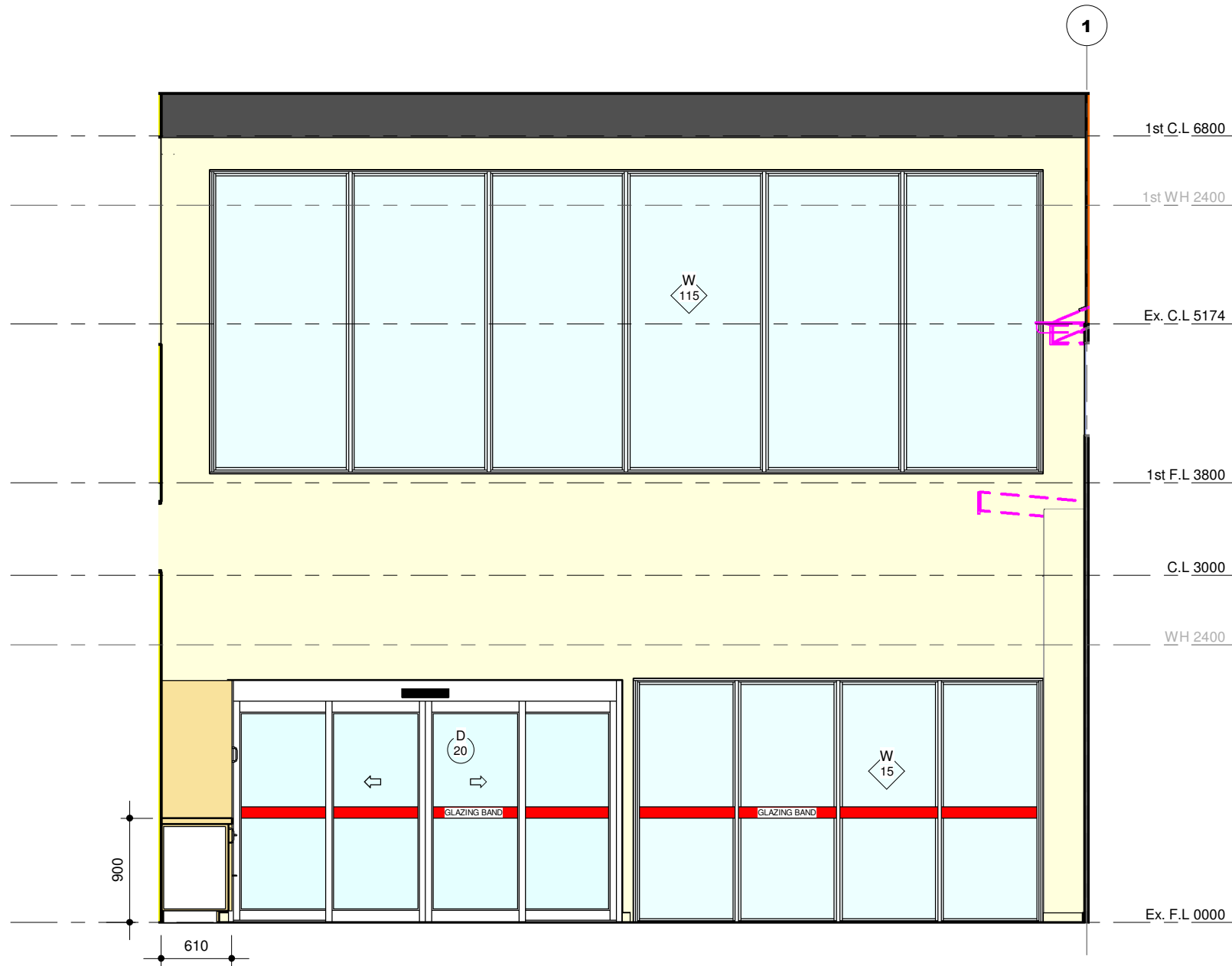


FOR TENDER

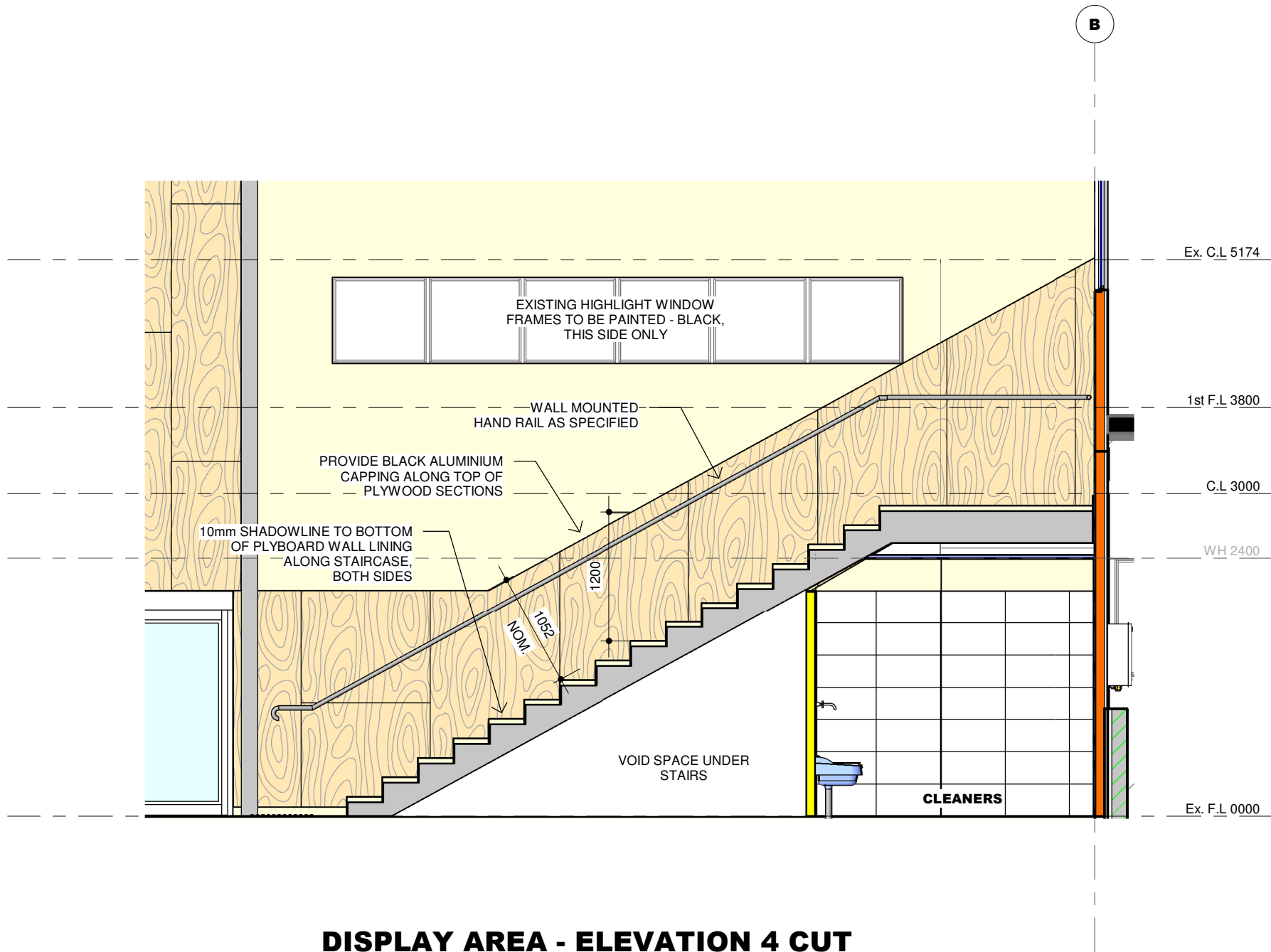
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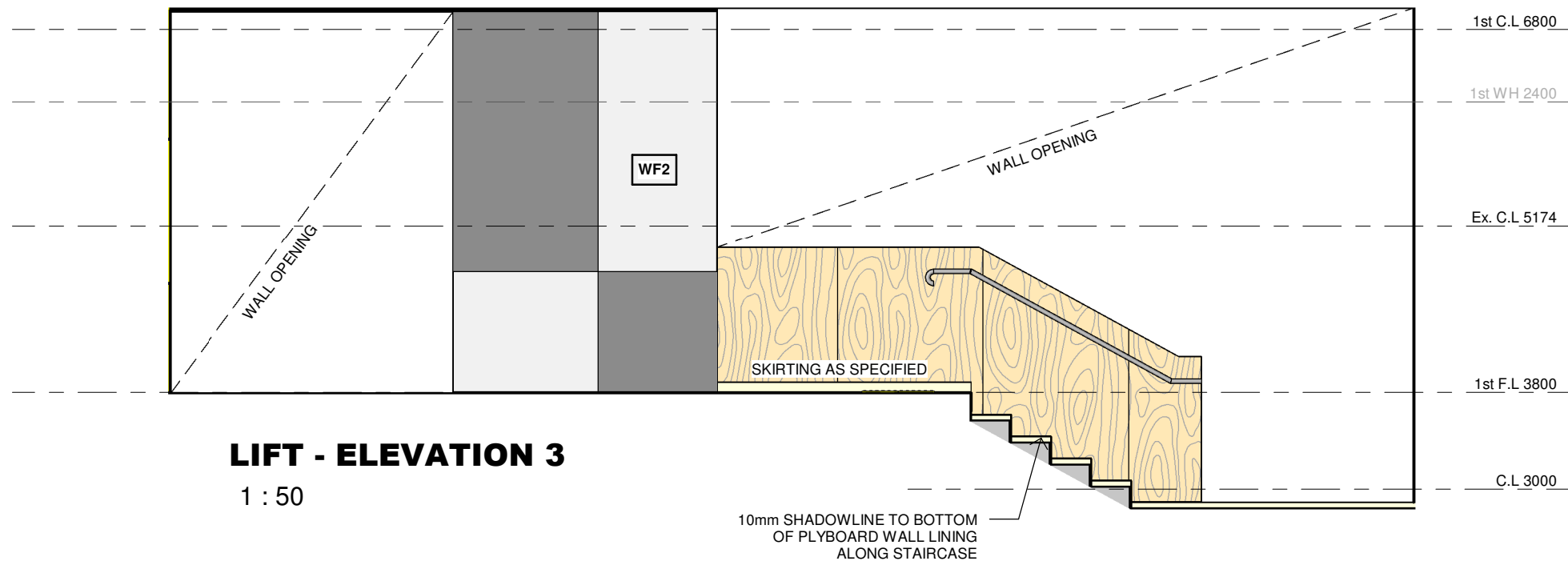
DISPLAY AREA - ELEVATION 1
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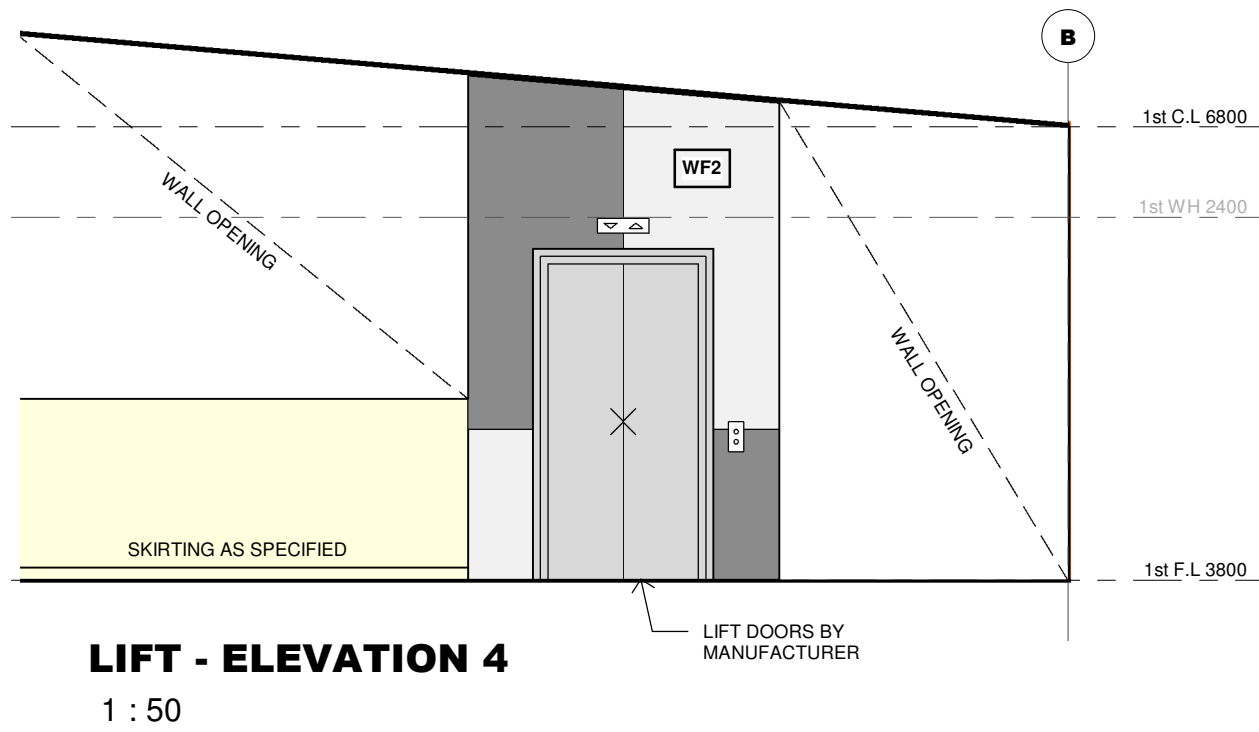
DISPLAY AREA - ELEVATION 3
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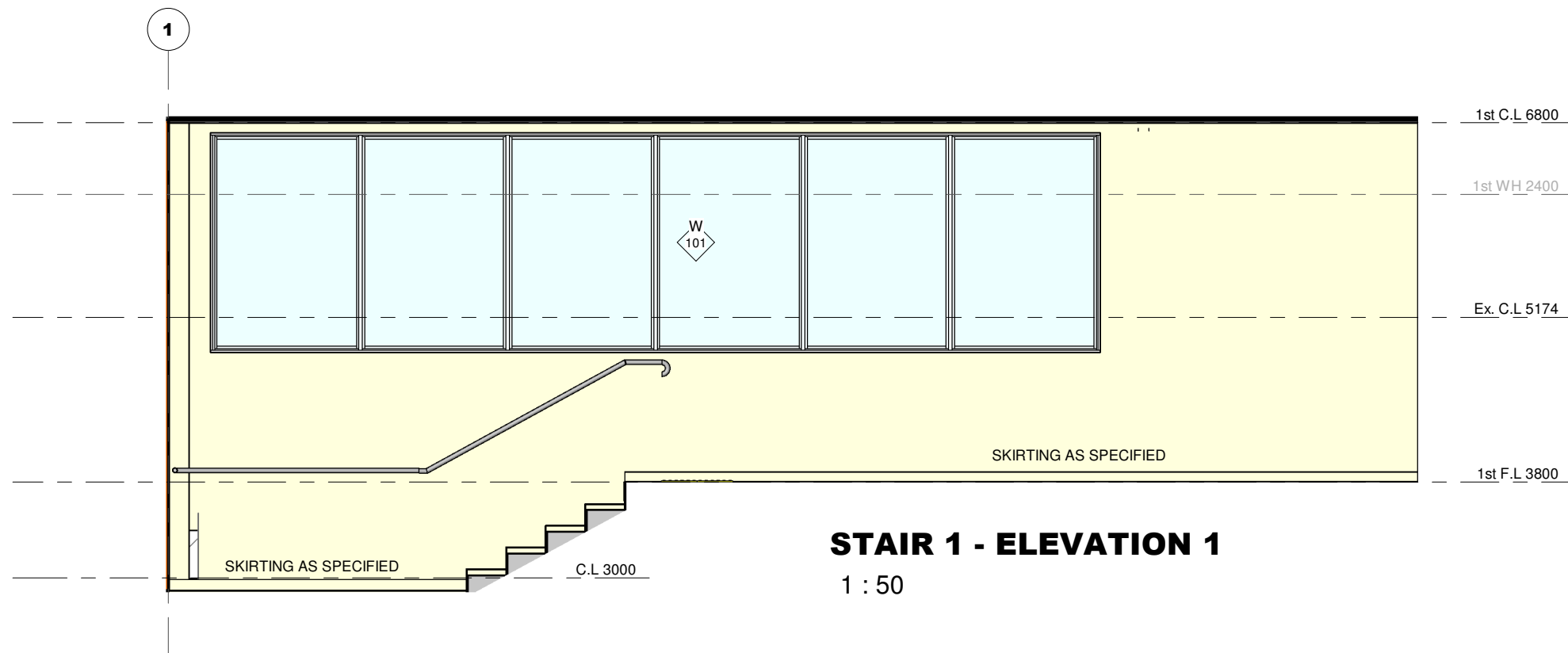
DISPLAY AREA - ELEVATION 4 CUT
1 : 50



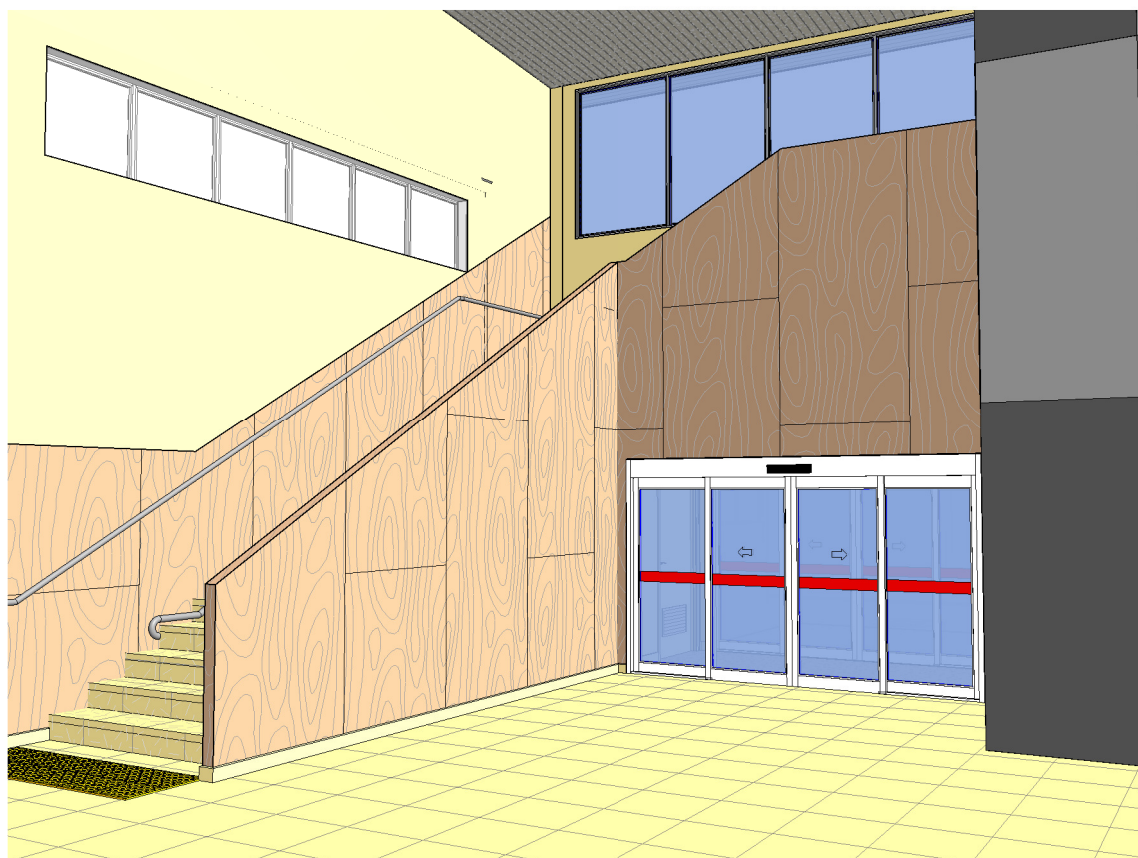
LIFT - ELEVATION 3
1 : 50



LIFT - ELEVATION 4
1 : 50



STAIR 1 - ELEVATION 1
1 : 50



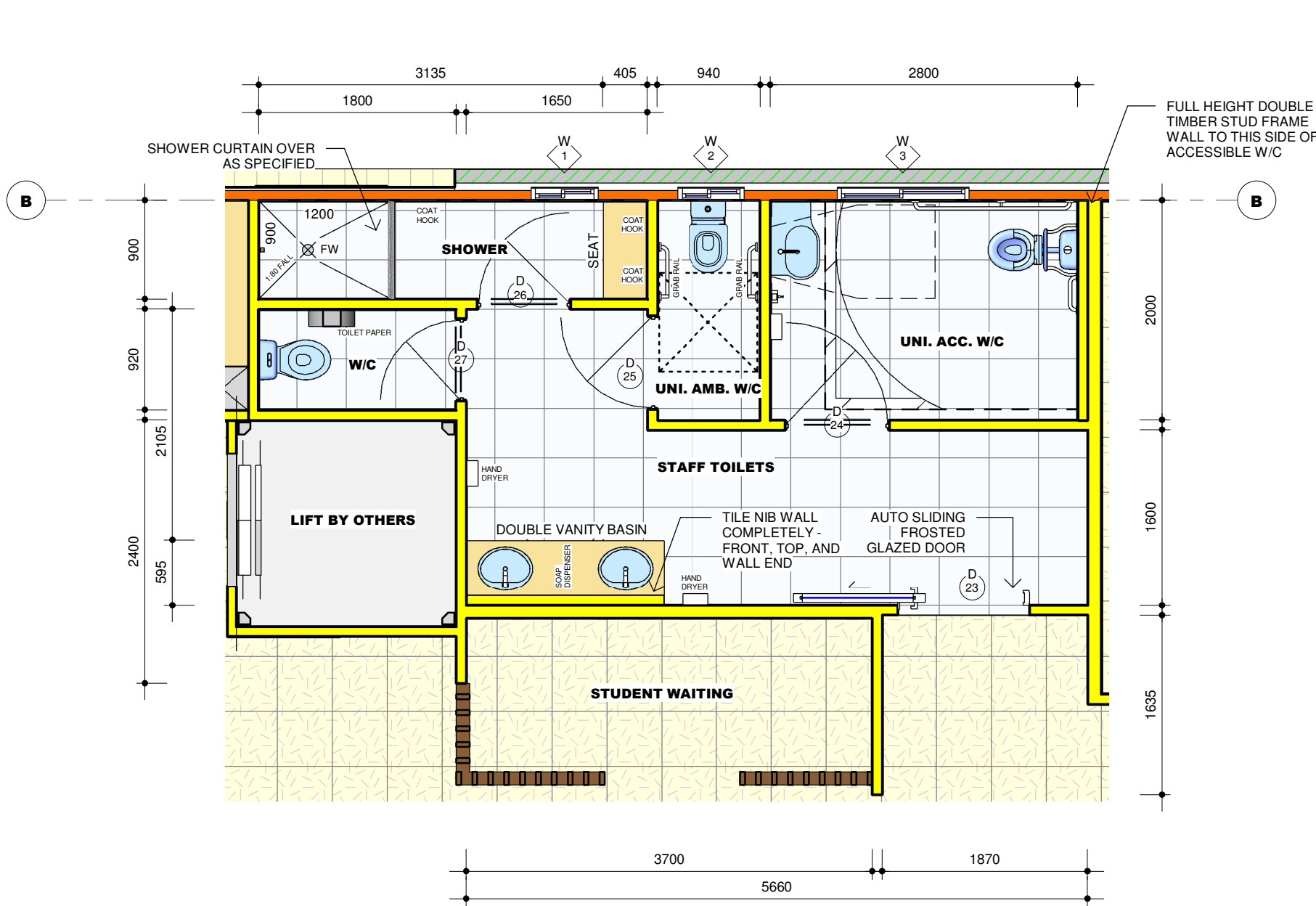
DISPLAY AREA 1



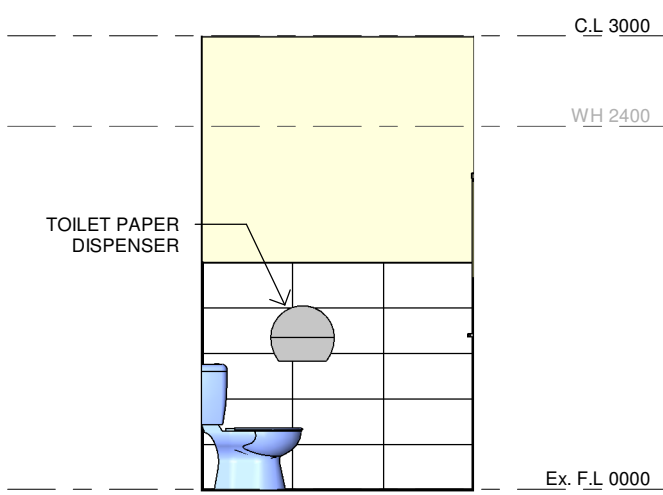
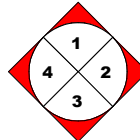
DISPLAY AREA 2



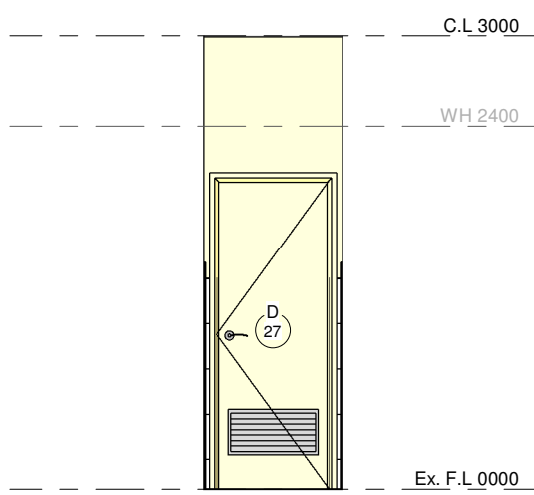
DISPLAY AREA 3



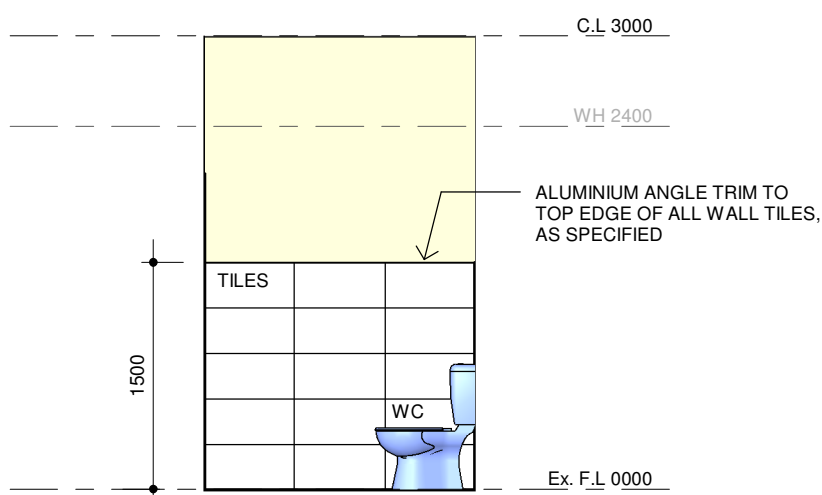
CALLOUT - STAFF TOILETS
1 : 50



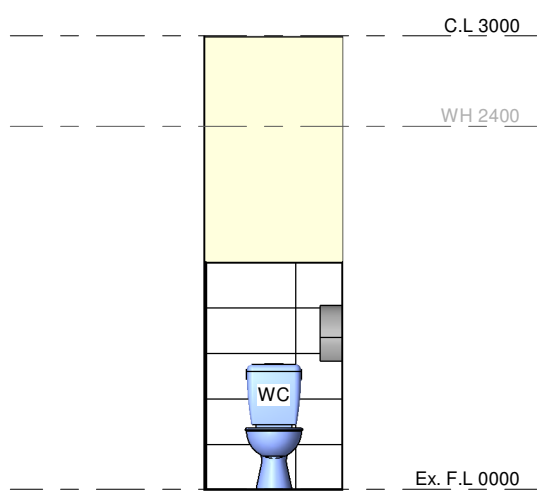
W/C - ELEVATION 1
1 : 50



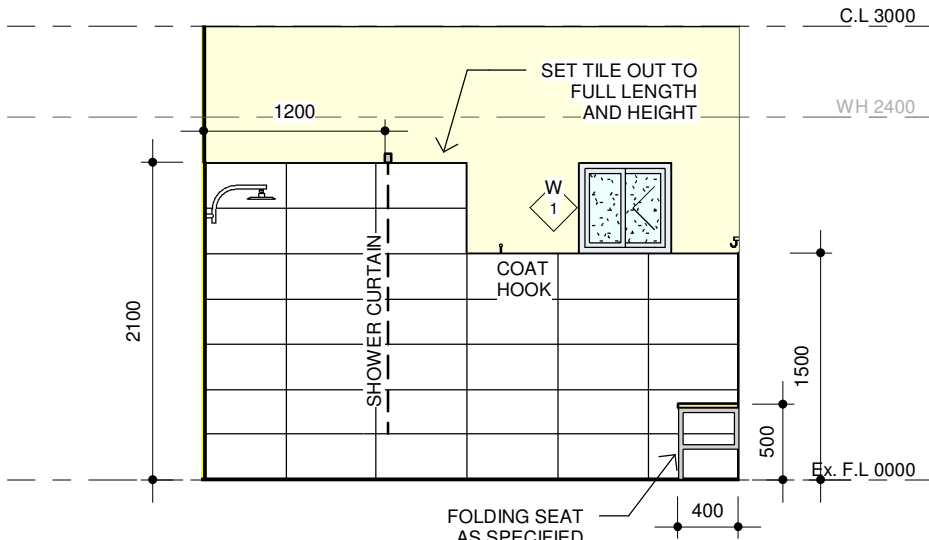
W/C - ELEVATION 2
1 : 50



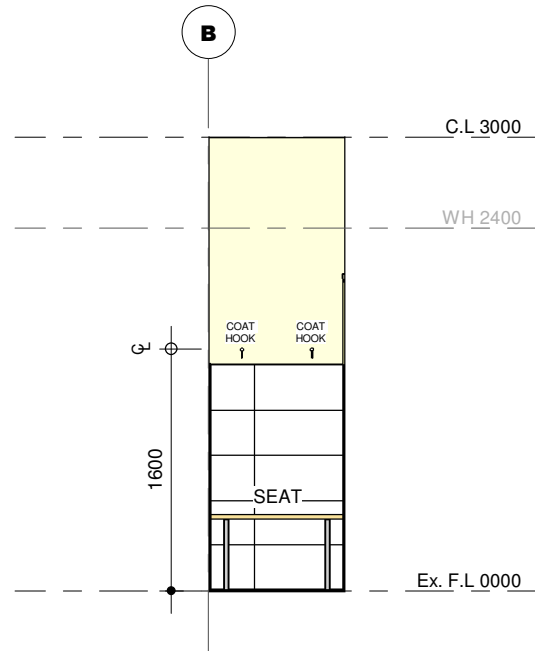
W/C - ELEVATION 3
1 : 50



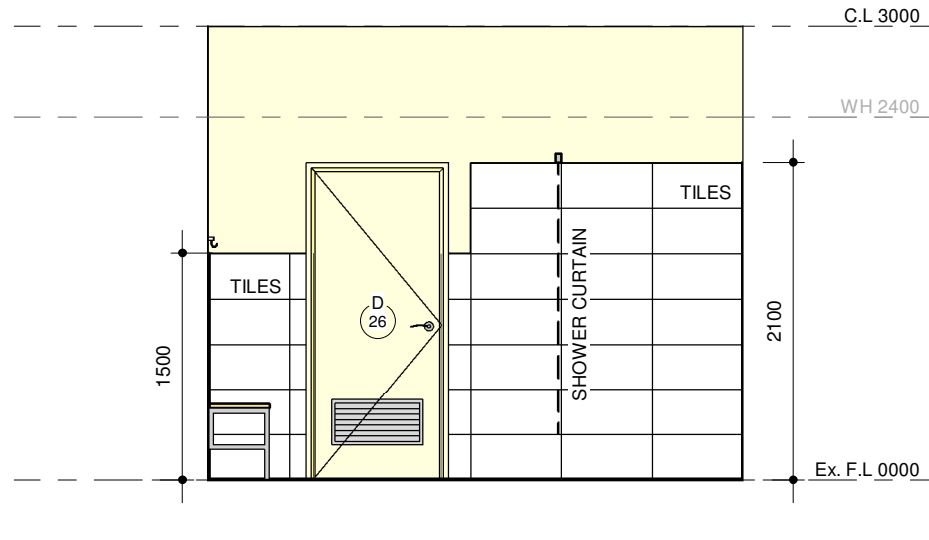
W/C - ELEVATION 4
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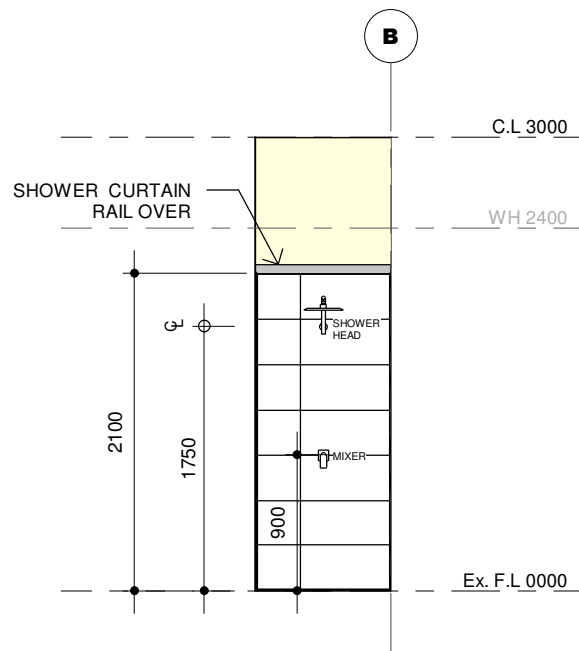
SHOWER - ELEVATION 1
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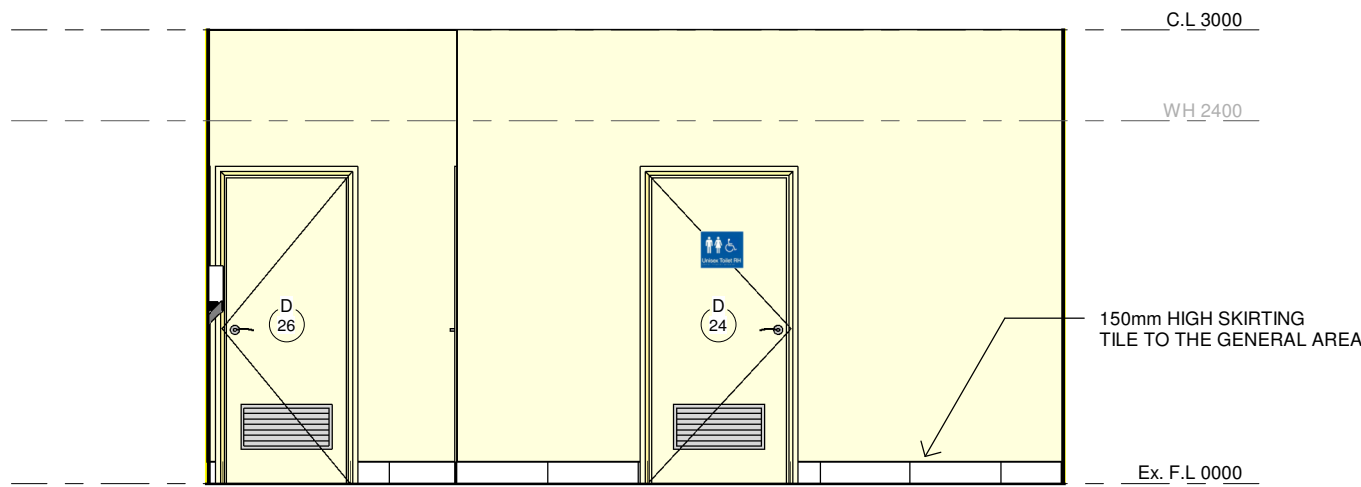
SHOWER - ELEVATION 2
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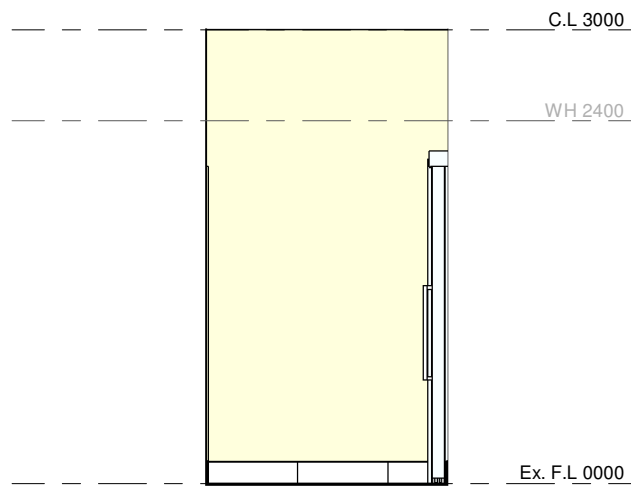
SHOWER - ELEVATION 3
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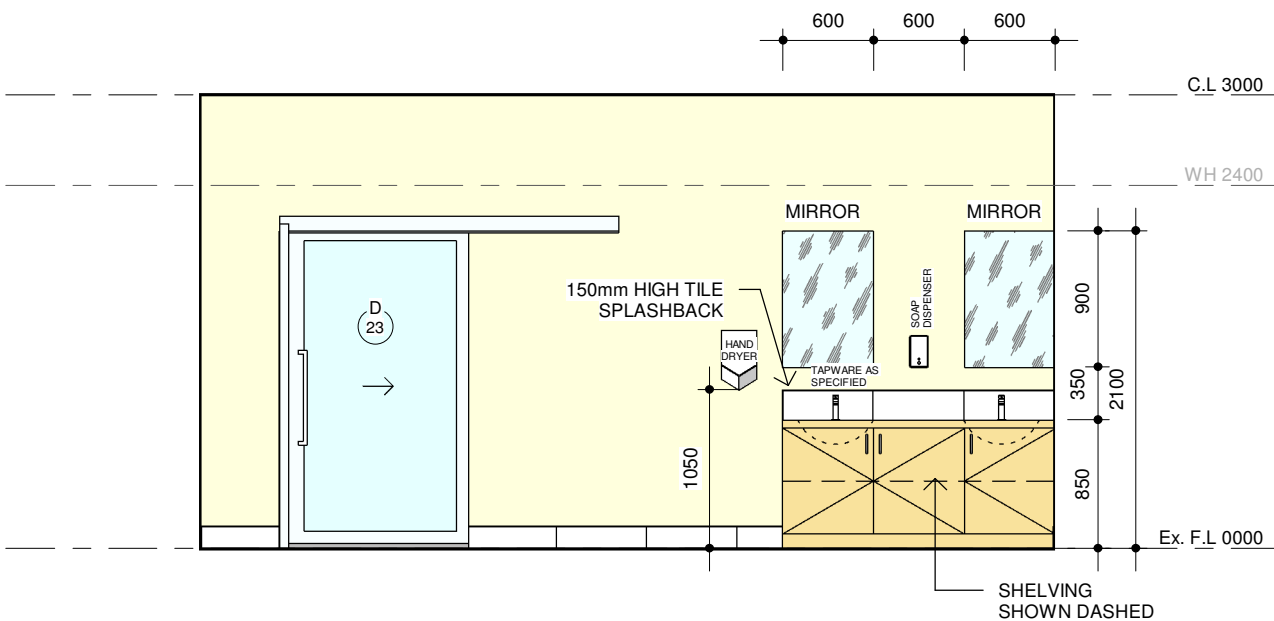
SHOWER - ELEVATION 4
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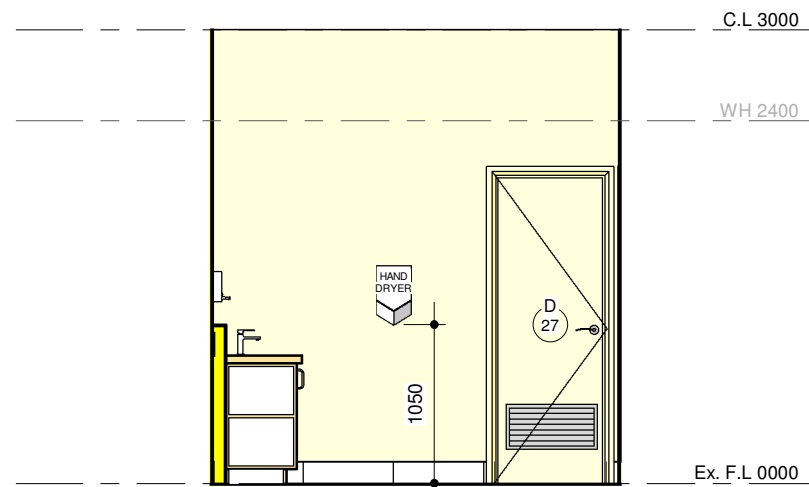
STAFF TOILETS - ELEVATION 1
1 : 50



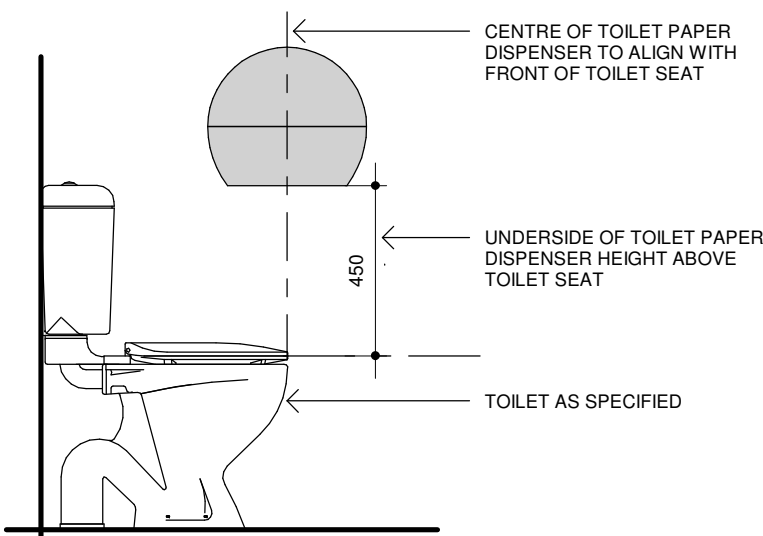
STAFF TOILETS - ELEVATION 2
1 : 50



STAFF TOILETS - ELEVATION 3
1 : 50



STAFF TOILETS - ELEVATION 4
1 : 50



TOILET PAPER DISPENSER
1 : 20

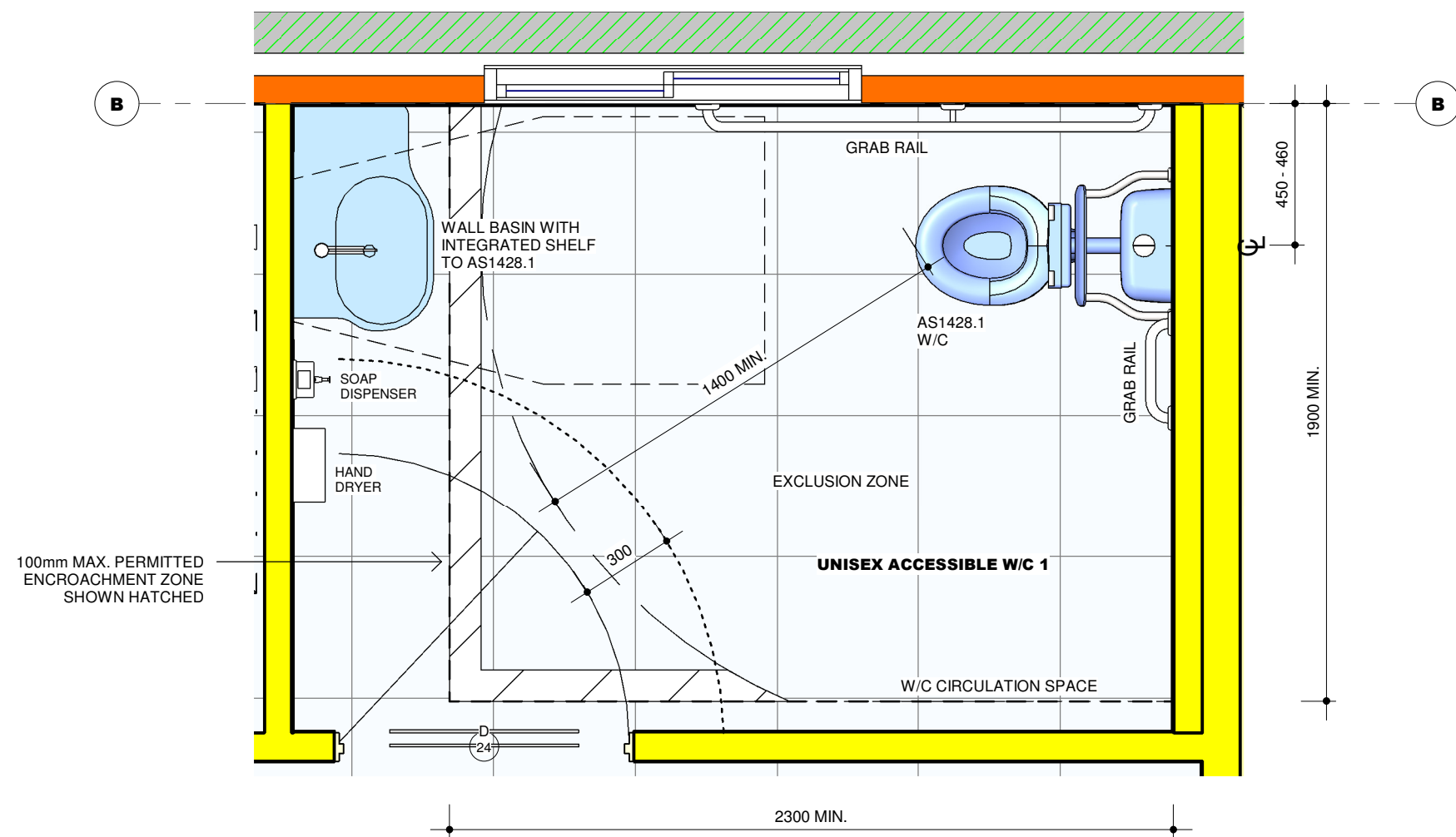
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			NSW: Certified Building Designer VIC: DP/AD 1076	Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.				

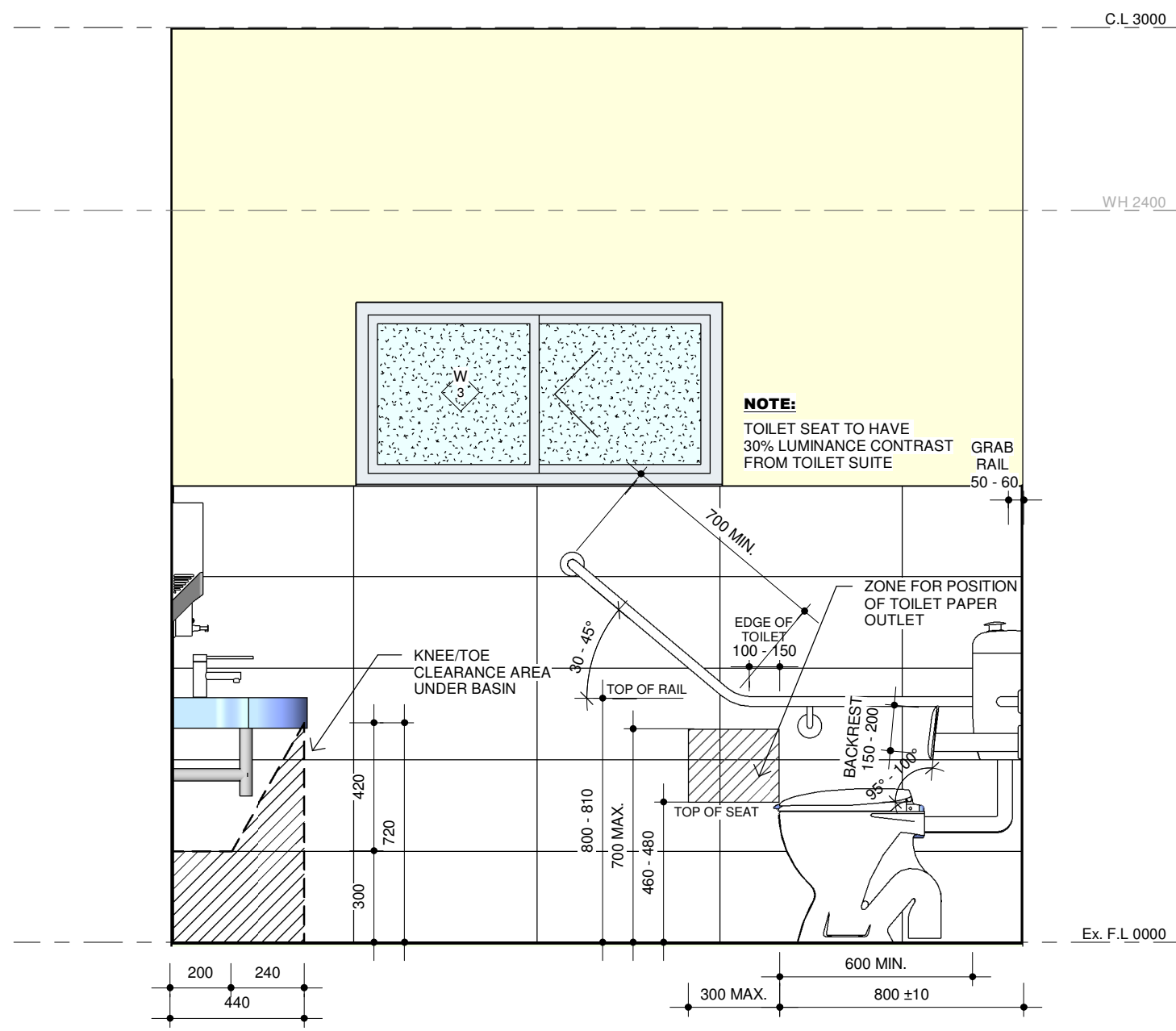
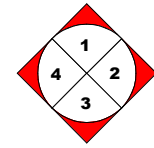
FOR TENDER

Z:\REVIT\Revit- Commercial\7608 Victory Lutheran College - Student Services Building\3 - Working Drawings\2025-5-29 FOR TENDER\7608 VLC Student Services Building - WD - FOR TENDER.rvt 3/06/2025 1:18:47 PM

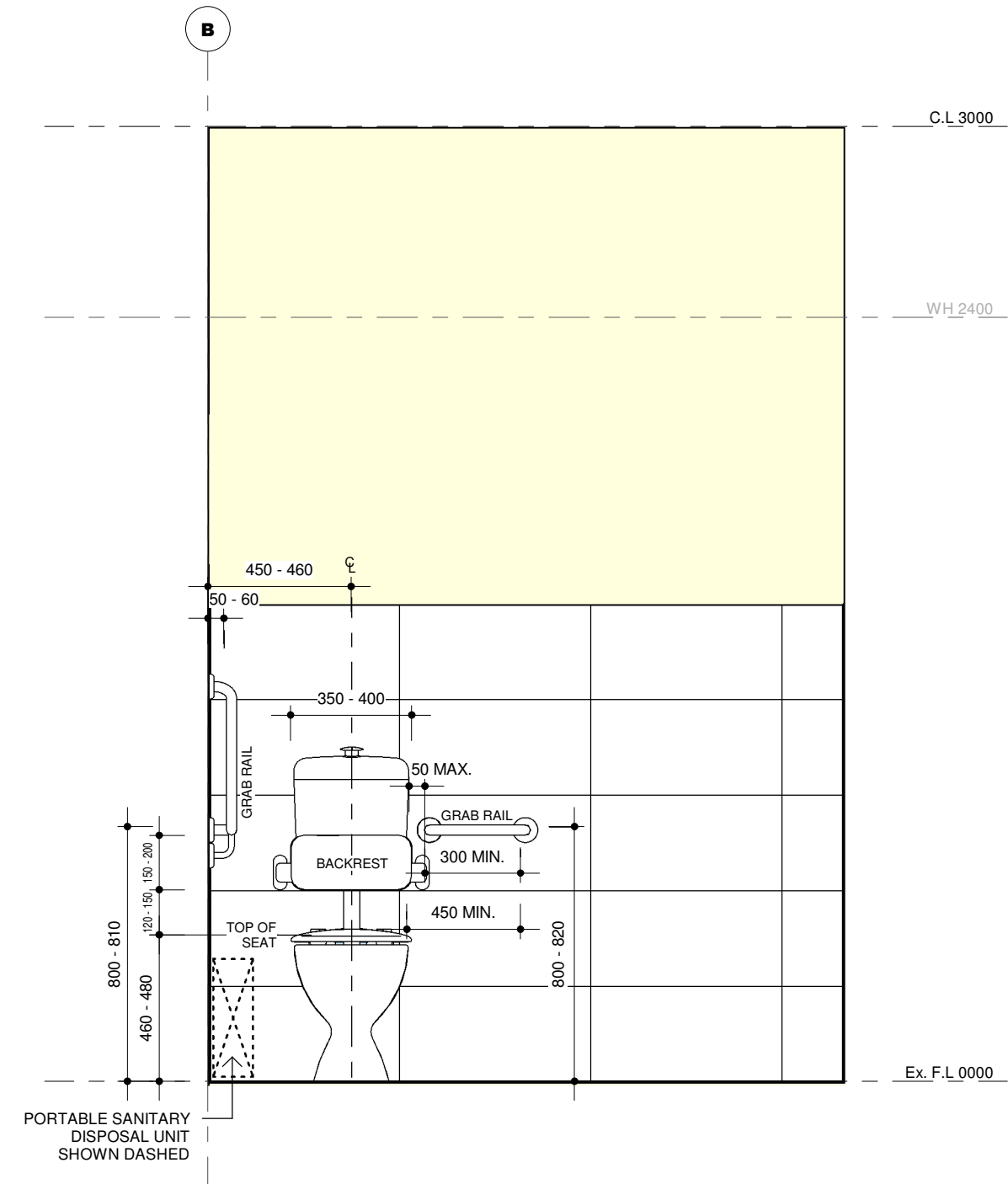
ADDITIONAL FITTINGS & FIXTURES MAY ENCROACH INTO THE W/C PAN CIRCULATION SPACE UP TO A MAX. 150mm BUT SHALL PROVIDE A MIN. 800mm CLEARANCE BELOW.
FITTINGS INCLUDE:
- HAND DRYERS AND TOWEL DISPENSERS
- SOAP DISPENSERS
- SHelves
- WALL CABINETS
- CLOTHES HANGING DEVICES
- OTHER WALL MOUNTED FIXTURES EG. SHARPS DISPOSAL UNITS



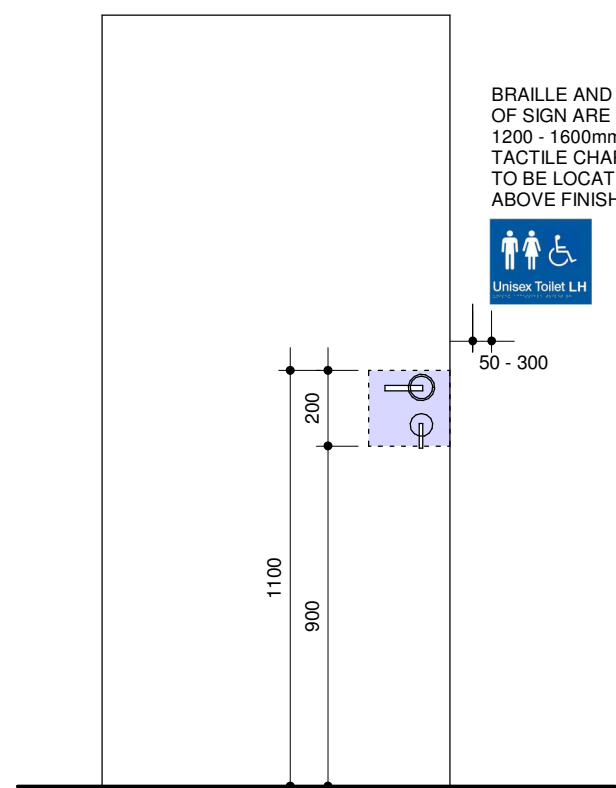
CALLOUT- UNISEX ACCESSIBLE W/C 1
1 : 20



UNI. ACC. W/C 1 - ELEVATION 1
1 : 20



UNI. ACC. W/C 1 - ELEVATION 2
1 : 20



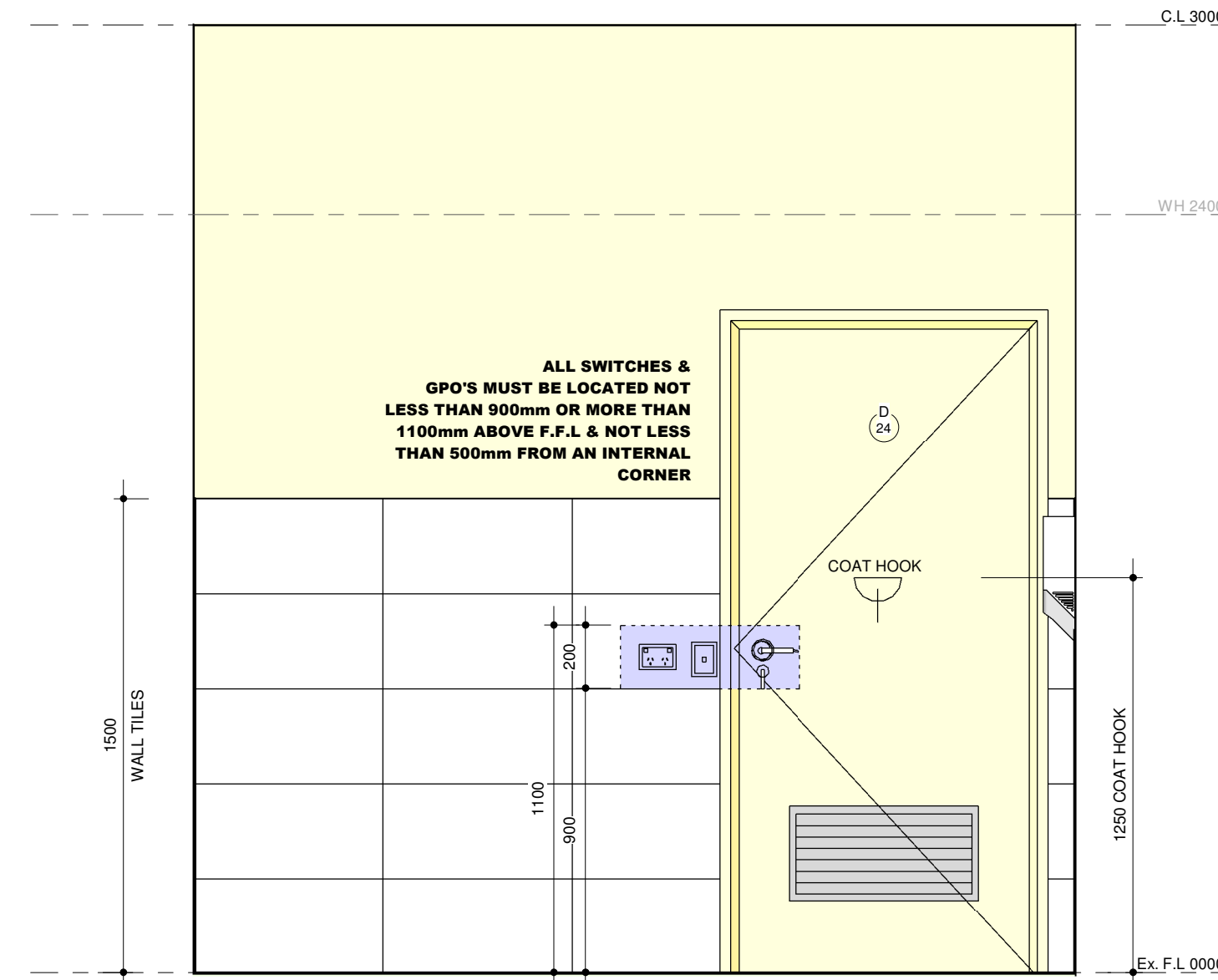
DOOR ELEVATION - EXTERNAL
1 : 20

BRILLE AND TACTILE COMPONENTS OF SIGN ARE TO BE LOCATED BETWEEN 1200 - 1600mm ABOVE FINISHED FLOOR SURFACE
TACTILE CHARACTERS OF SINGLE LINE TEXT ARE TO BE LOCATED BETWEEN 1250 - 1350mm ABOVE FINISHED FLOOR SURFACE

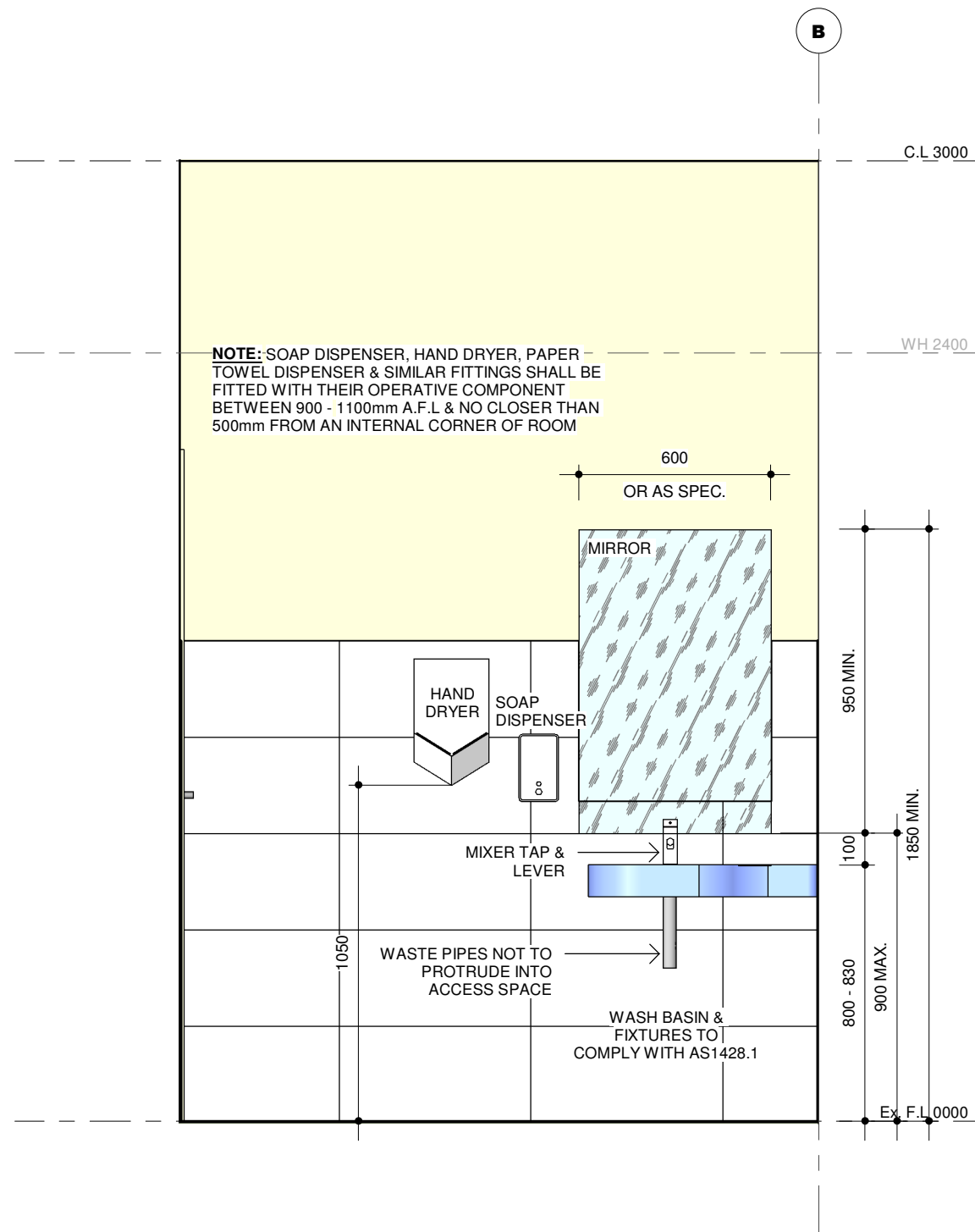


DOOR NOTE:
- DOOR SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH. WHERE A SNIB IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45mm FROM THE CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.
- DOOR CONTROLS TO BE LOCATED NOT LESS THAN 900mm OR MORE THAN 1100mm ABOVE F.F.L.

LUMINANCE CONTRAST:
ALL DOORWAYS SHALL HAVE A MIN. LUMINANCE CONTRAST OF 30% BETWEEN
- DOOR LEAF & JAMB
- DOOR LEAF & ADJACENT WALL
- ARCHITRAVE & WALL
- DOOR LEAF & ARCHITRAVE
- JAMB & ADJACENT WALL
MIN. 50mm WIDTH OF LUMINANCE CONTRAST AREA



UNI. ACC. W/C 1 - ELEVATION 3
1 : 20



UNI. ACC. W/C 1 - ELEVATION 4
1 : 20

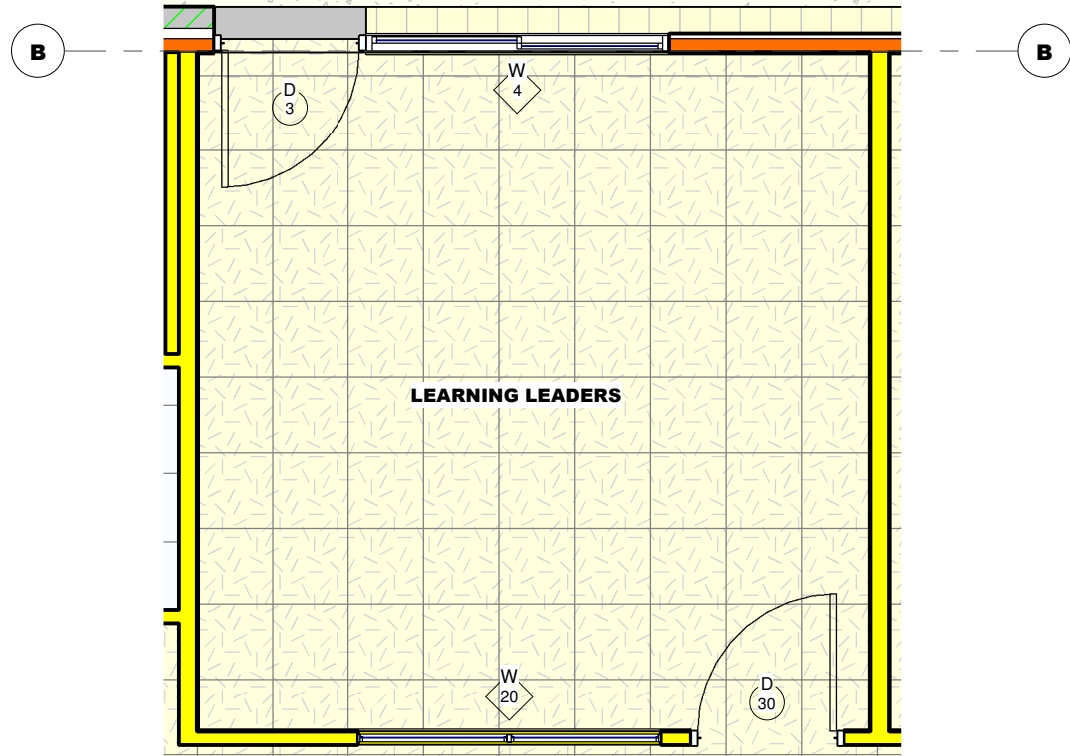
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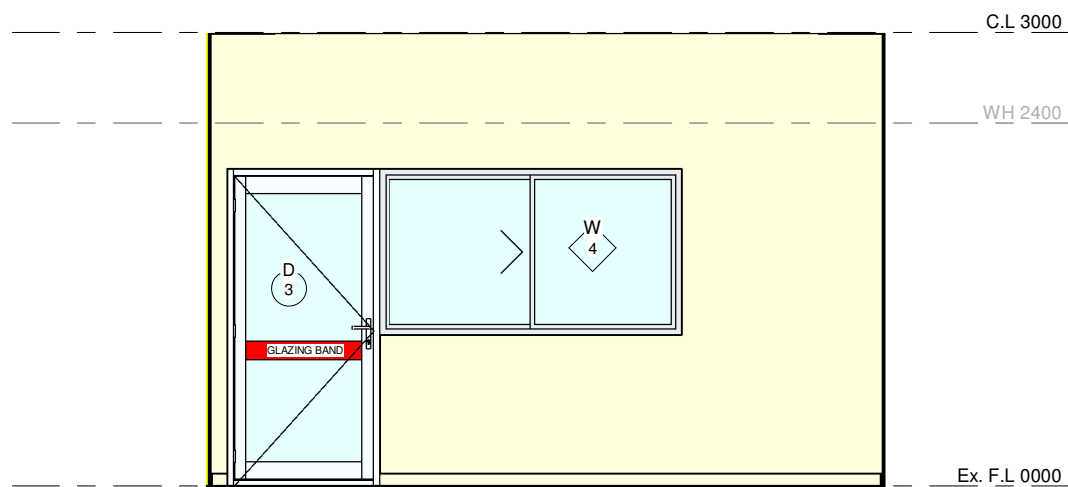
FOR TENDER

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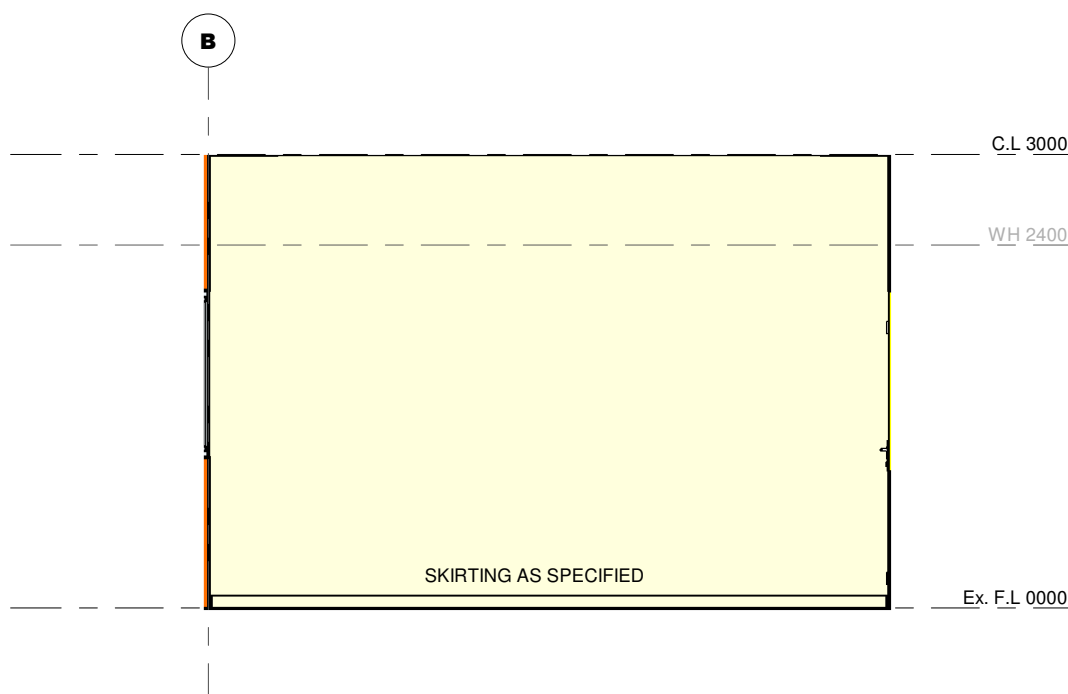
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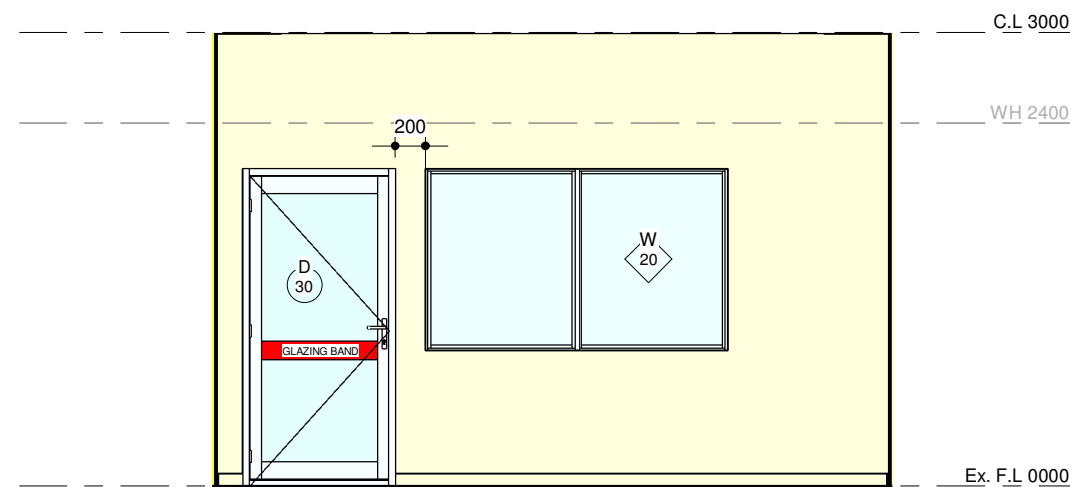
CALLOUT - LEARNING LEADERS
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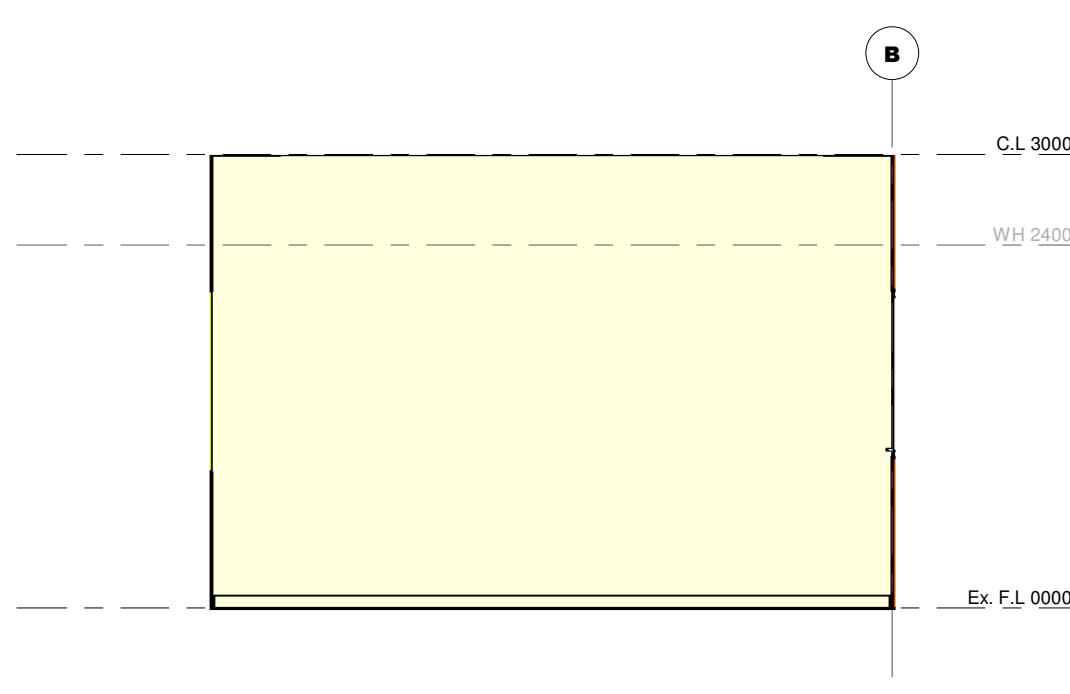
LEARNING LEADERS - ELEVATION 1
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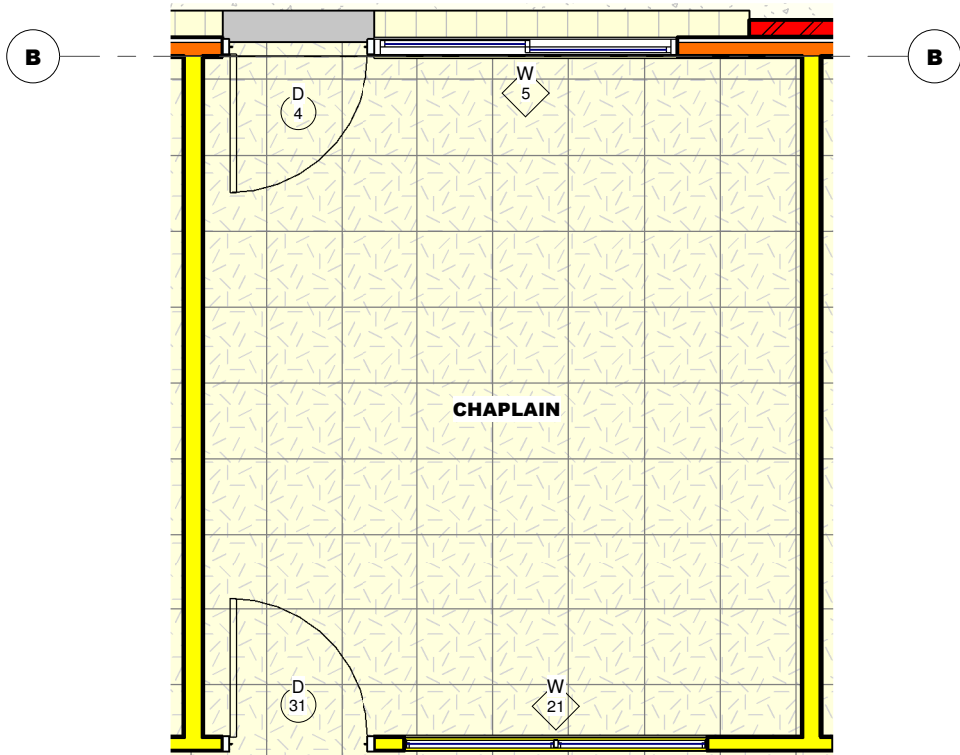
LEARNING LEADERS - ELEVATION 2
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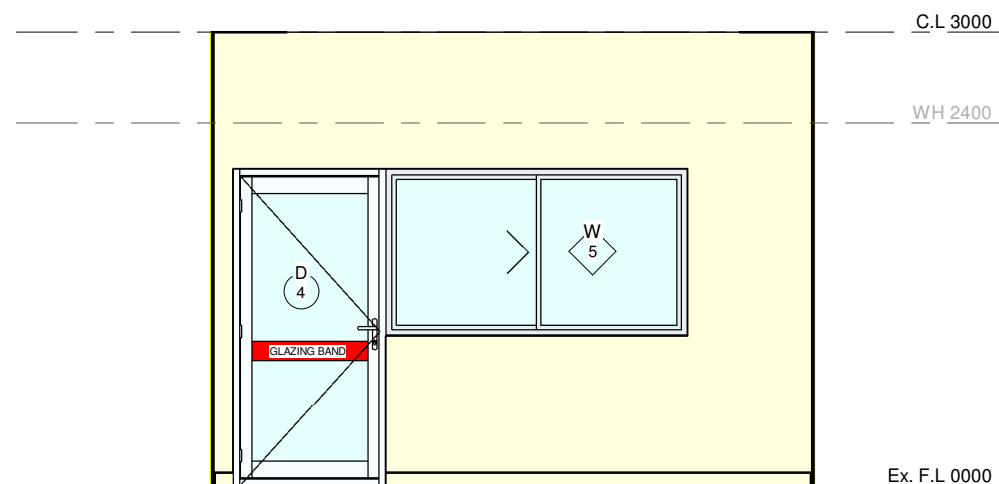
LEARNING LEADERS - ELEVATION 3
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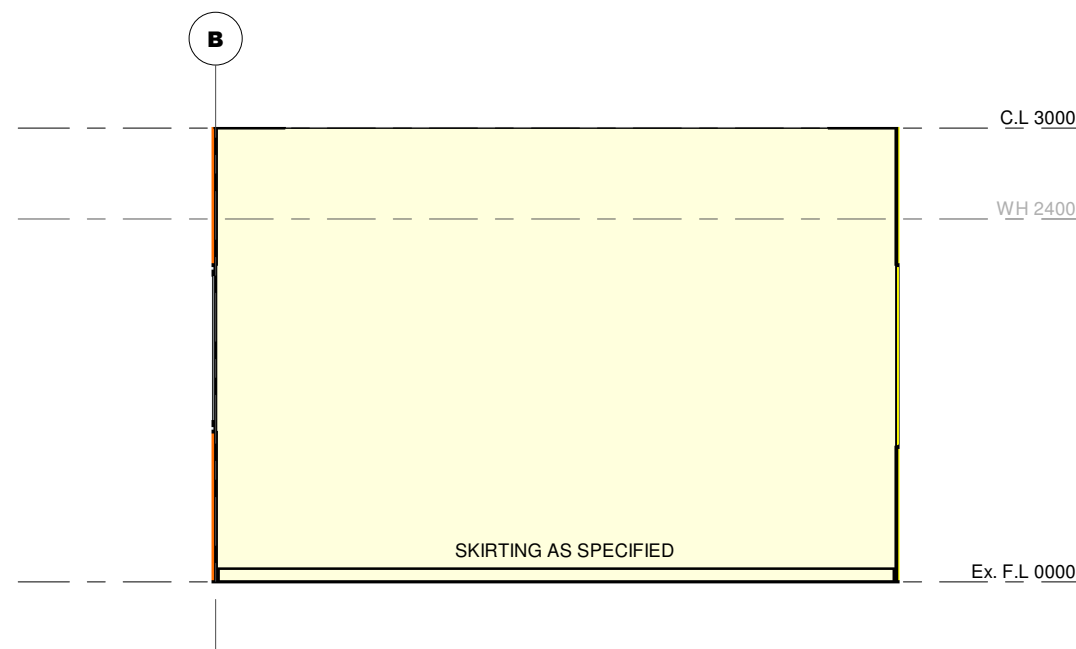
LEARNING LEADERS - ELEVATION 4
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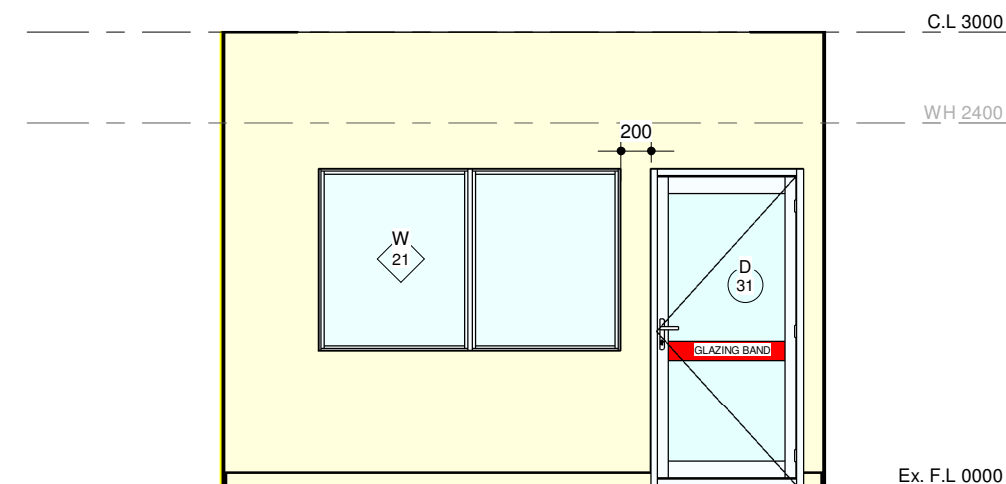
CALLOUT - CHAPLAIN
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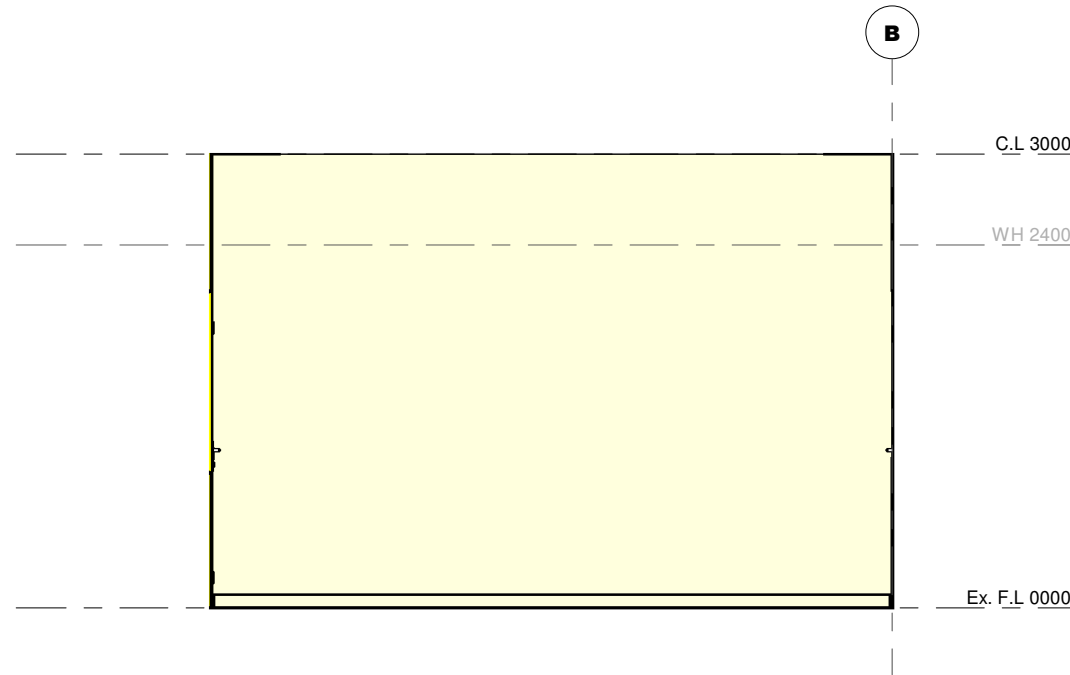
CHAPLAIN - ELEVATION 1
1 : 50



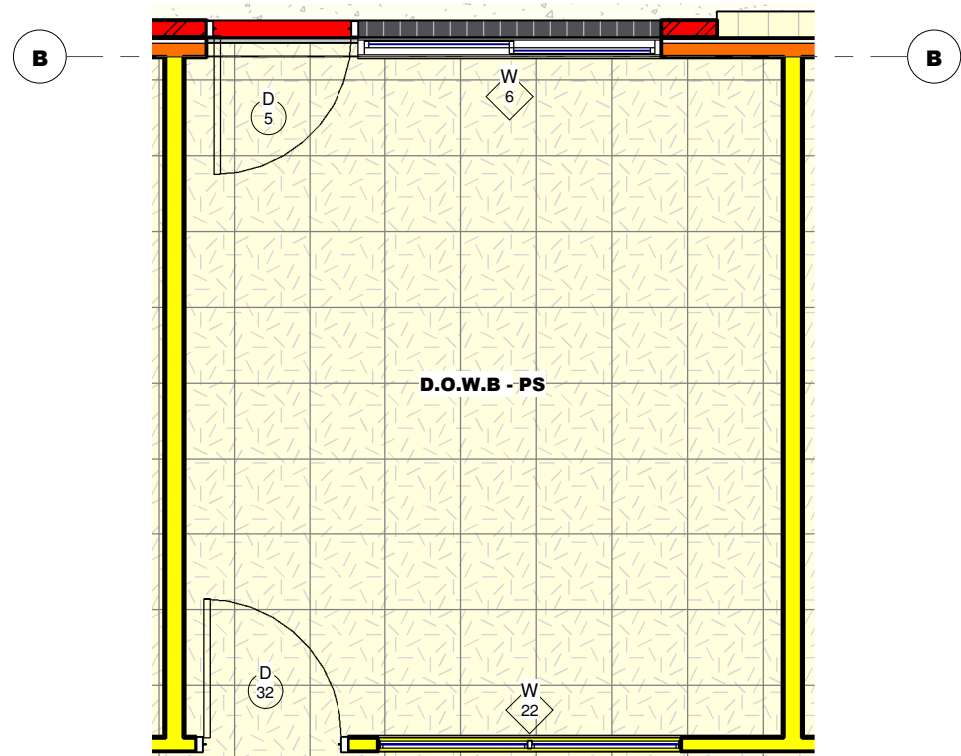
CHAPLAIN - ELEVATION 2
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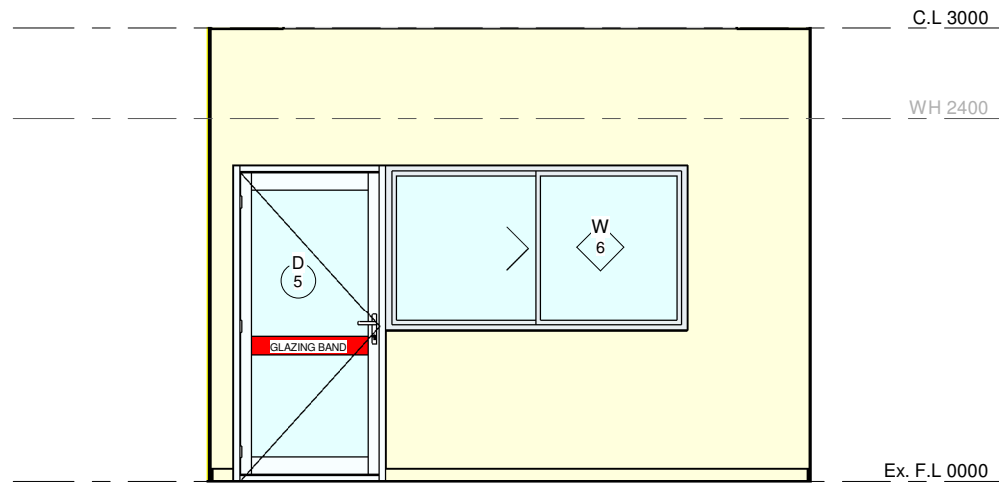
CHAPLAIN - ELEVATION 3
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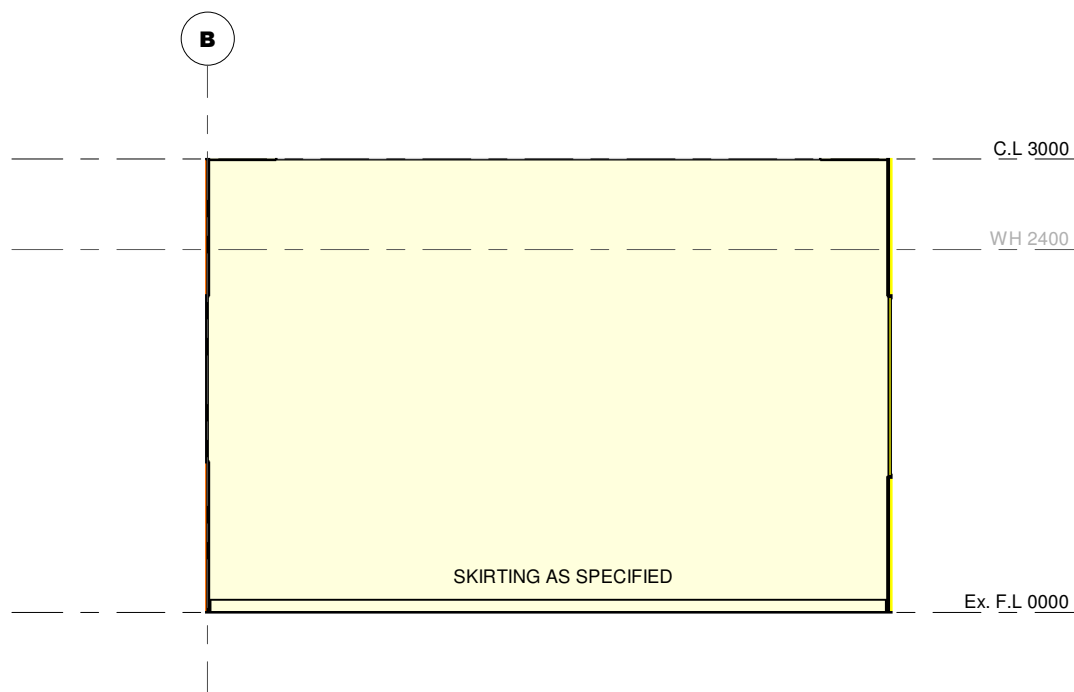
CHAPLAIN - ELEVATION 4
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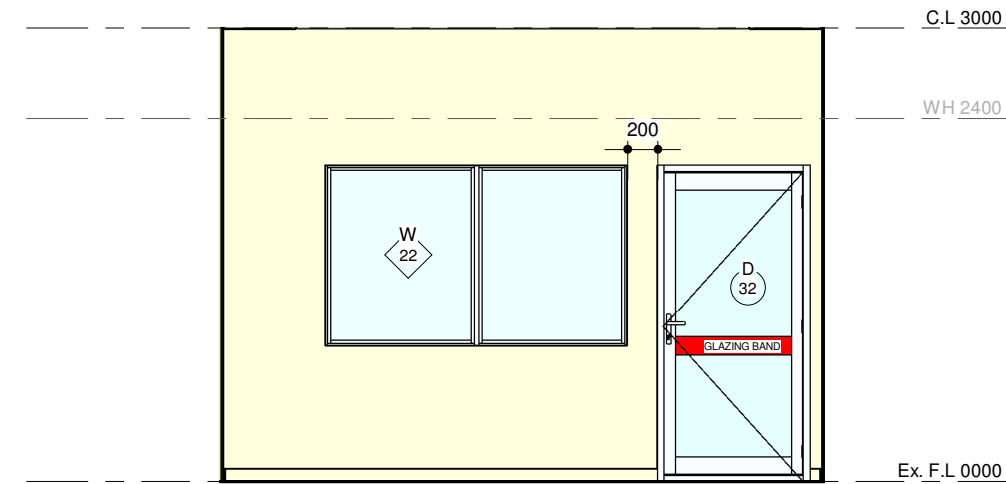
CALLOUT - D.O.W.B - PS
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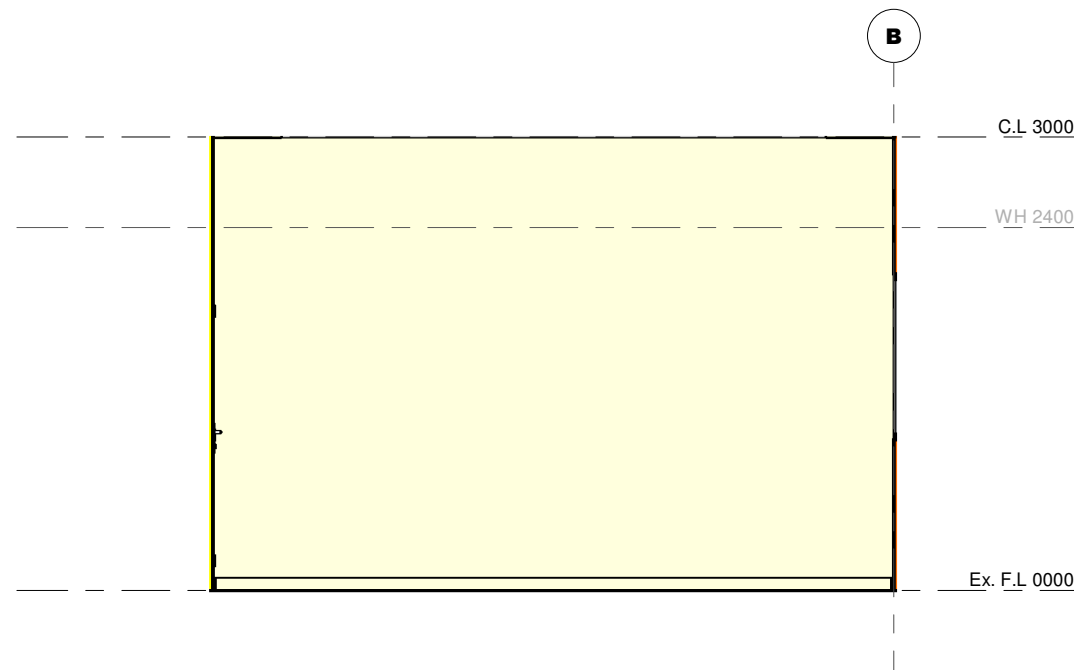
D.O.W.B - PS - ELEVATION 1
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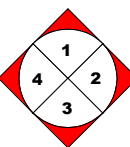
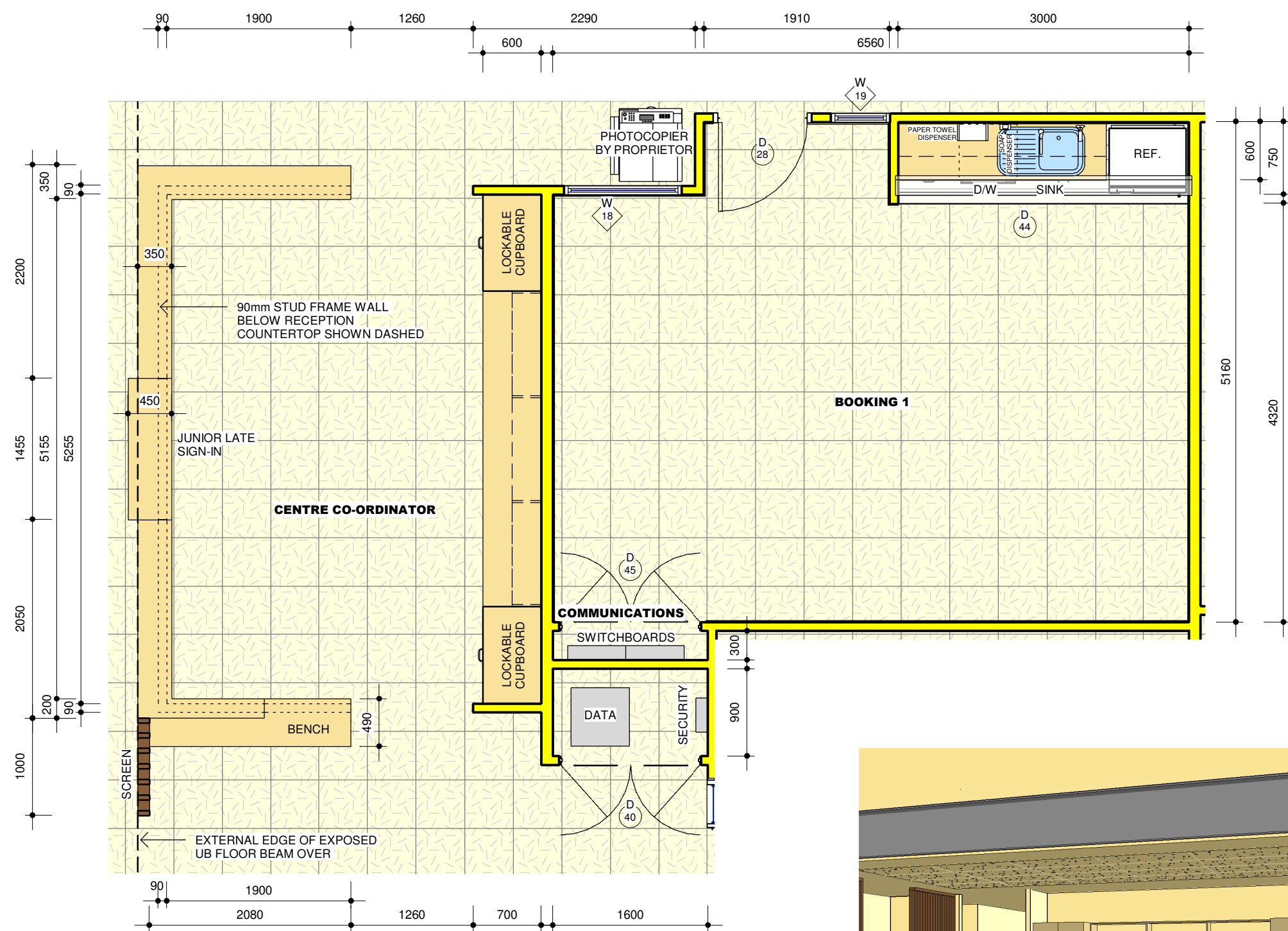
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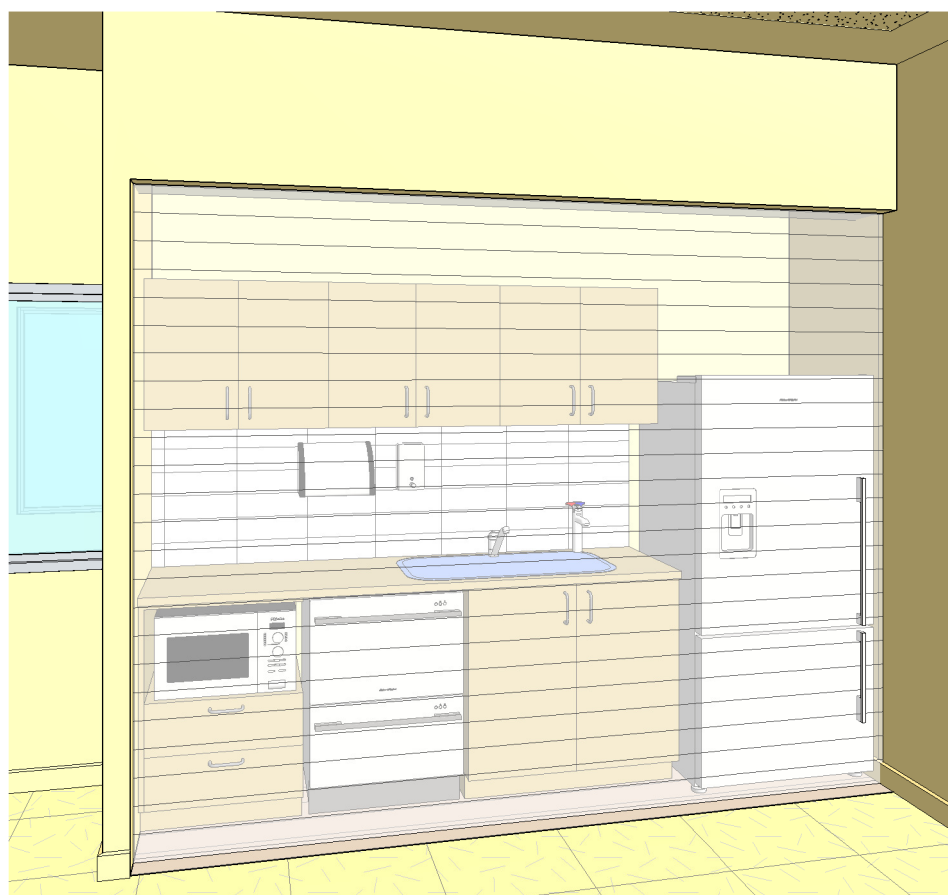
D.O.W.B - PS - ELEVATION 3
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D.O.W.B - PS - ELEVATION 4
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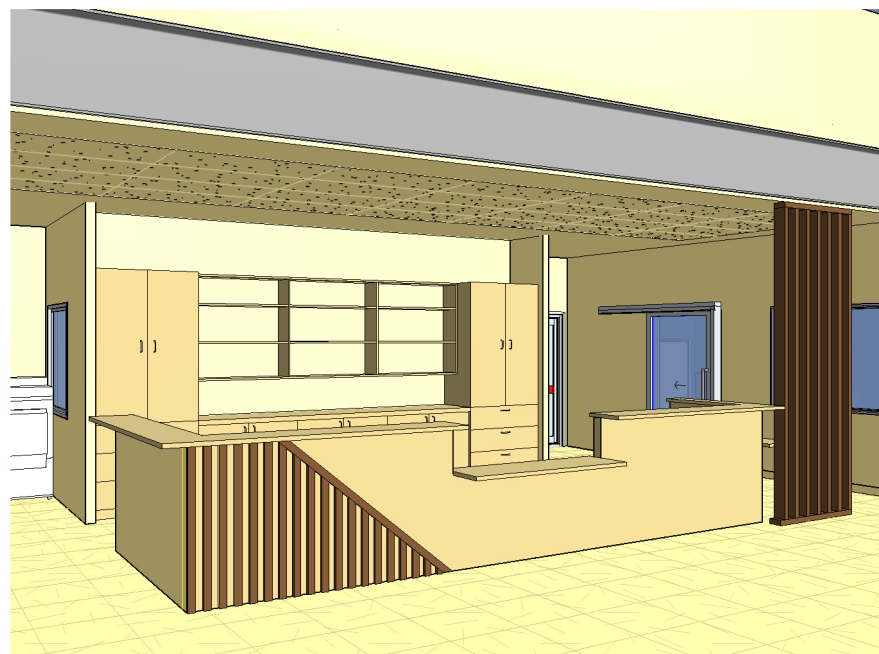
CALLOUT - BOOKING 1 & CENTRE CO-ORDINATOR
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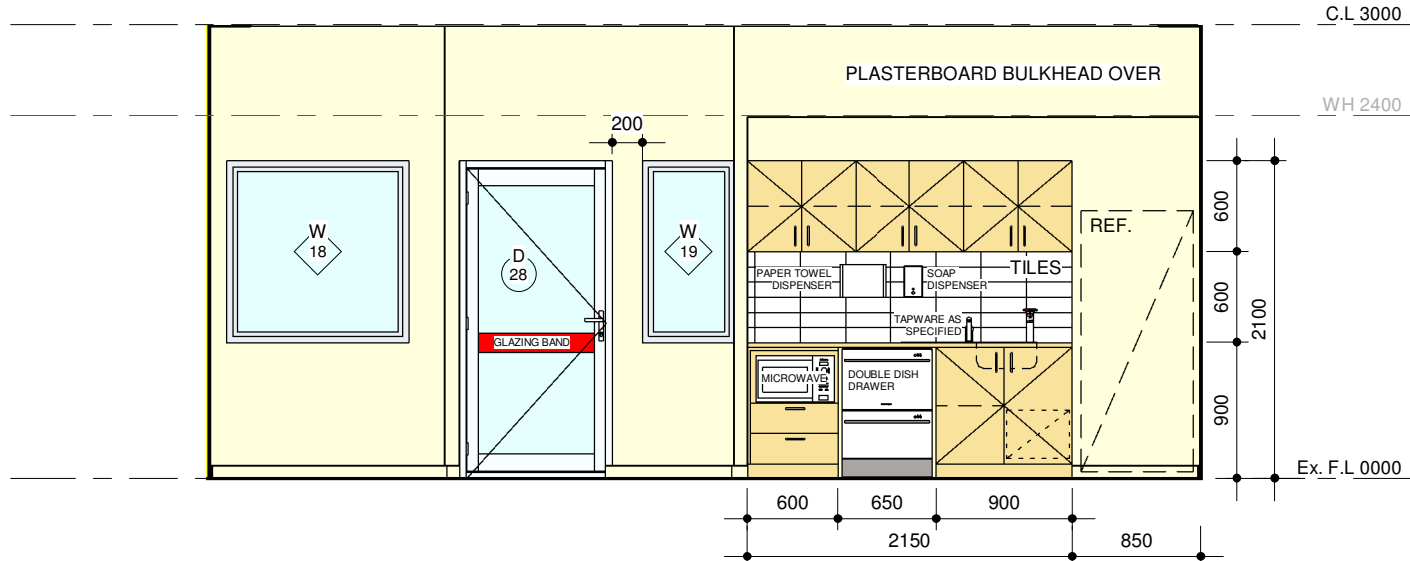
BOOKING 1



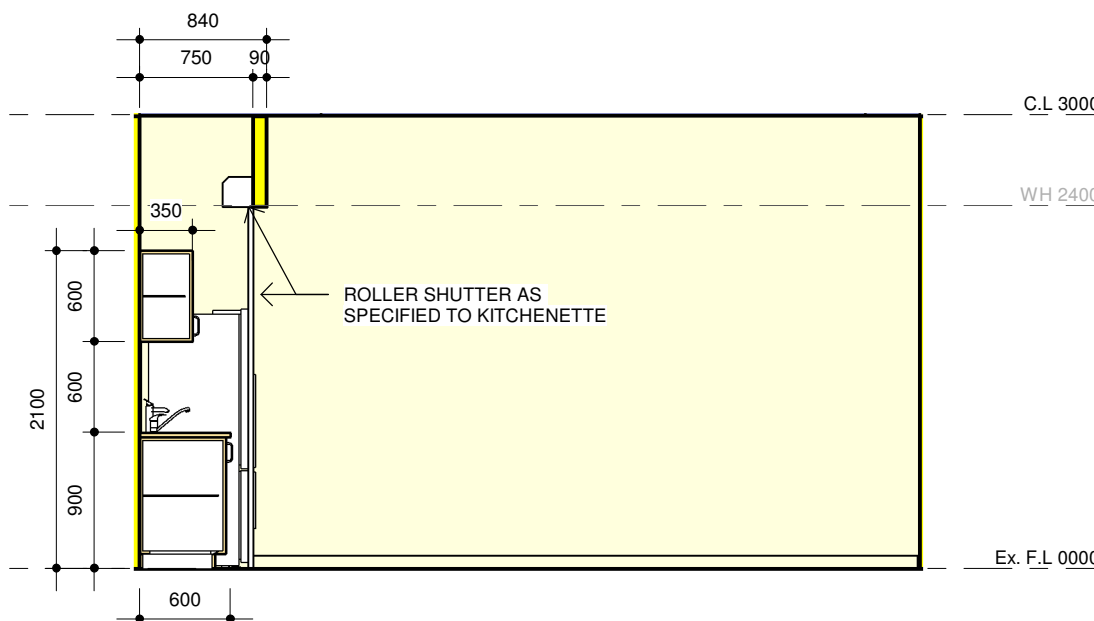
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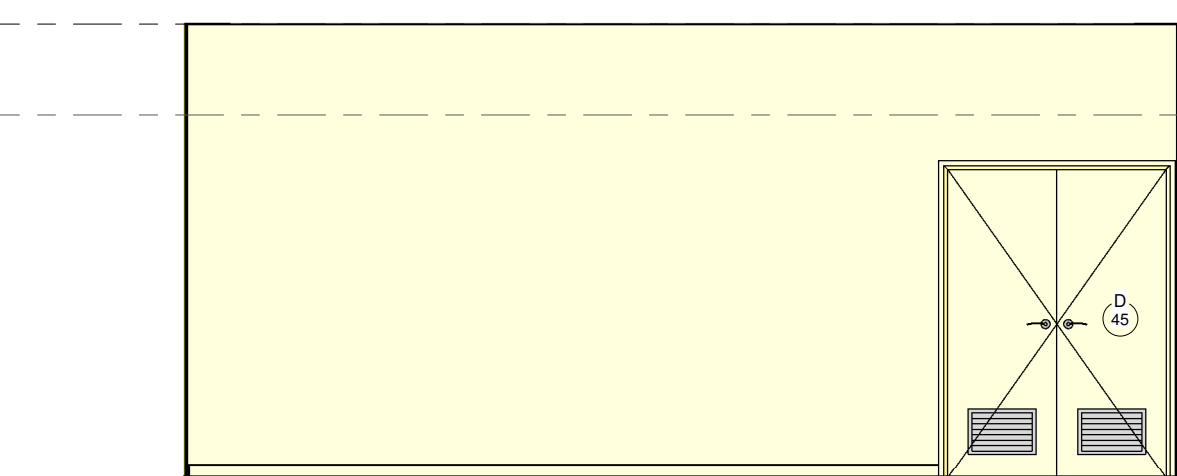
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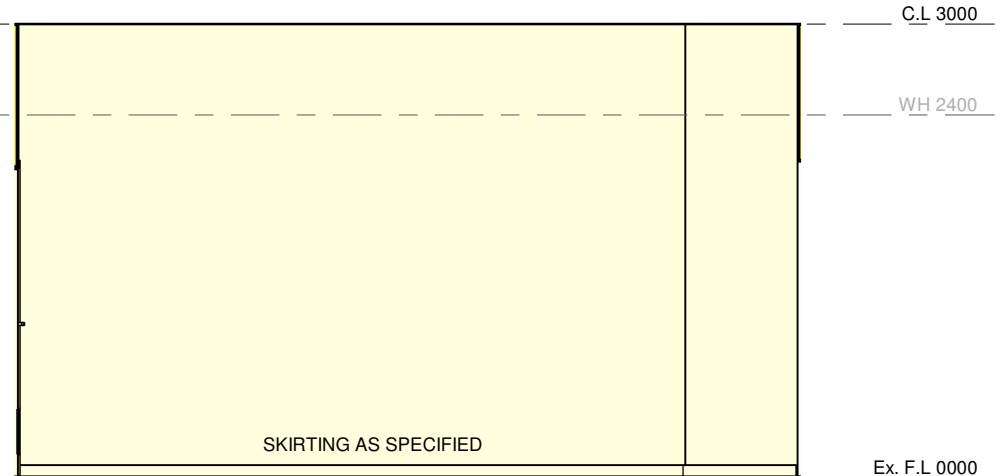
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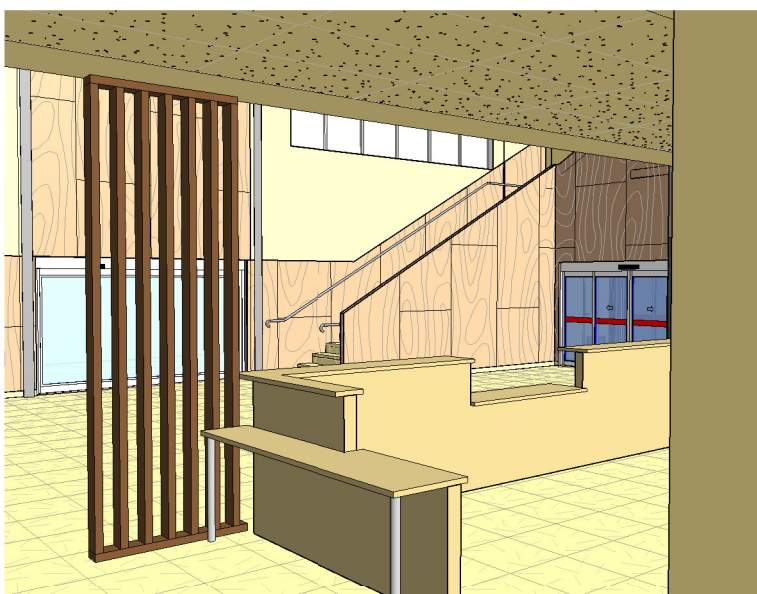
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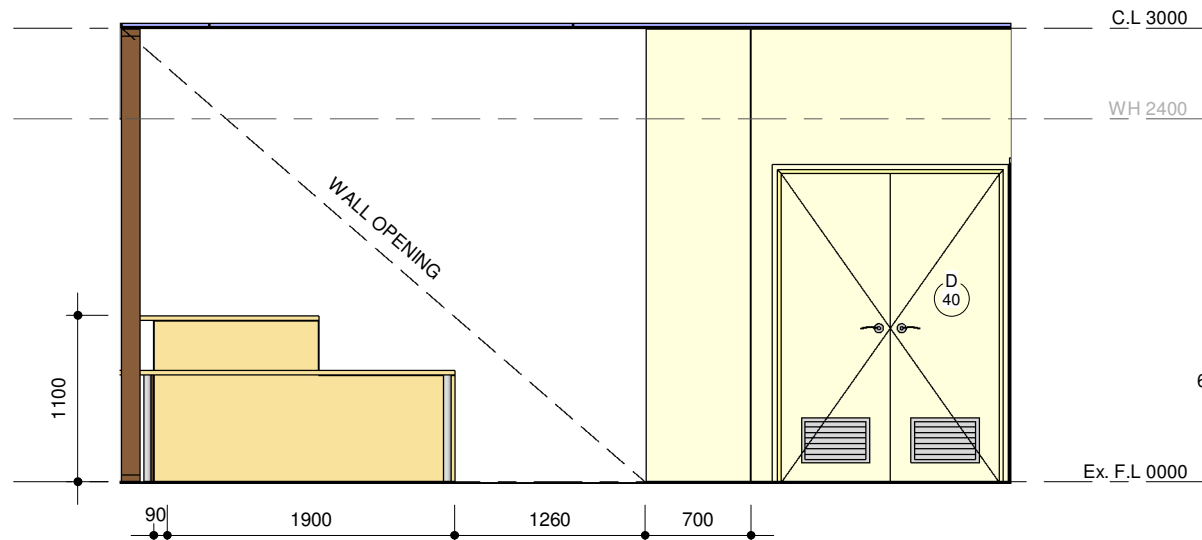
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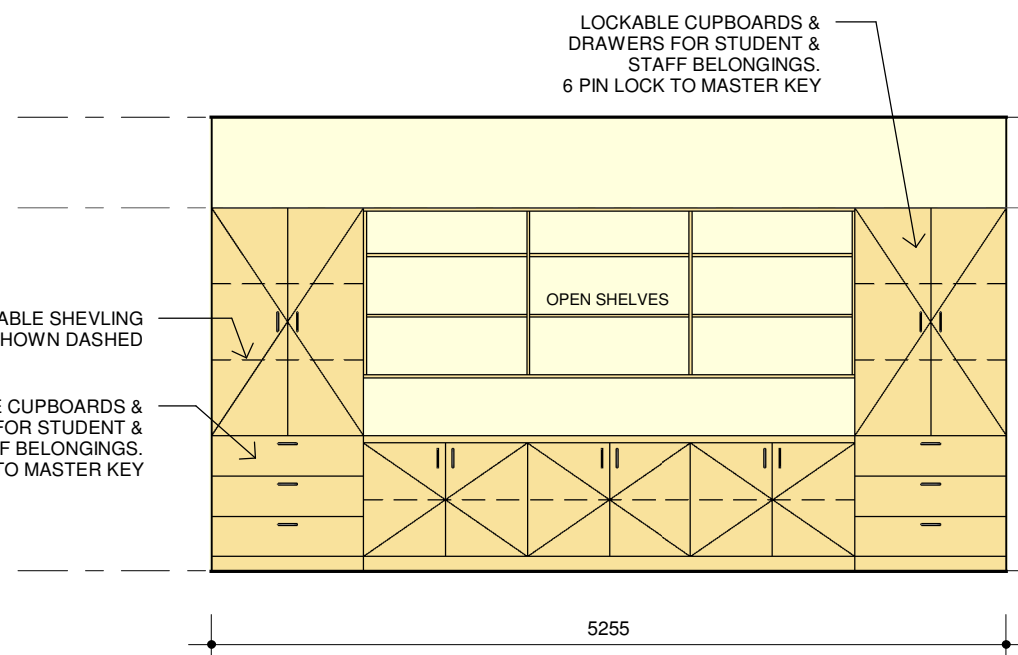
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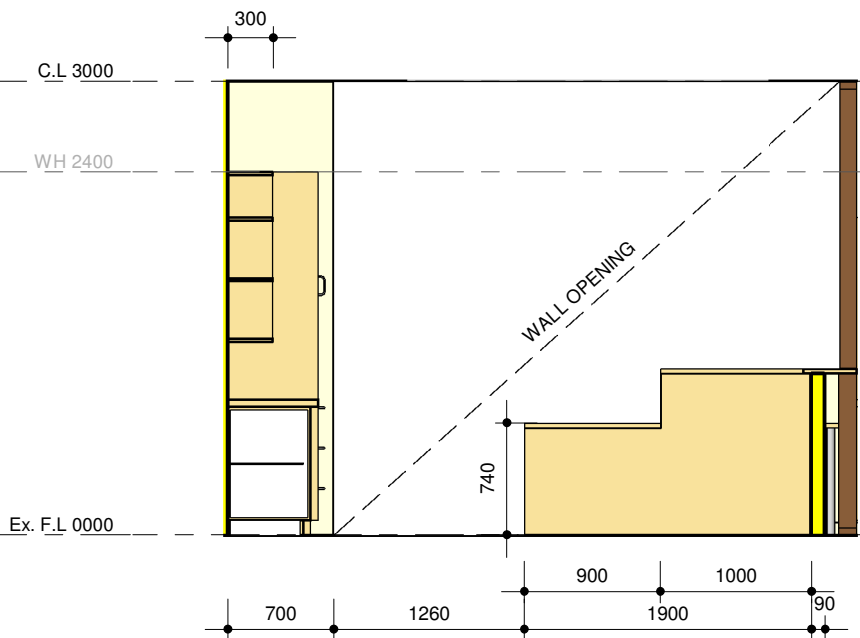
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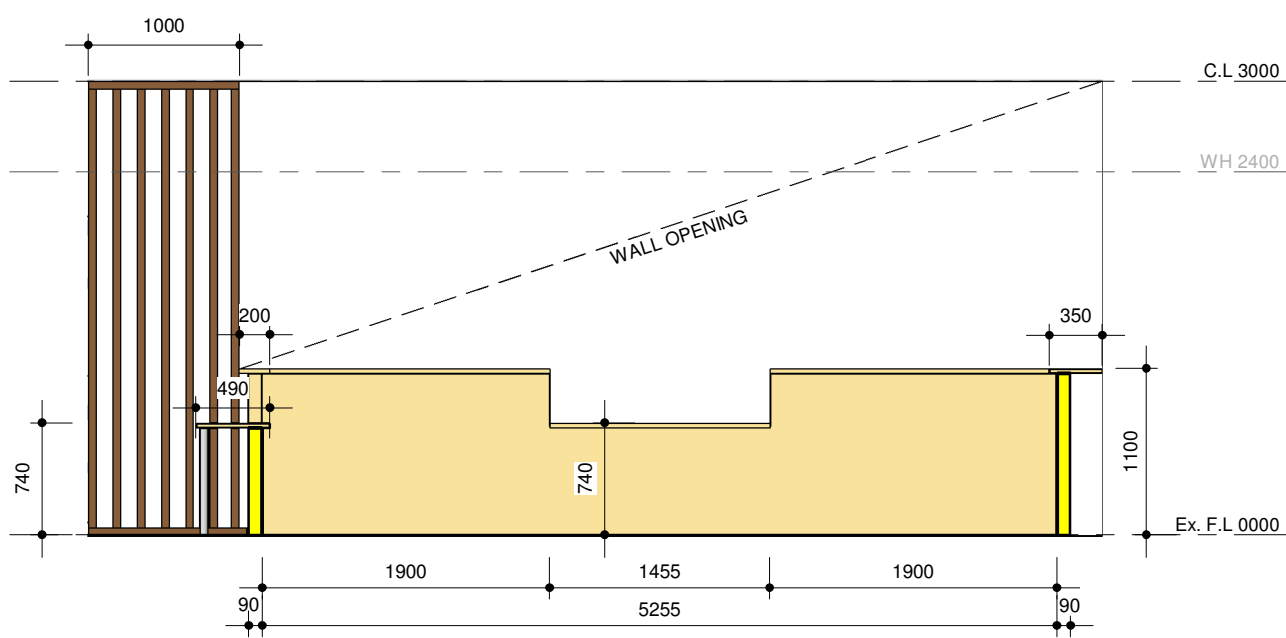
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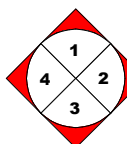
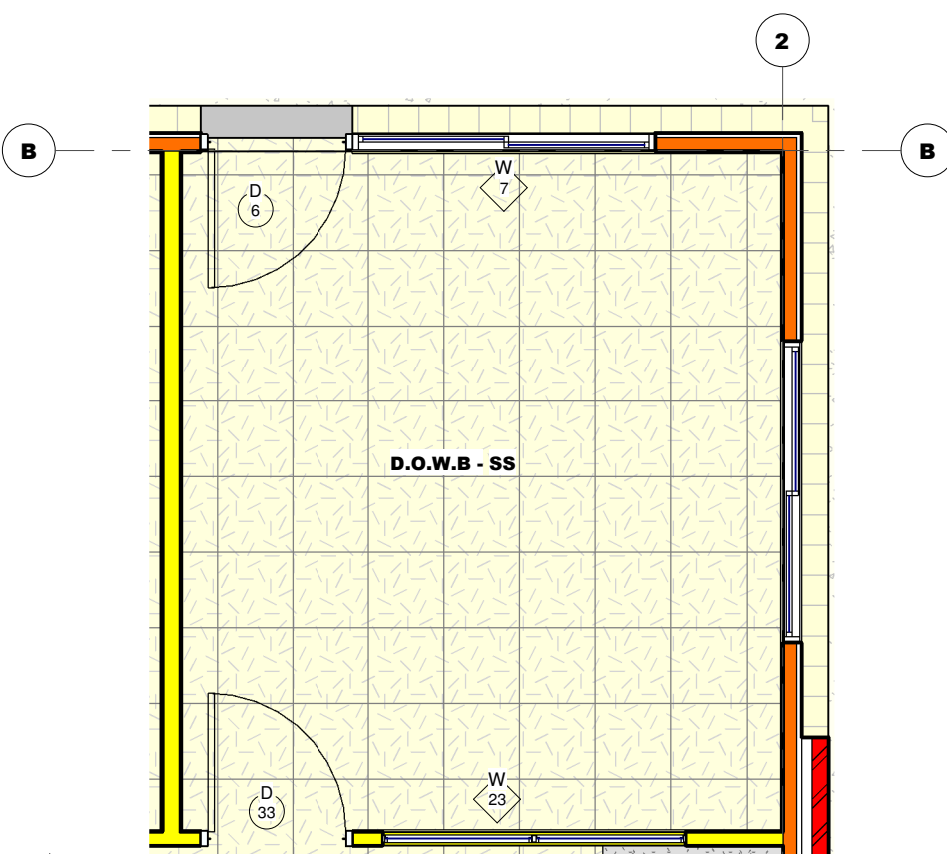
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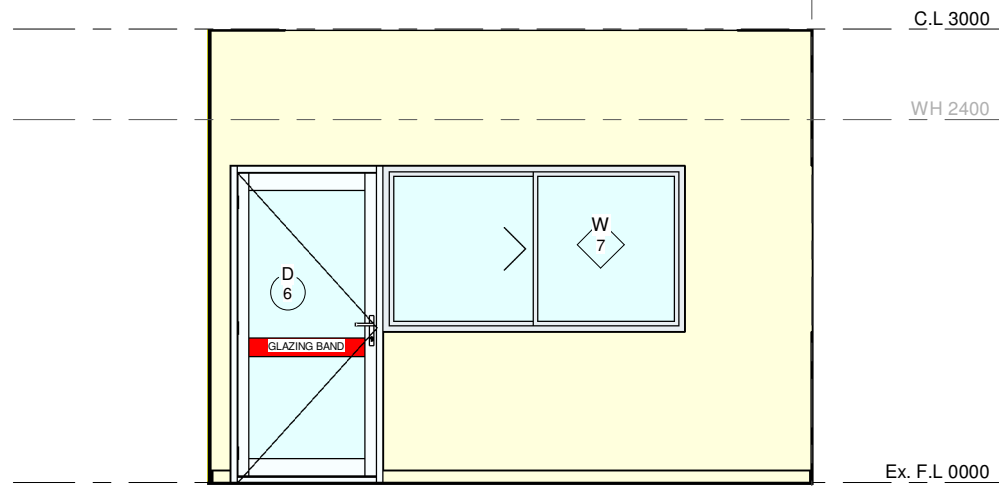
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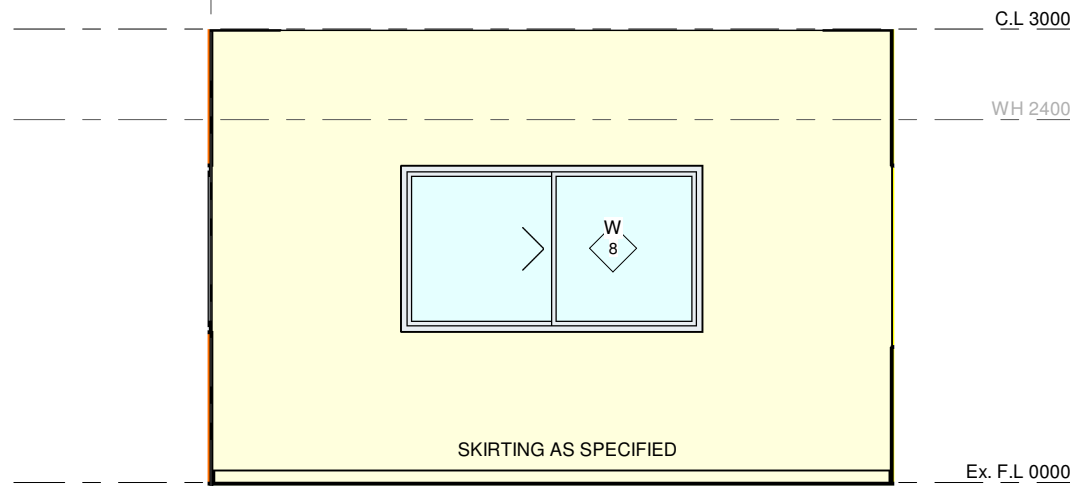
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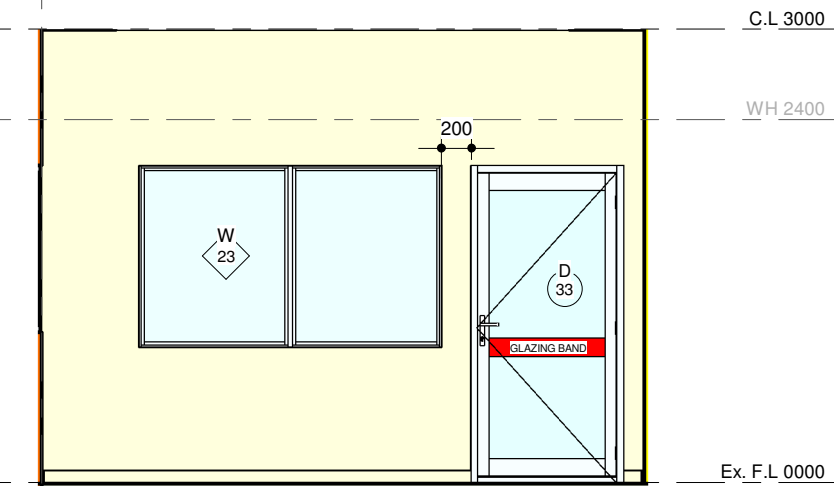
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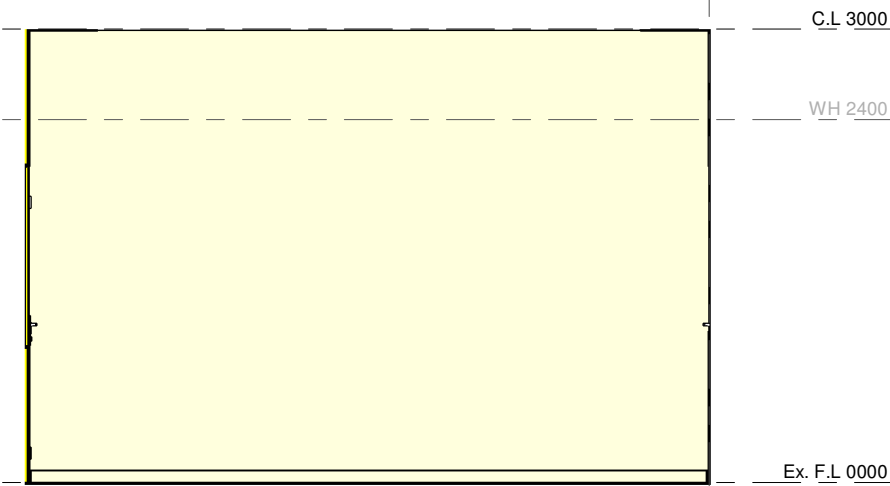
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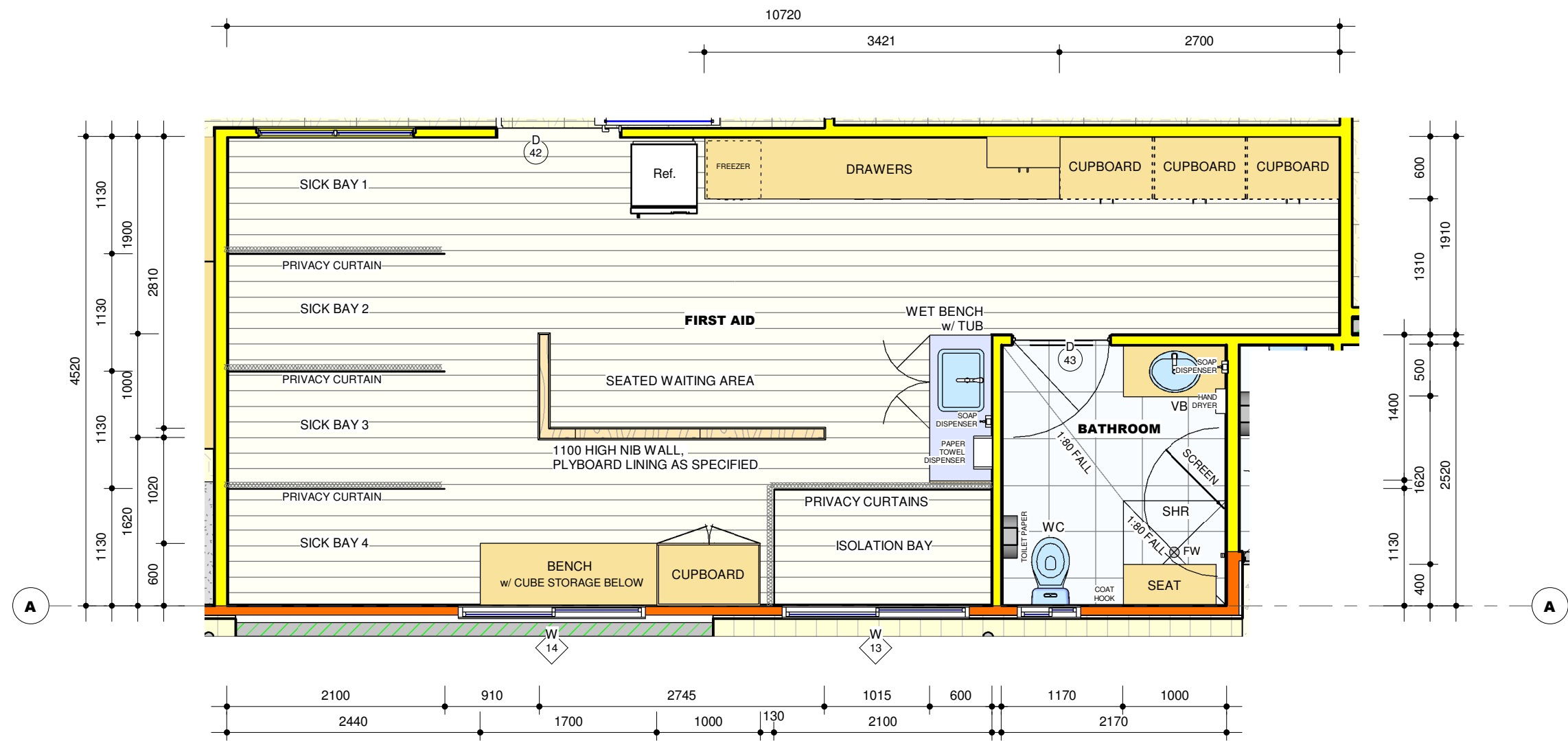
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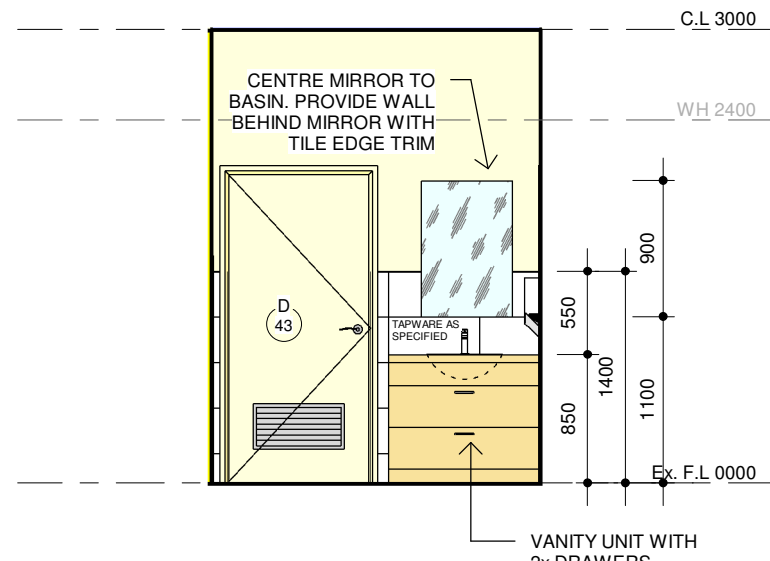
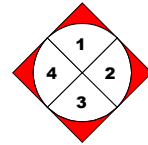
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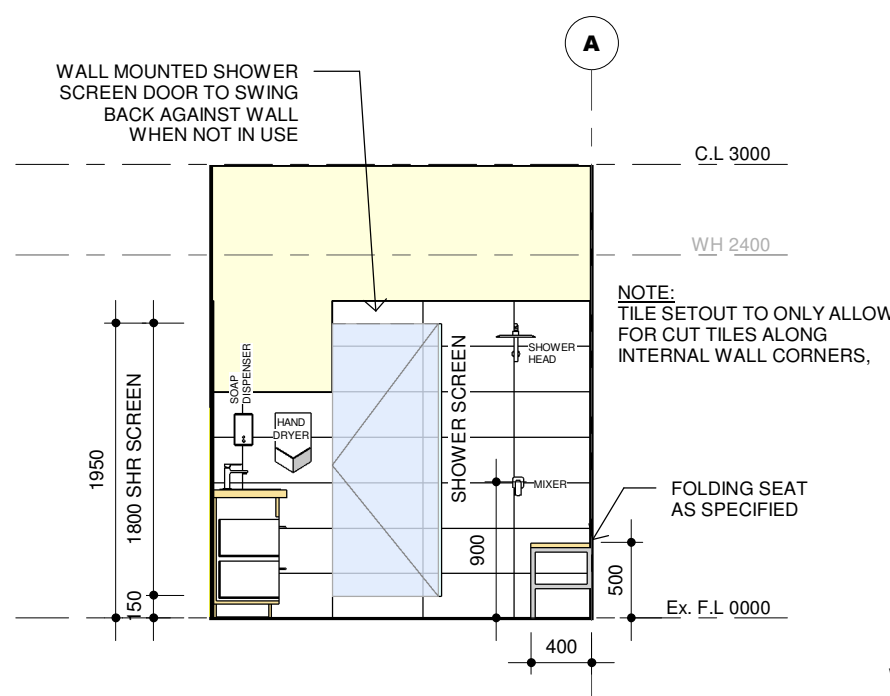
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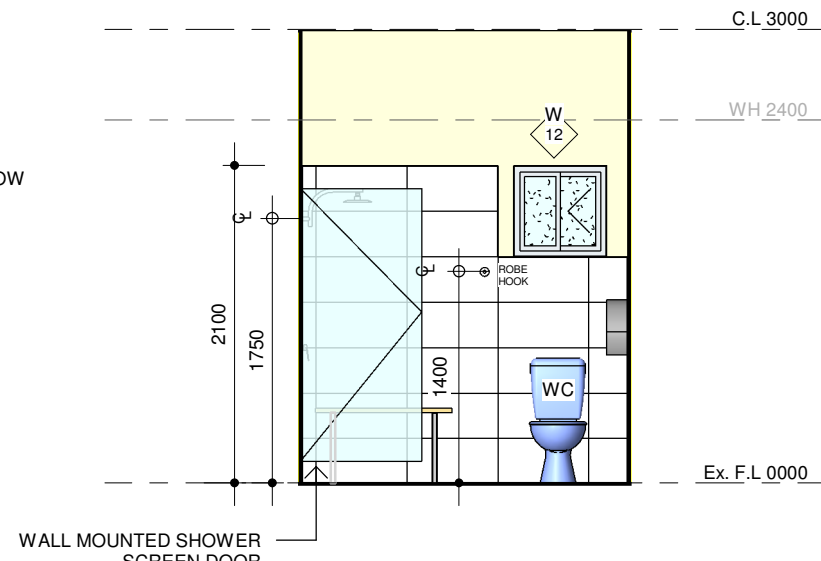
CALLOUT - FIRST AID & BATHROOM
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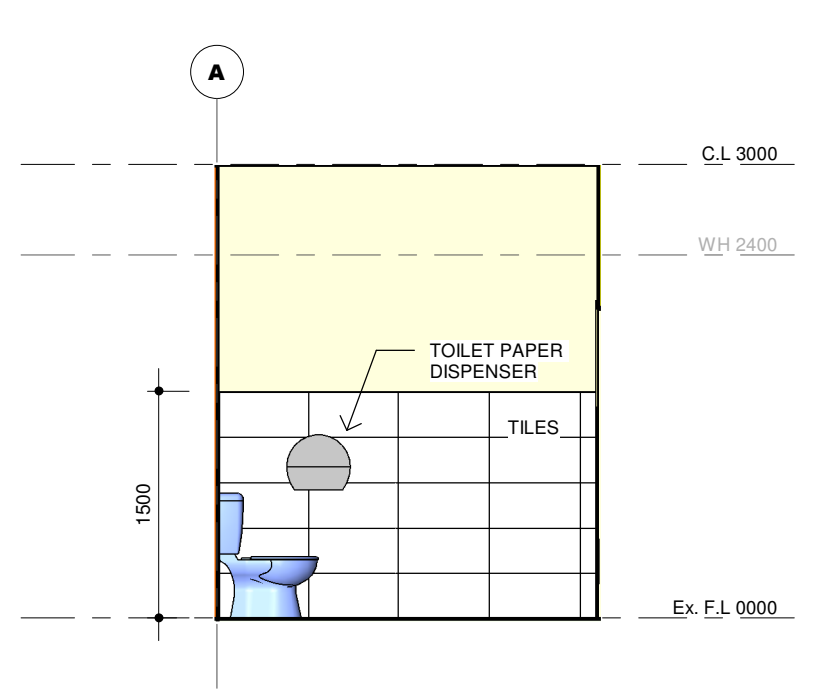
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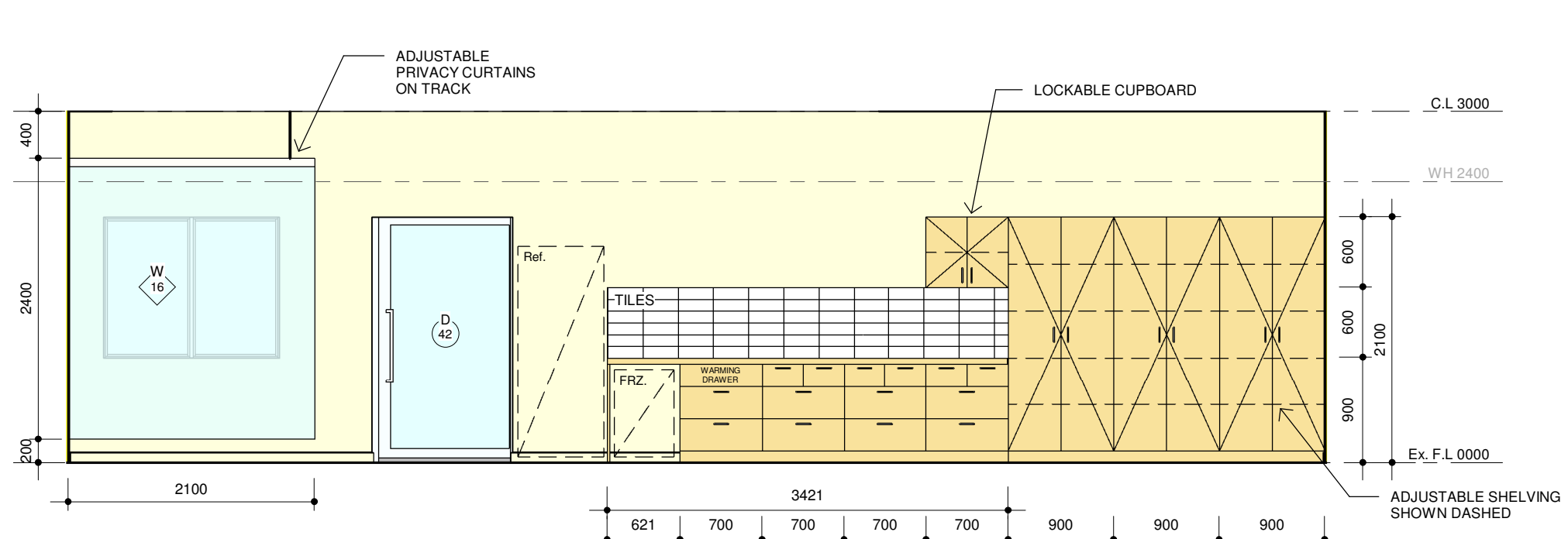
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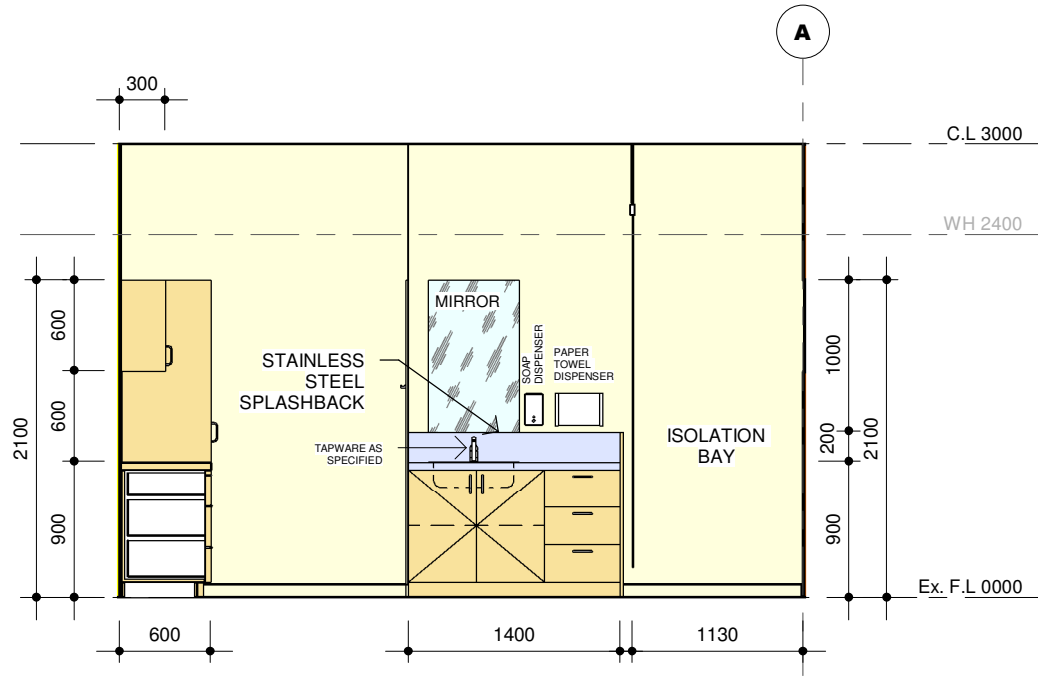
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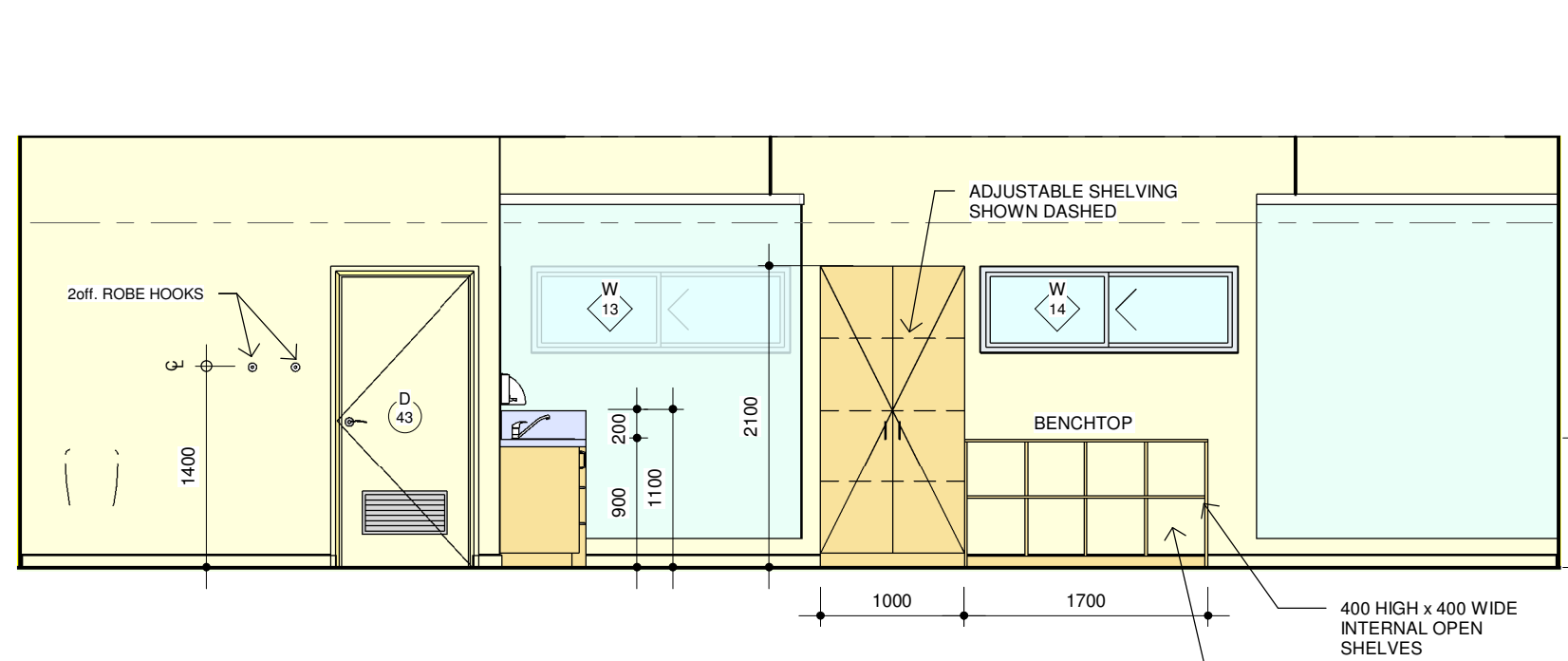
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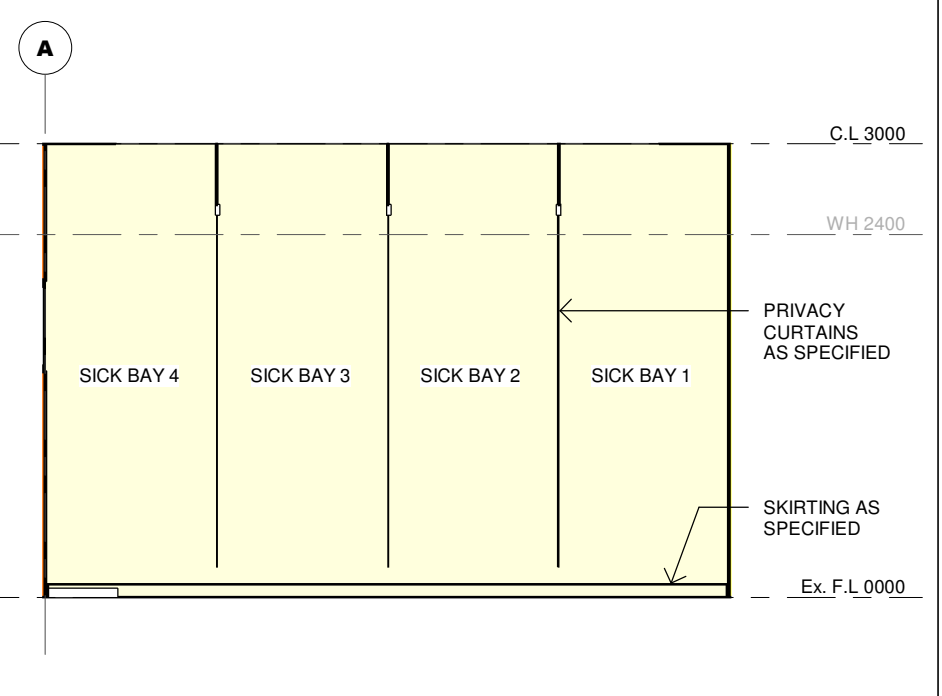
FIRST AID - ELEVATION 1
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FIRST AID - ELEVATION 2
1 : 50



FIRST AID - ELEVATION 3
1 : 50



FIRST AID - ELEVATION 4
1 : 50



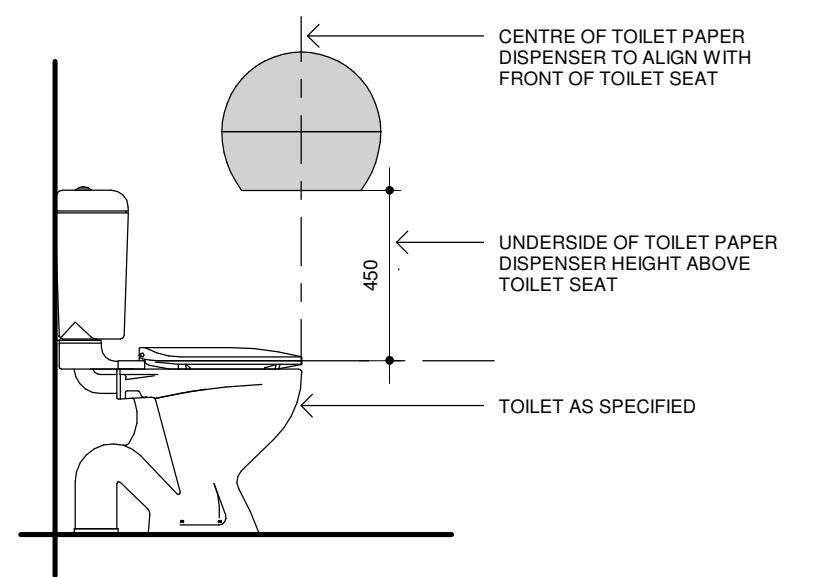
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FIRST AID 2



FIRST AID 3



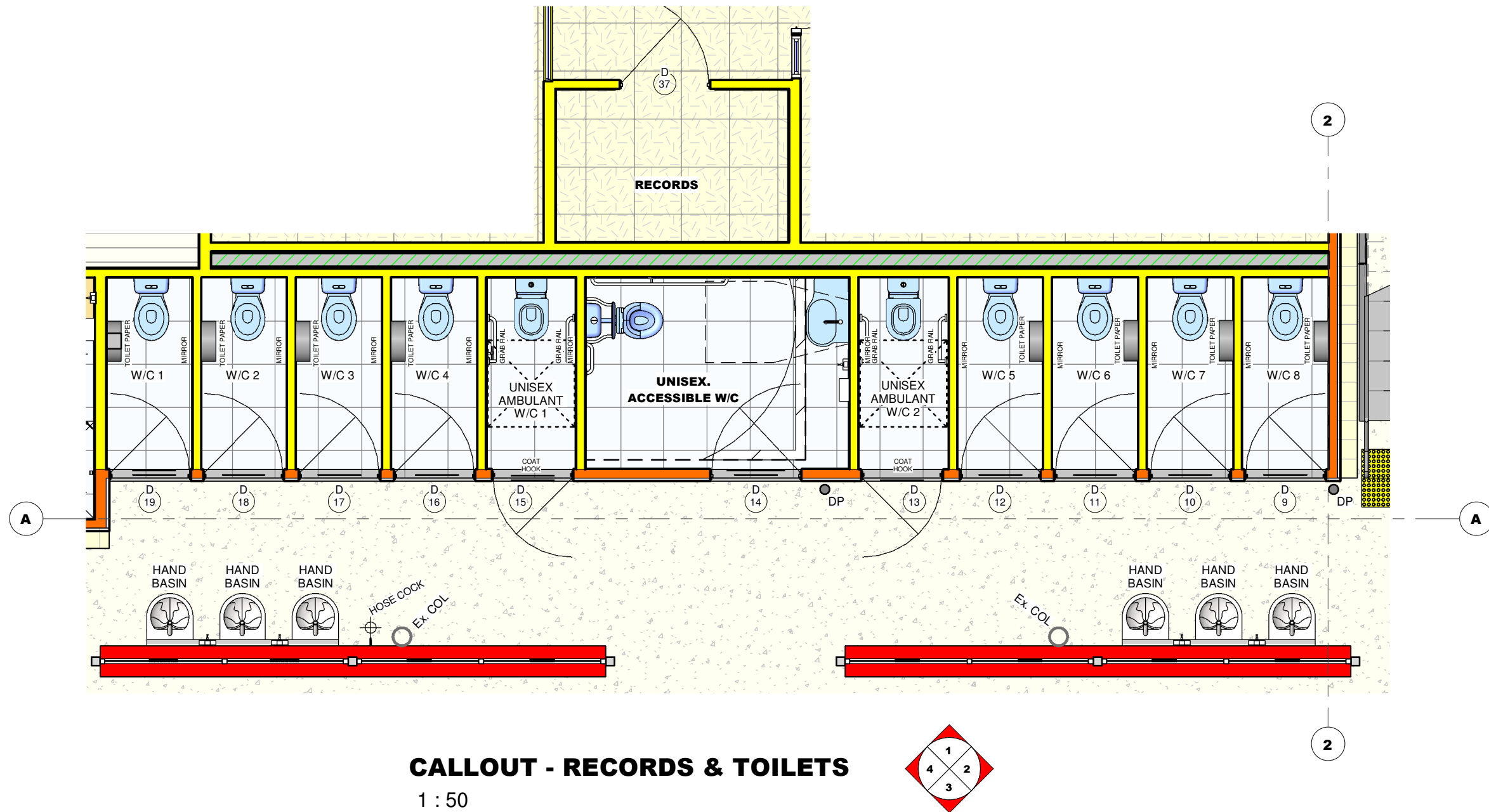
TOILET PAPER DISPENSER
1 : 20

ALL PLANS AND SPECIFICATIONS MUST BE READ TOGETHER AND NOT INDIVIDUALLY.
THE INTENT OF THE CONTRACT AND THESE PLANS AND SPECIFICATIONS IS TO PROVIDE FOR THE WORK SET OUT AND DESCRIBED HEREIN TO BE COMPLETED. ANY WORK INDICATED ON THE PLANS BUT NOT DESCRIBED IN THE SPECIFICATION OR VICE-VERSA, ANY ITEM NOT SHOWN IN EITHER PLAN OR SPECIFICATION BUT IS REASONABLY OR PROPERLY TO BE INFERRED AS PART OF CONSTRUCTION AND/OR FINISH, SHALL BE DEEMED TO BE INCLUDED IN THE SPECIFICATIONS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS FOR THE PROJECT (INCLUDING CONSULTANTS DOCUMENTATION), THE CONTRACTOR SHALL BE DEEMED TO COVER THE ALTERNATIVE, WHICH INVOLVES THE GREATER COST.

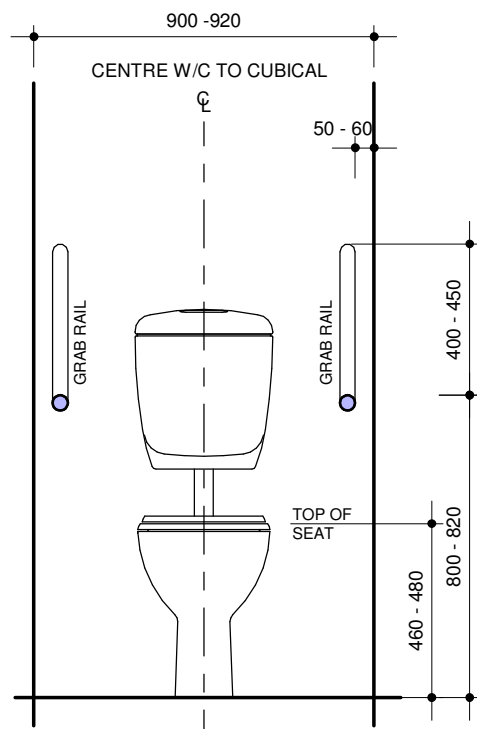
DATE			REV	AMENDMENT	INTERNALS		REGISTERED		bdaa		ROB PICKETT DESIGN		PROPOSED 'THE HUDSON CENTRE'		SHEET SIZE "A1"	
					THE BUILDER SHALL VERIFY ALL MEASUREMENTS AND LEVELS ON-SITE BEFORE ORDERING MATERIALS. COMMENCING SITE WORK OR FABRICATION WORK. COPYRIGHT RESERVED. NO PORTION OF THESE DRAWINGS MAY BE REPRODUCED BY ANY PROCESS WITHOUT THE WRITTEN CONSENT OF ROB PICKETT DESIGN.		REGISTERED		bdaa		PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246		For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690		Sheet: A25 Date: 2-6-2025 Job No: 7608	
					COLOUR USED FOR PRESENTATION ONLY		NSW: Certified Building Designer VIC: DP/AD 1076		Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.		Drawn By: KYLE Checked By: EUAN				FOR TENDER	

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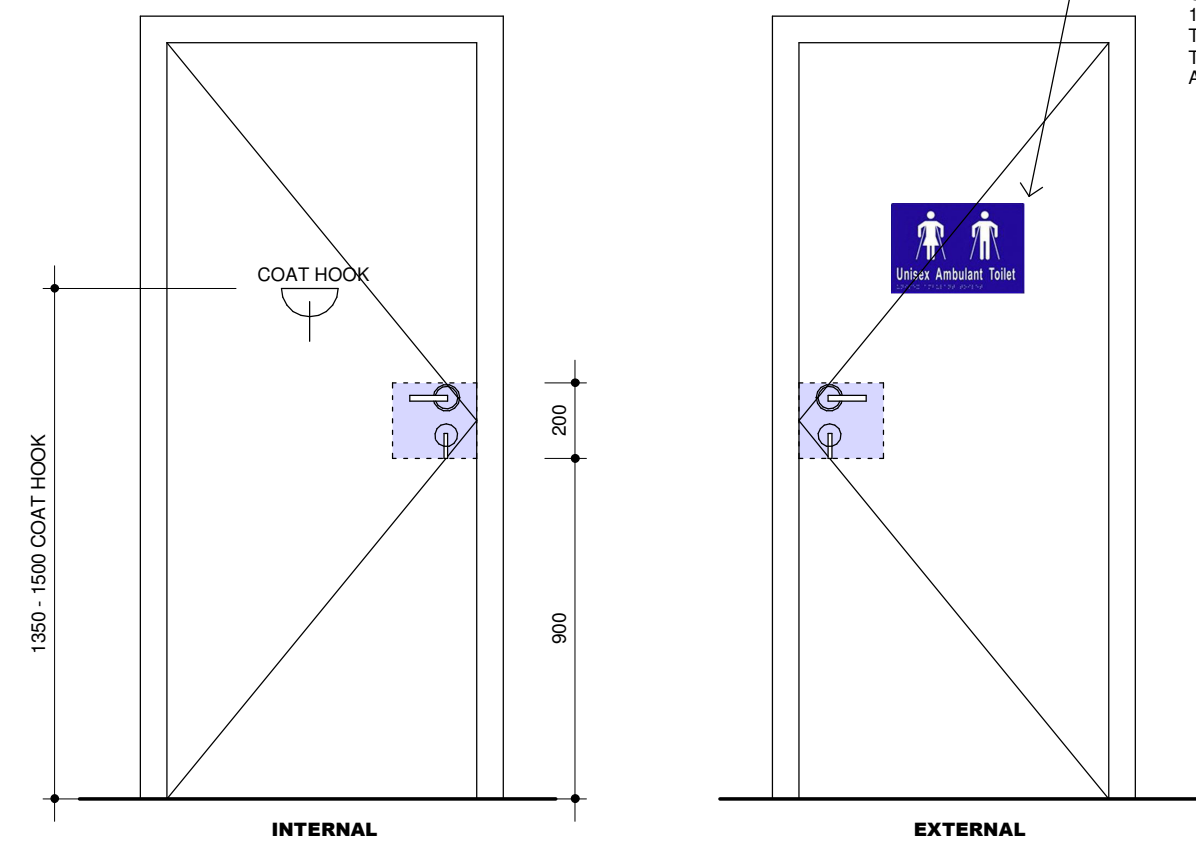
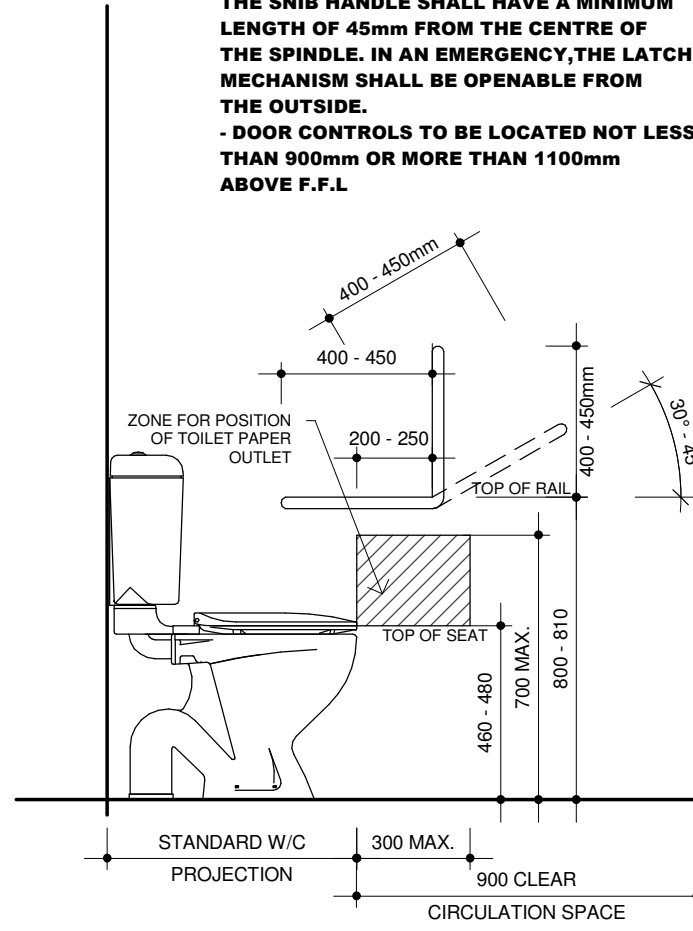
3/06/2025 1:18:56 PM



FLOOR FOR FLOOR PLAN
900 - 920mm INTERNAL SPACE
FROM WALL FINISH TO WALL FINISH.
DIMENSION SHOWN ALLOWS FOR
PLASTERBOARD LINING



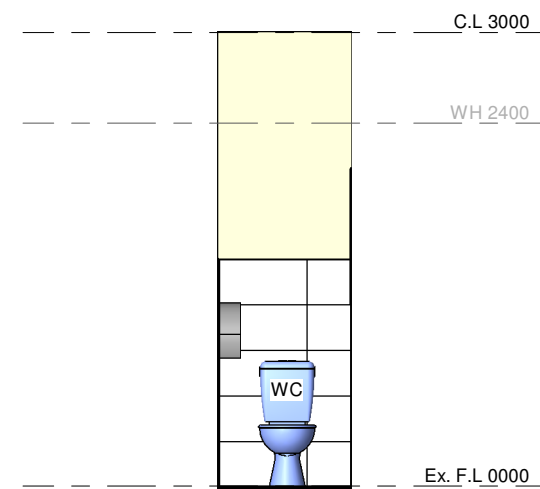
DOOR NOTE:
- DOOR OPENING TO BE A MIN. CLEAR 700mm
- DOOR SHALL BE PROVIDED WITH
AN IN-USE INDICATOR AND A BOLT
OR CATCH. WHERE A SNIB IS USED,
THE SNIB HANDLE SHALL HAVE A MINIMUM
LENGTH OF 45mm FROM THE CENTRE OF
THE SPINDLE. IN AN EMERGENCY, THE LATCH
MECHANISM SHALL BE OPENABLE FROM
THE OUTSIDE.
- DOOR CONTROLS TO BE LOCATED NOT LESS
THAN 900mm OR MORE THAN 1100mm
ABOVE F.F.L.



BRAILLE AND TACTILE COMPONENTS
OF SIGN ARE TO BE LOCATED BETWEEN
1200 - 1600mm ABOVE FINISHED FLOOR SURFACE.
TACTILE CHARACTERS OF SINGLE LINE TEXT ARE
TO BE LOCATED BETWEEN 1250 - 1350mm
ABOVE FINISHED FLOOR SURFACE.

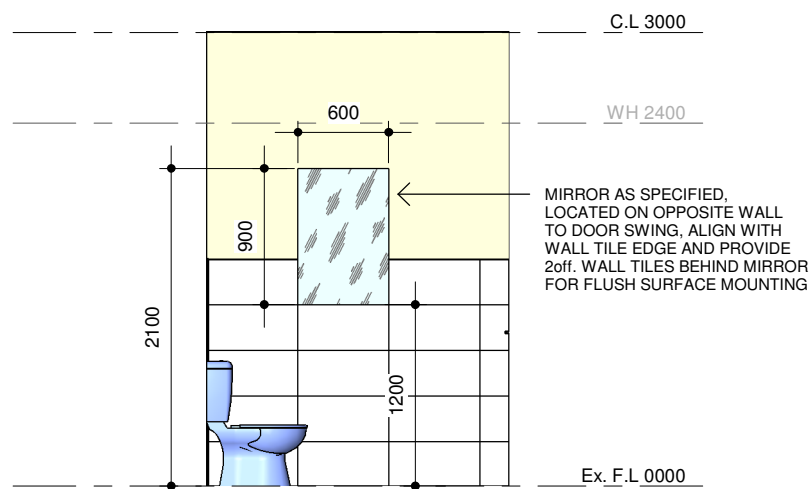
AMBULANT W/C DETAILS

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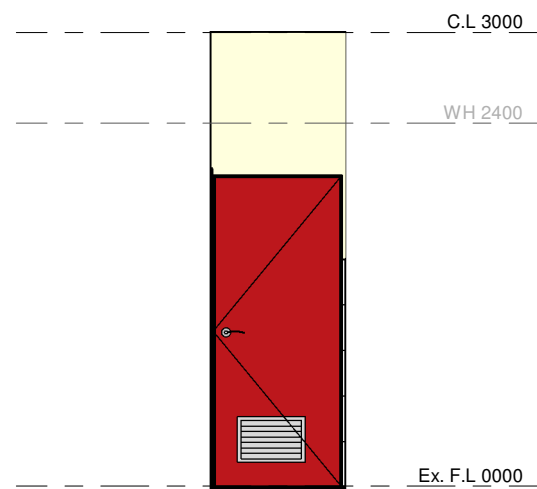
W/C 1 to 8 - ELEVATION 1

1 : 50



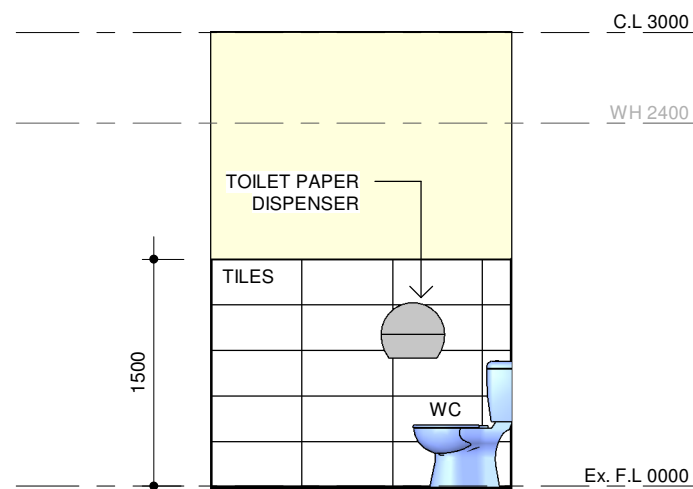
W/C 1 to 8 - ELEVATION 2

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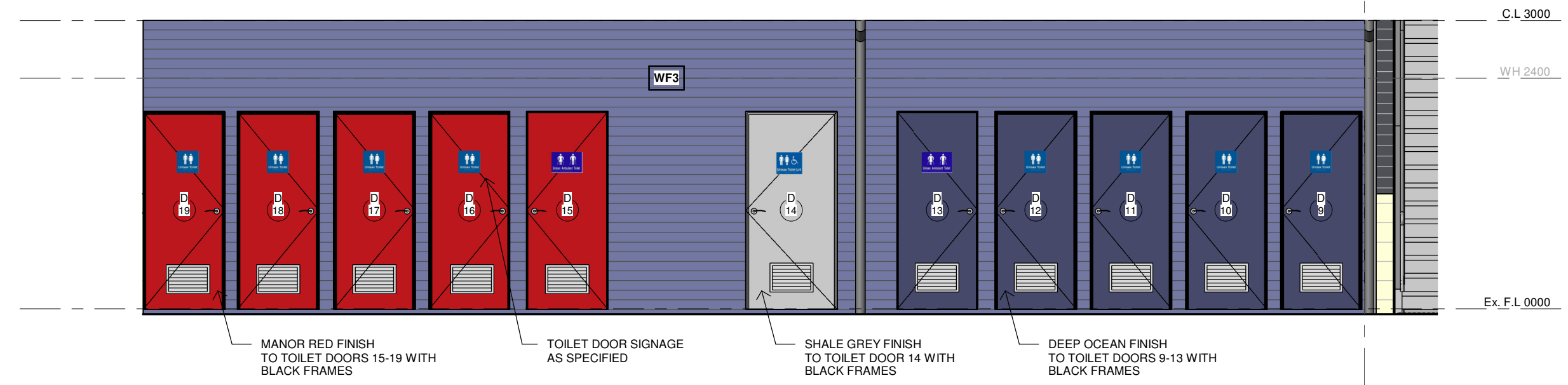
W/C 1 to 8 - ELEVATION 3

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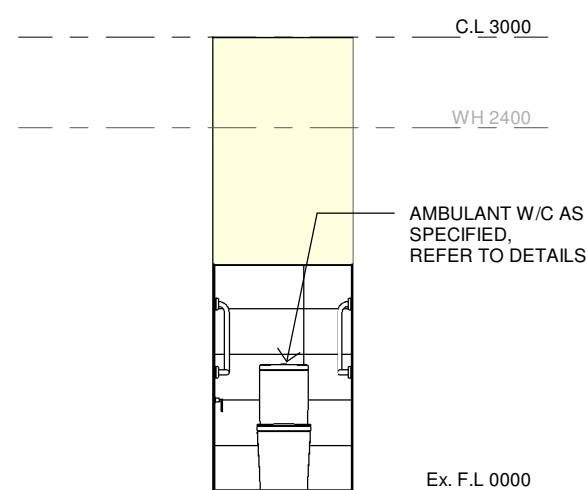
W/C 1 to 8 - ELEVATION 4

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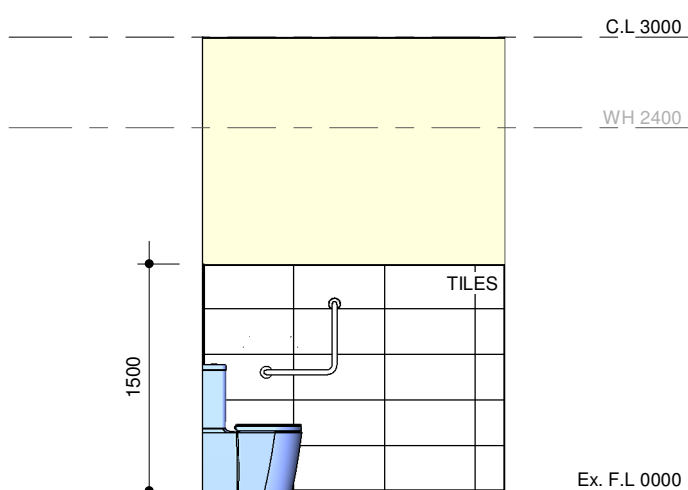
W/C EXTERNAL - ELEVATION 1

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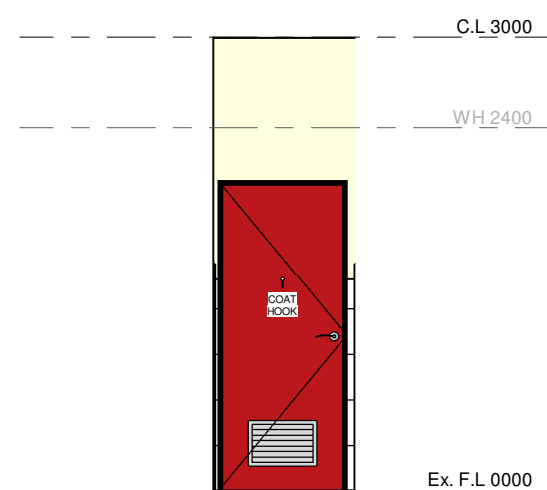
UNI. AMB. W/C - ELEVATION 1

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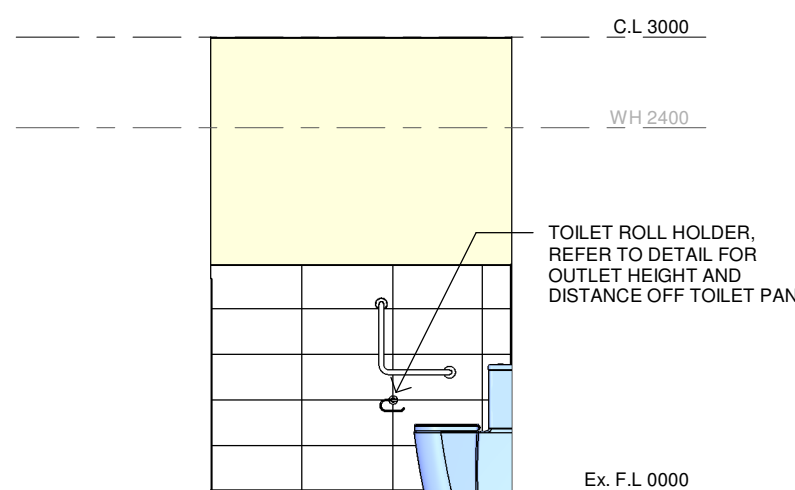
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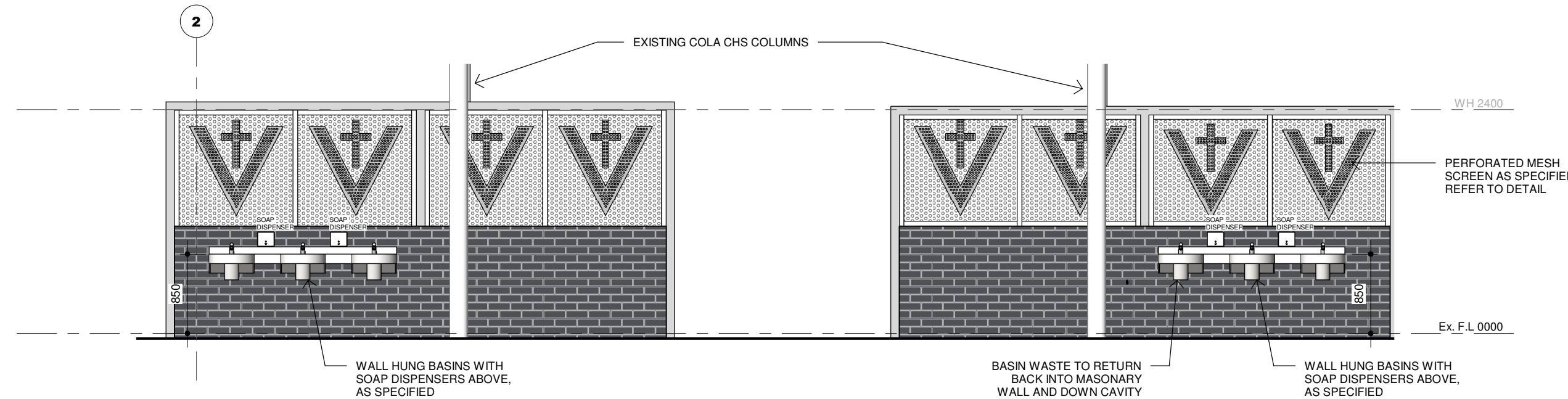
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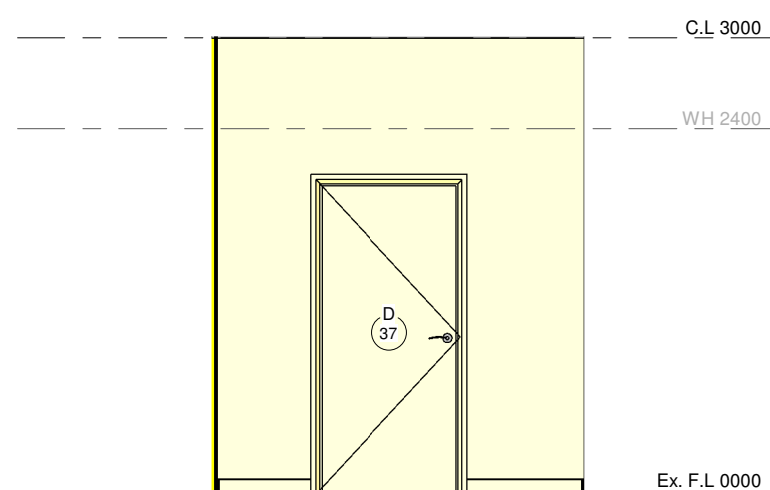
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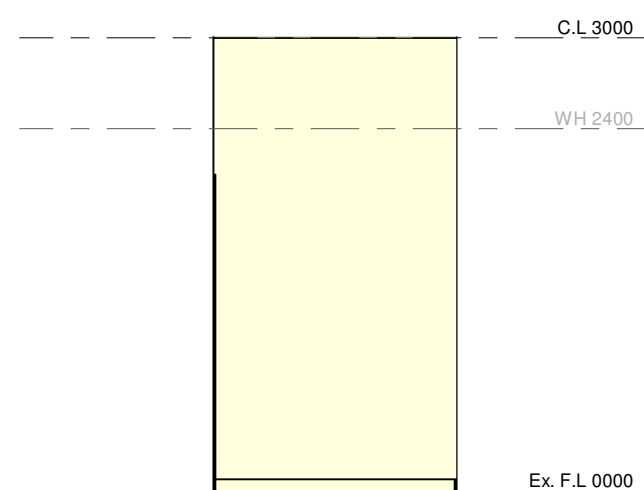
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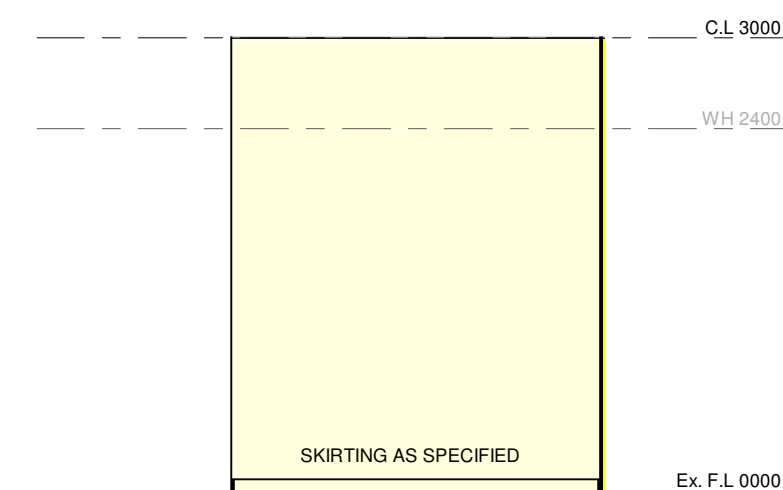
RECORDS - ELEVATION 1

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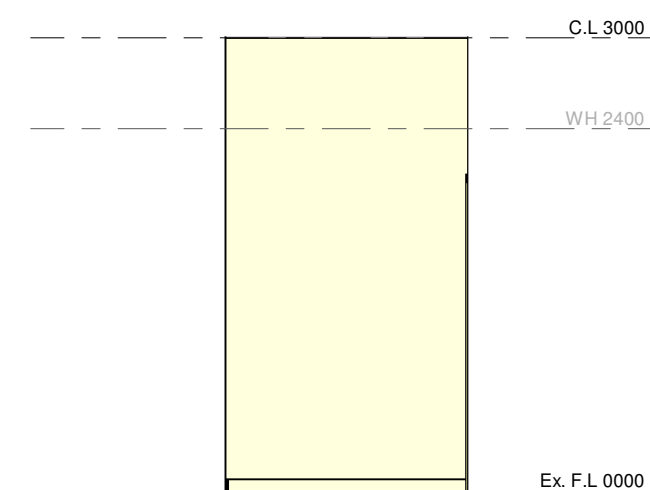
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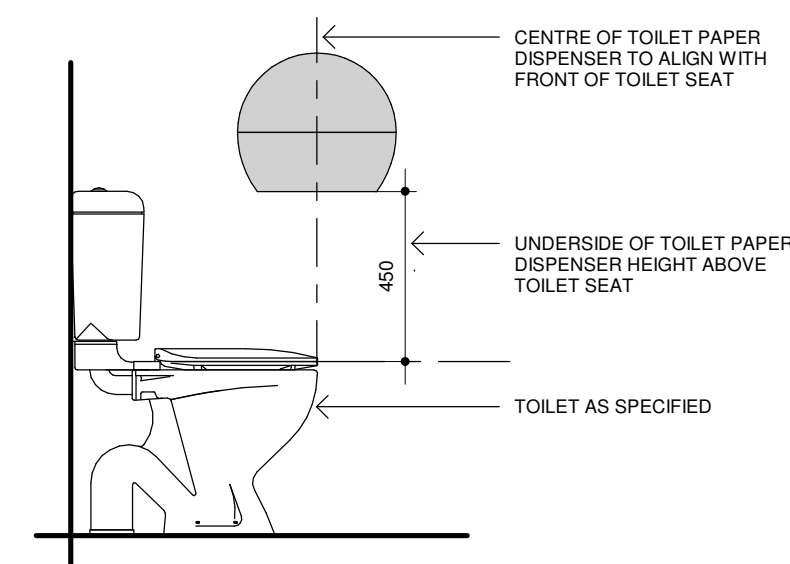
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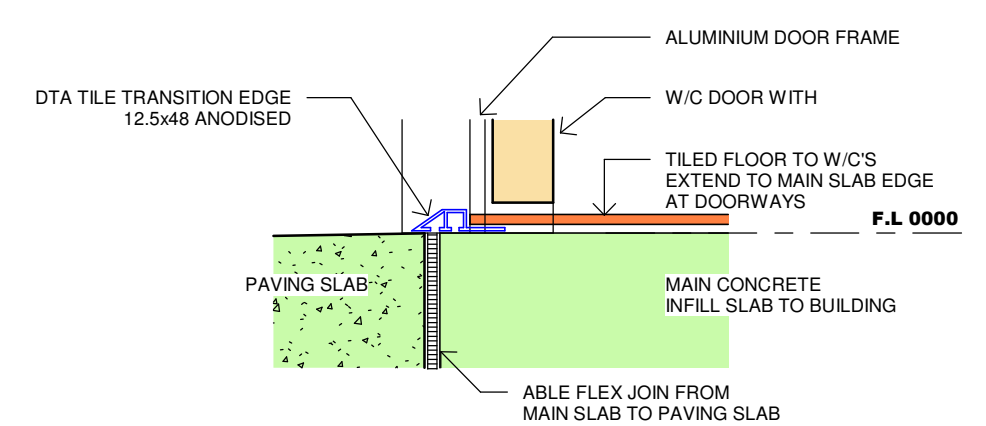
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TOILET PAPER DISPENSER

1 : 20



W/C TILE TRANSITION

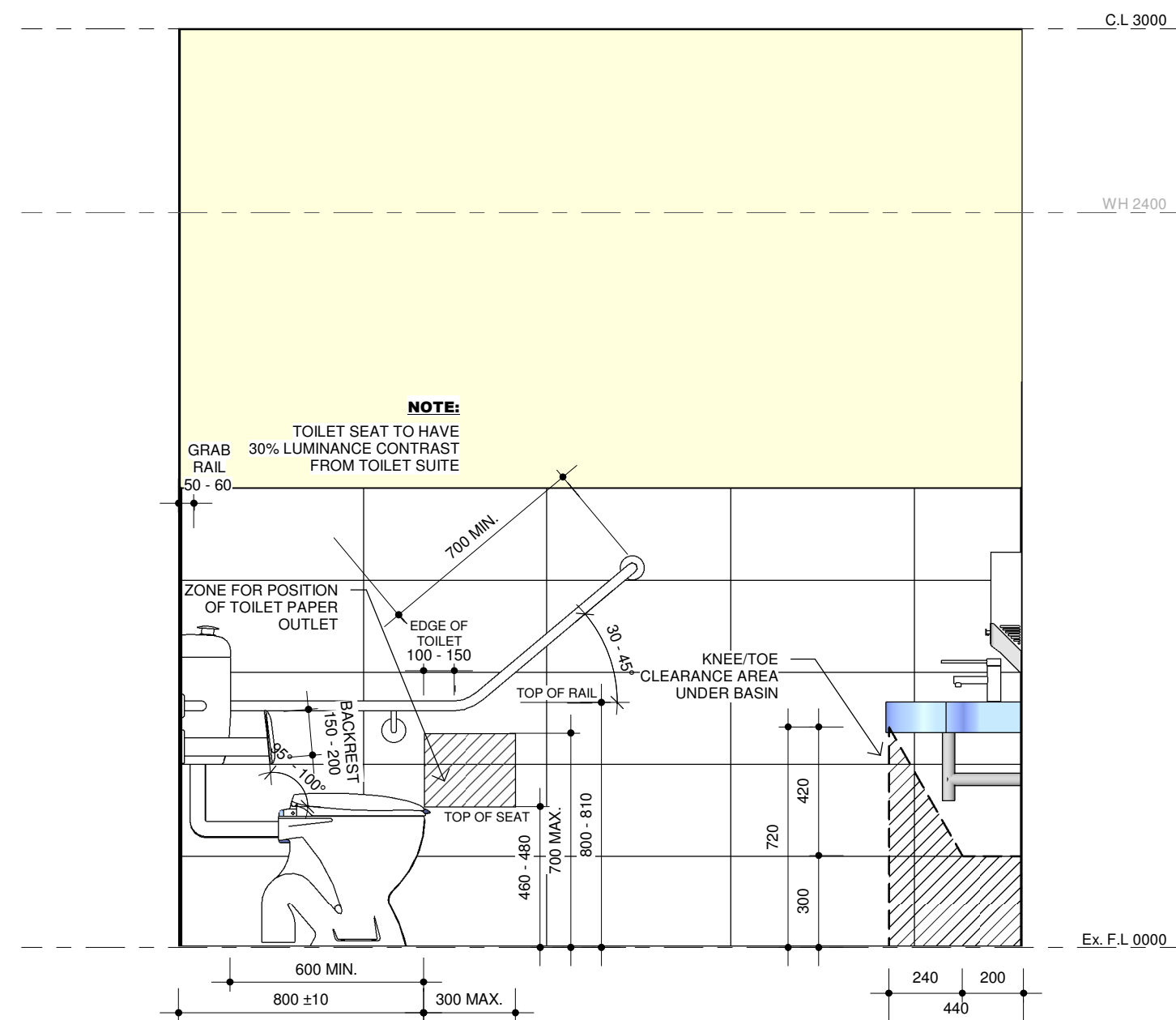
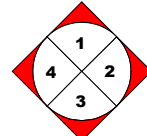
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INTERNALS				SHEET SIZE "A1"	
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Incredible Ideas Pty. Ltd. ABN 72 003 725 246 Trading as Rob Pickett Design.				3/06/2025 1:18:59 PM	
REGISTERED BUILDING DESIGNER				Z:- REVIT:- Revit:- Commercial/7608 Victory Lutheran College - Student Services Building/3 - Working Drawings/2025-5-29 FOR TENDER/7608 V/LC Student Services Building - WD - FOR TENDER.rvt	
bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA					
ROB PICKETT DESIGN PO Box 3054 Albury NSW 2640 www.rpdesign.com.au Email: euan@rpdesign.com.au PHONE 02 6021 1355 INCREDIBLE IDEAS PTY. LTD. ABN 72 003 725 246					
Drawn By: KYLE Checked By: EUAN					
PROPOSED 'THE HUDSON CENTRE' For: VICTORY LUTHERAN COLLEGE At: 28 DRAGE ROAD, WODONGA VIC 3690					

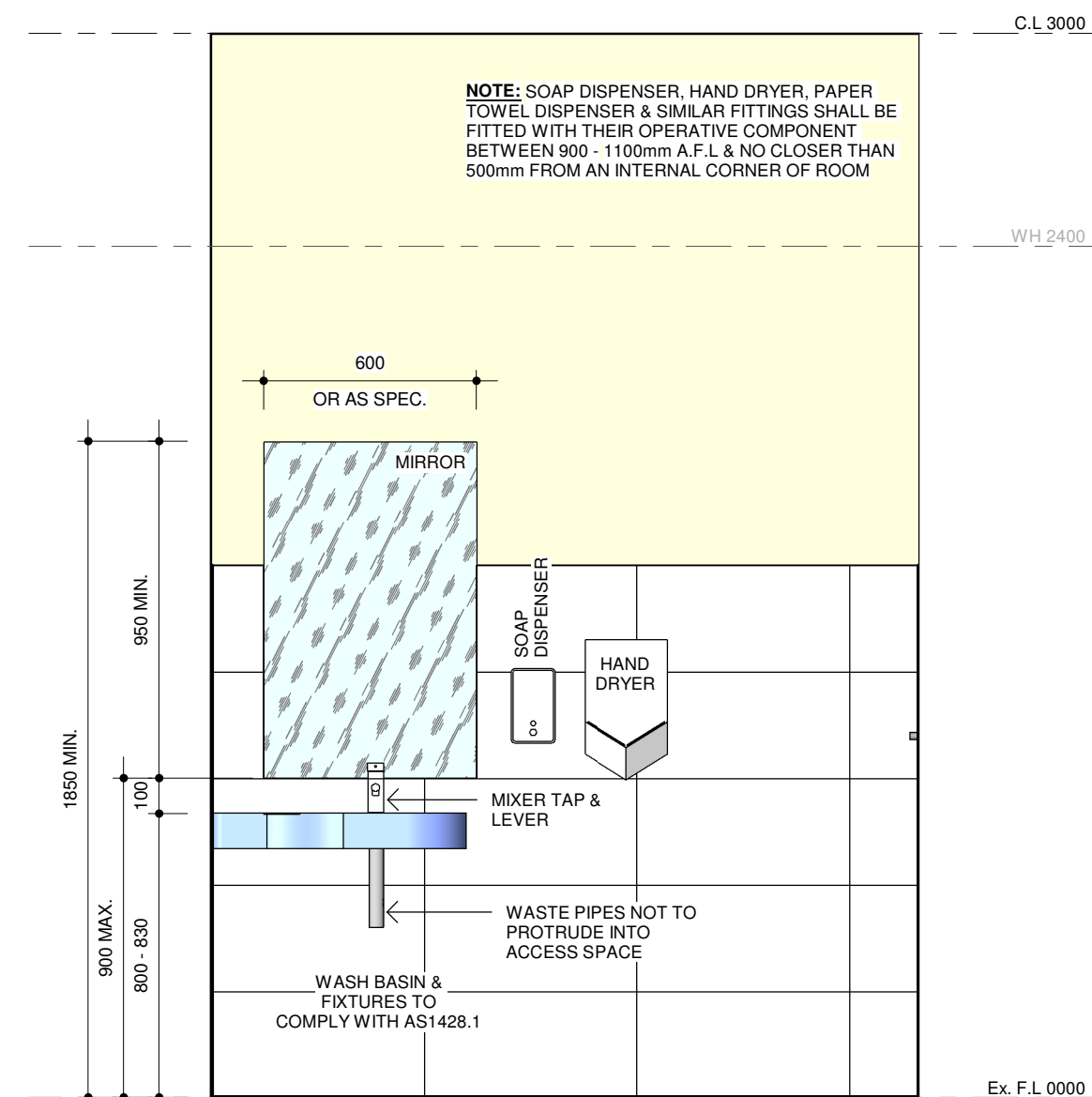
Technical diagram of a Unisex Accessible W.C. showing dimensions and fixtures. The diagram includes the following elements:

- Dimensions:**
 - Overall width: 2300 MIN.
 - Overall height: 1900 MIN.
 - Clearance height: 450 - 480.
 - Clearance from wall to toilet: 1400 MIN.
 - Clearance from toilet to wall: 300.
- Fixtures and Features:**
 - W.C. (Toilet): AS1428.1 W/C.
 - Grab Rail (above toilet).
 - Grab Rail (side of toilet).
 - WALL BASIN WITH INTEGRATED SHELF TO AS1428.1.
 - SOAP DISPENSER.
 - HAND DRYER.
 - EXCLUSION ZONE (dashed line).
 - W/C CIRCULATION SPACE (dashed line).
- Labels and Notes:**
 - UNISEX ACCESSIBLE W/C 2
 - 100mm MAX. PERMITTED ENCROACHMENT ZONE SHOWN HATCHED

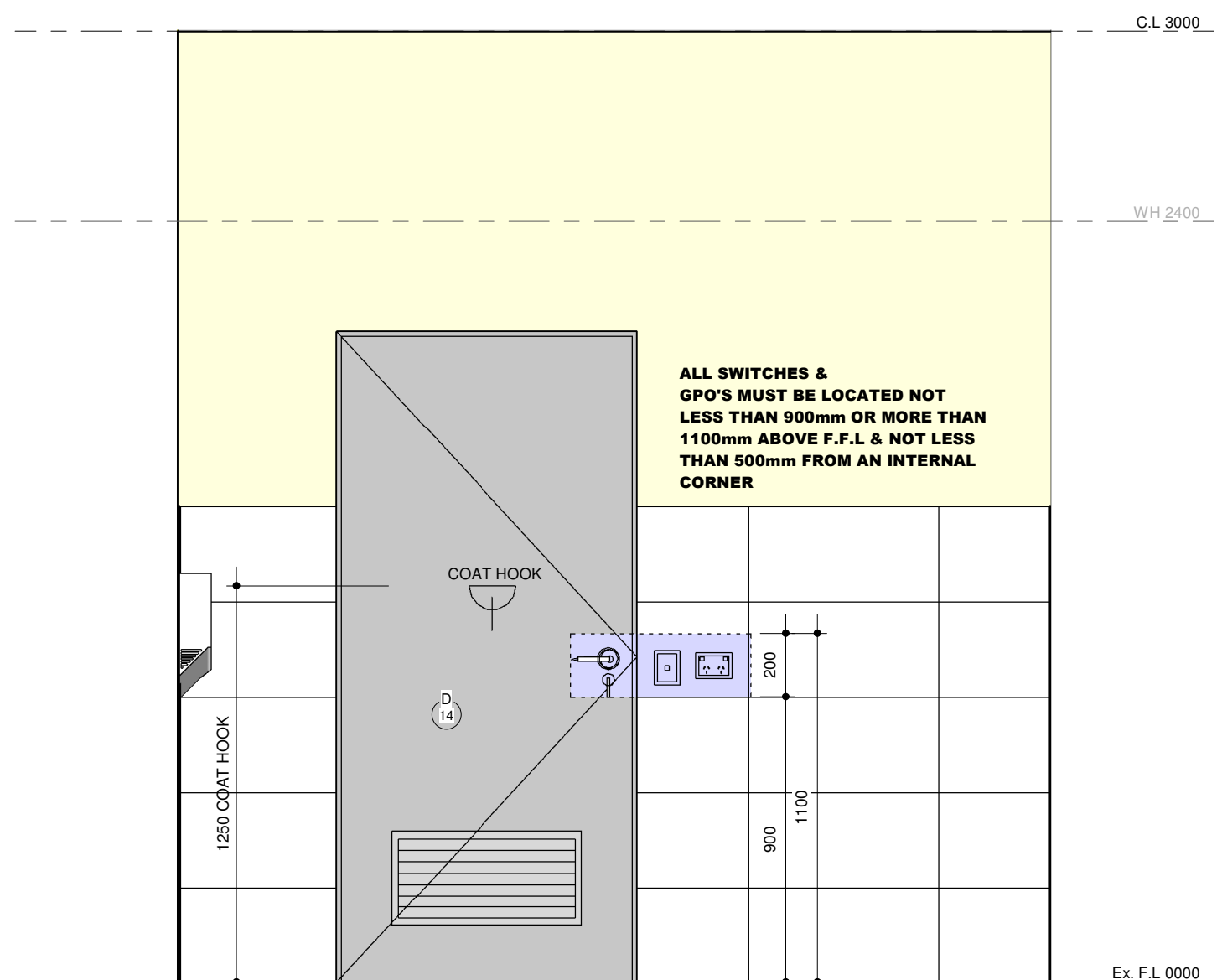
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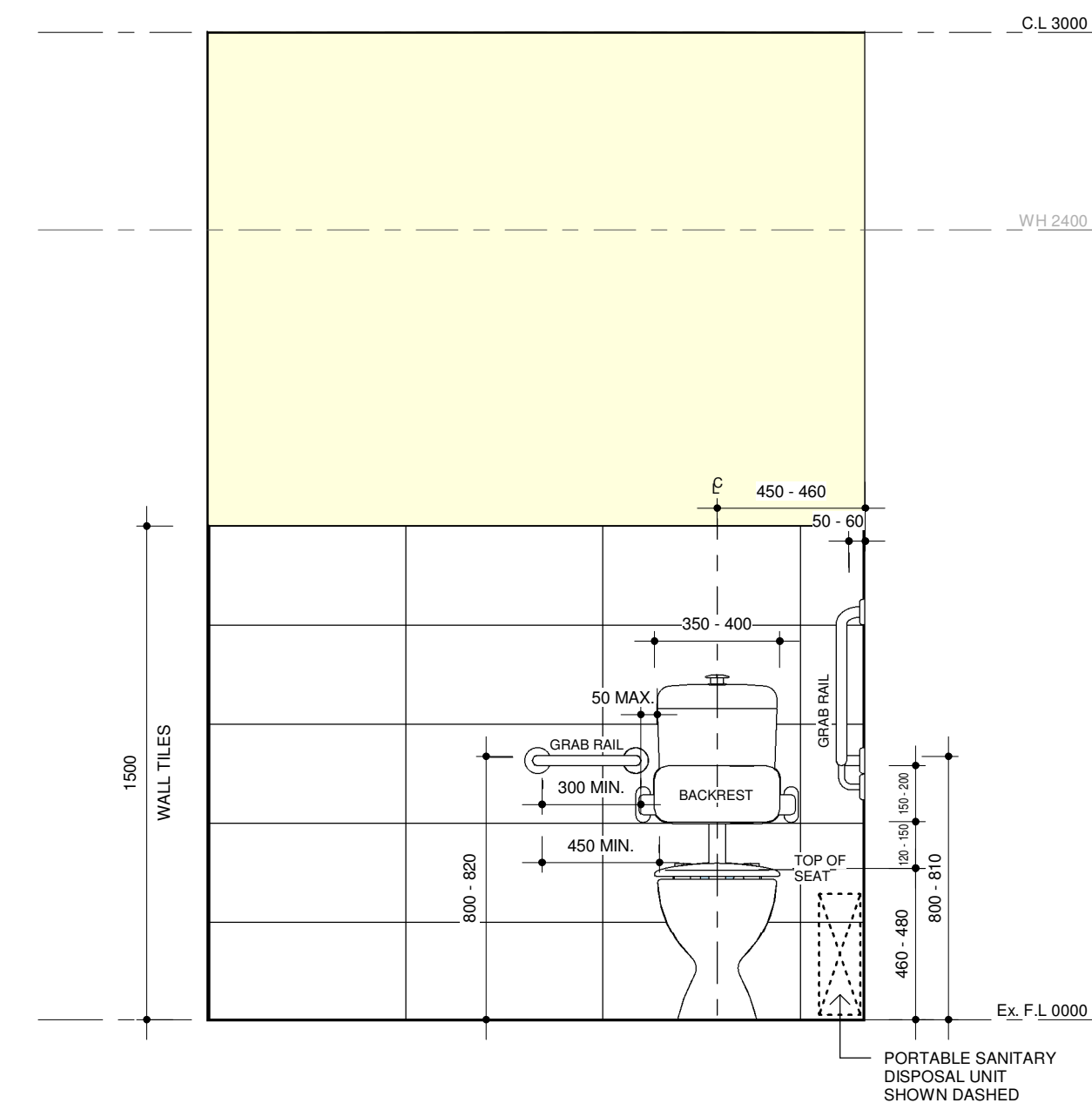
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1 : 20



1 : 20



1 : 20

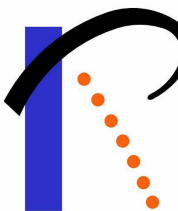
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VIC:- DP/AD 1076

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ABN 72 003 725 246
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Checked By: **EUAN**

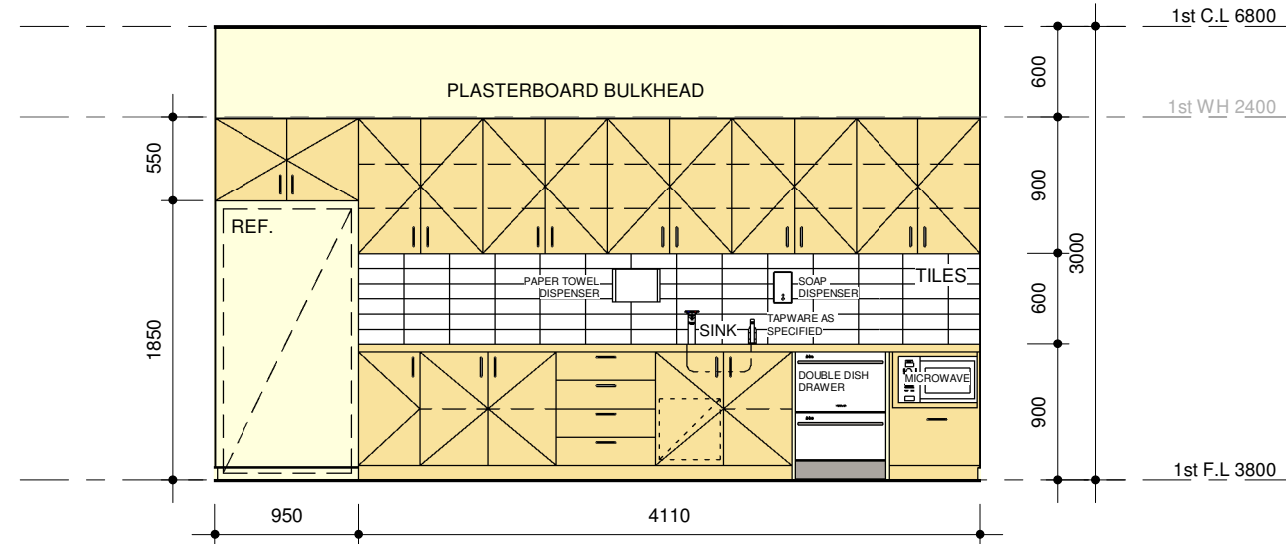
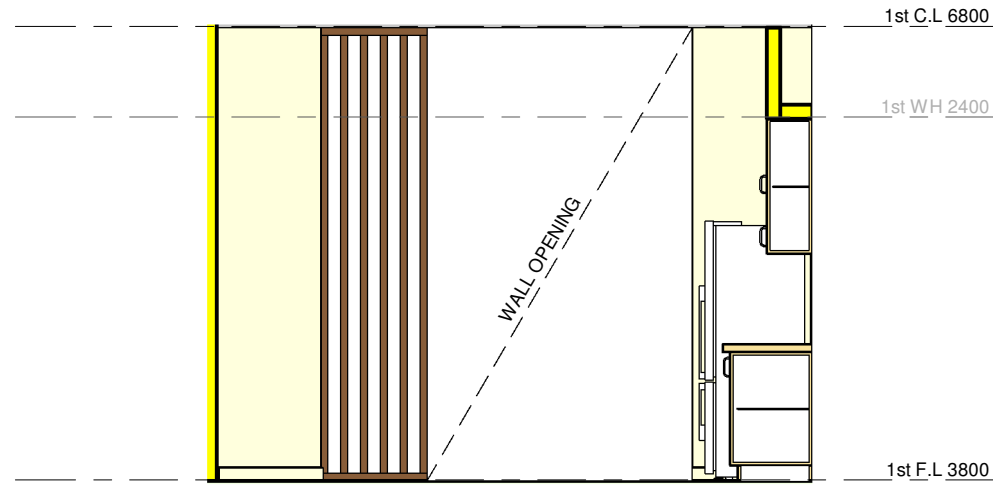
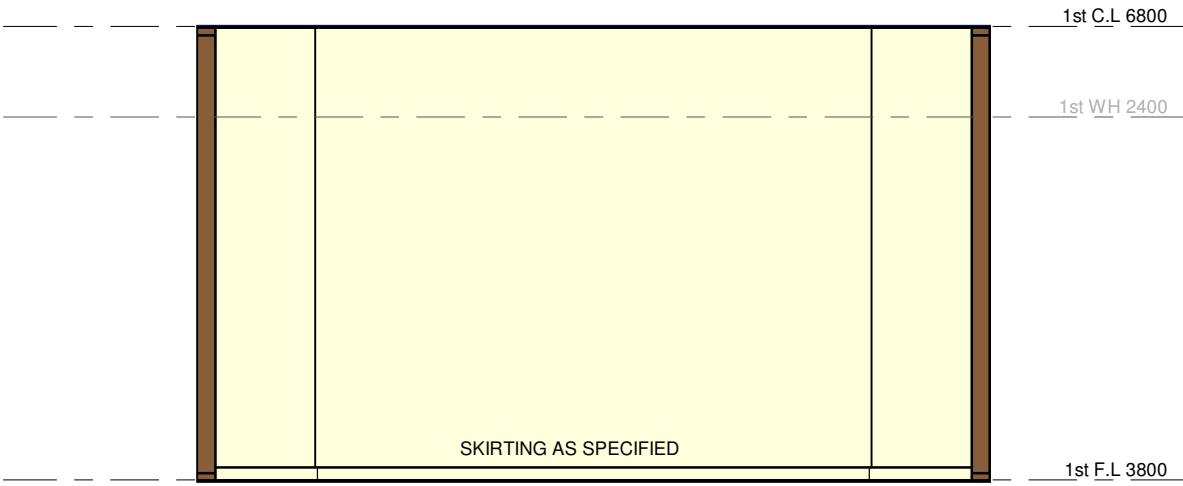
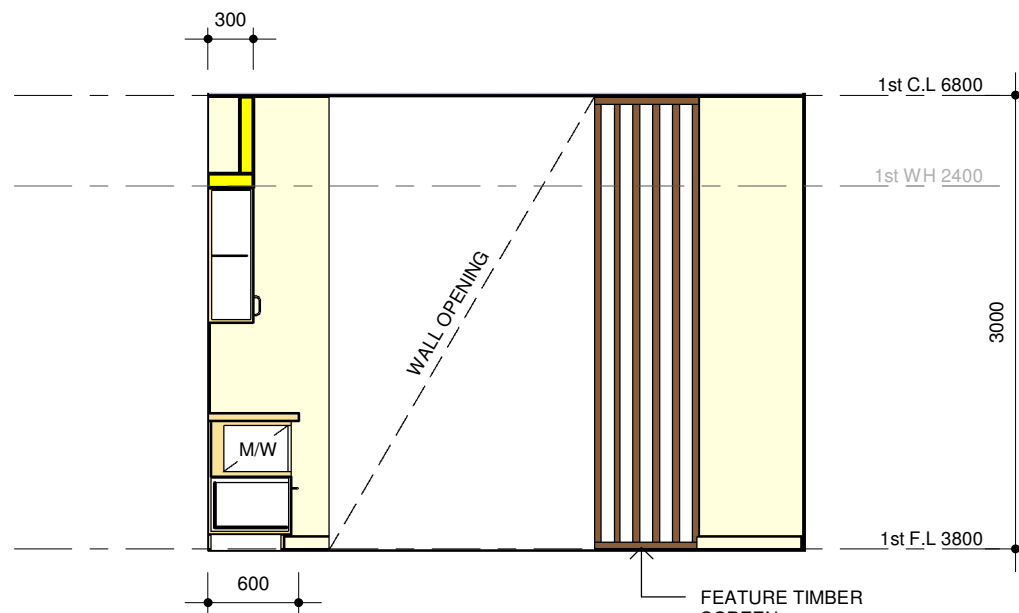
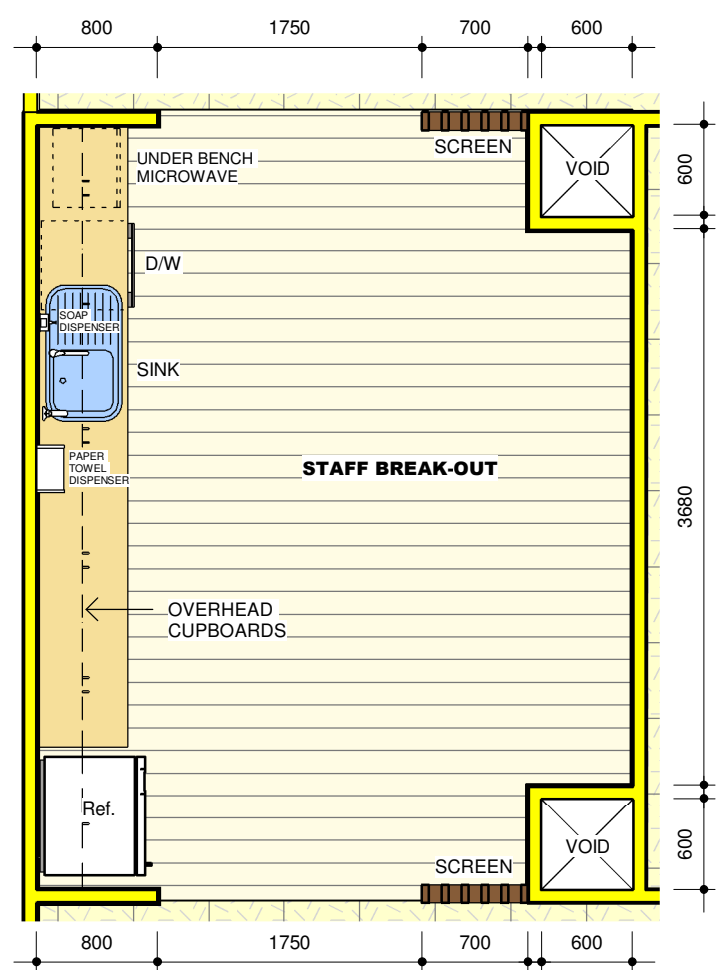
ROB PICKETT DESIGN
PO Box 3054 Albury NSW 2640
www.rpdesign.com.au
Email: euan@rpdesign.com.au
PHONE 02 6021 1355
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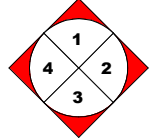
At: 28 DRAGE ROAD, WODONGA VIC 3690

Job No: 7608

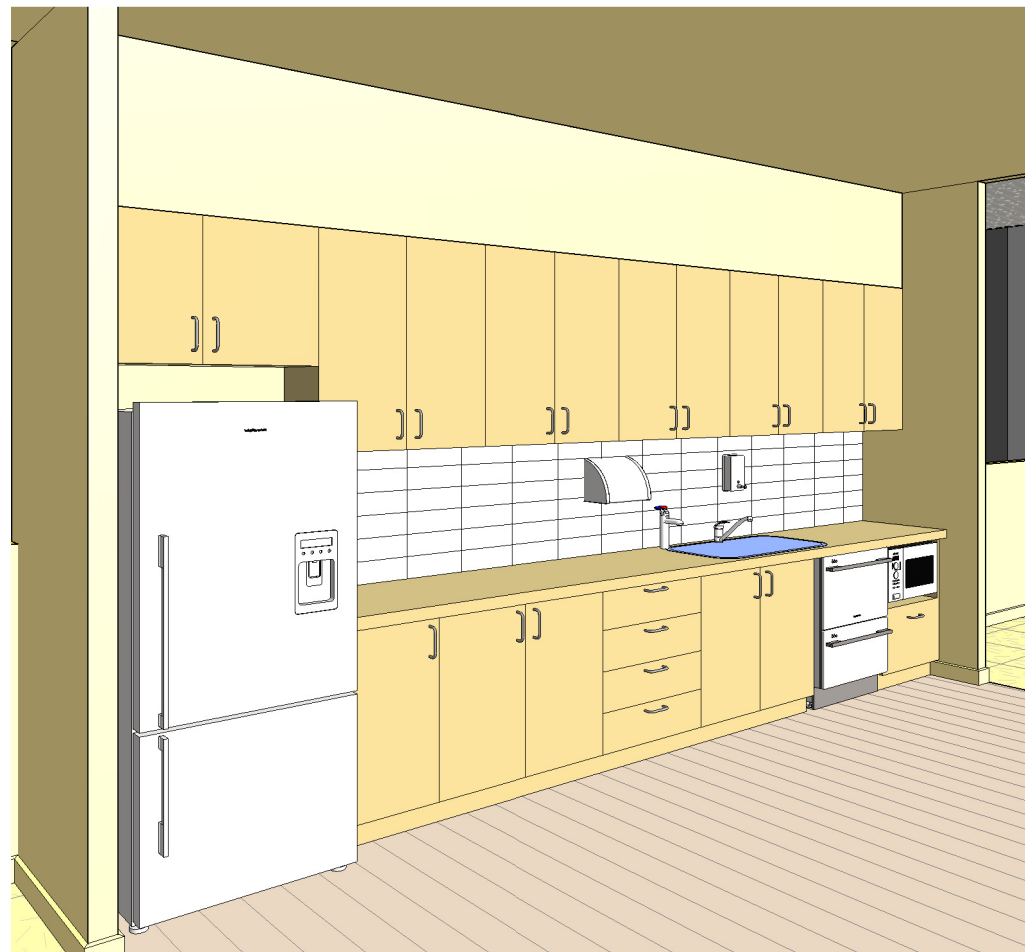
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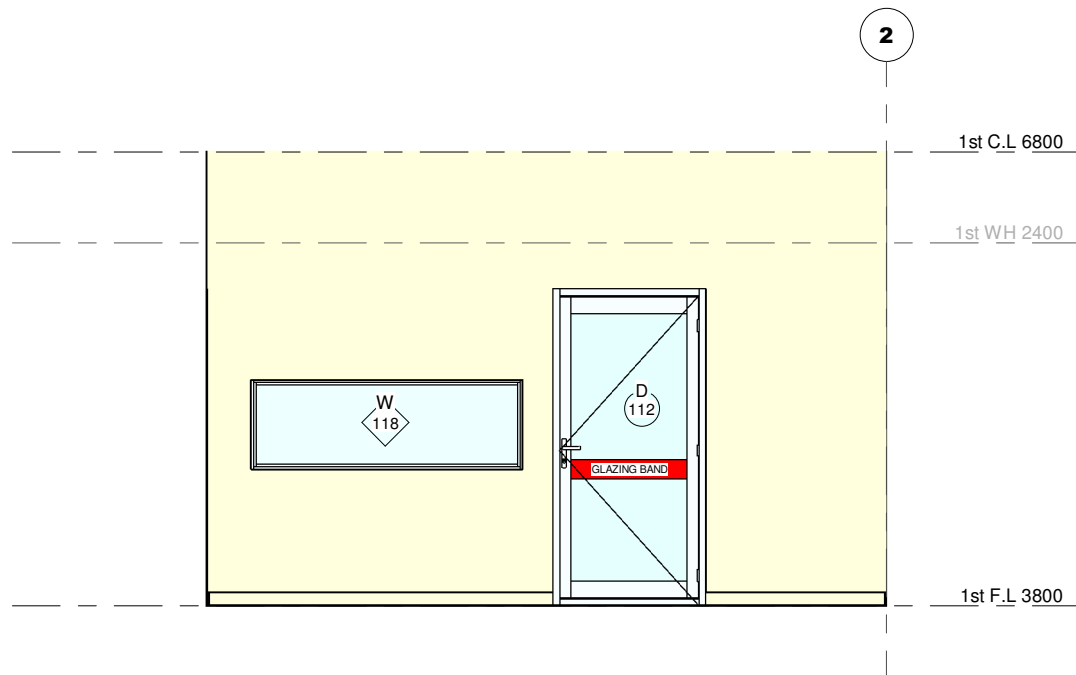
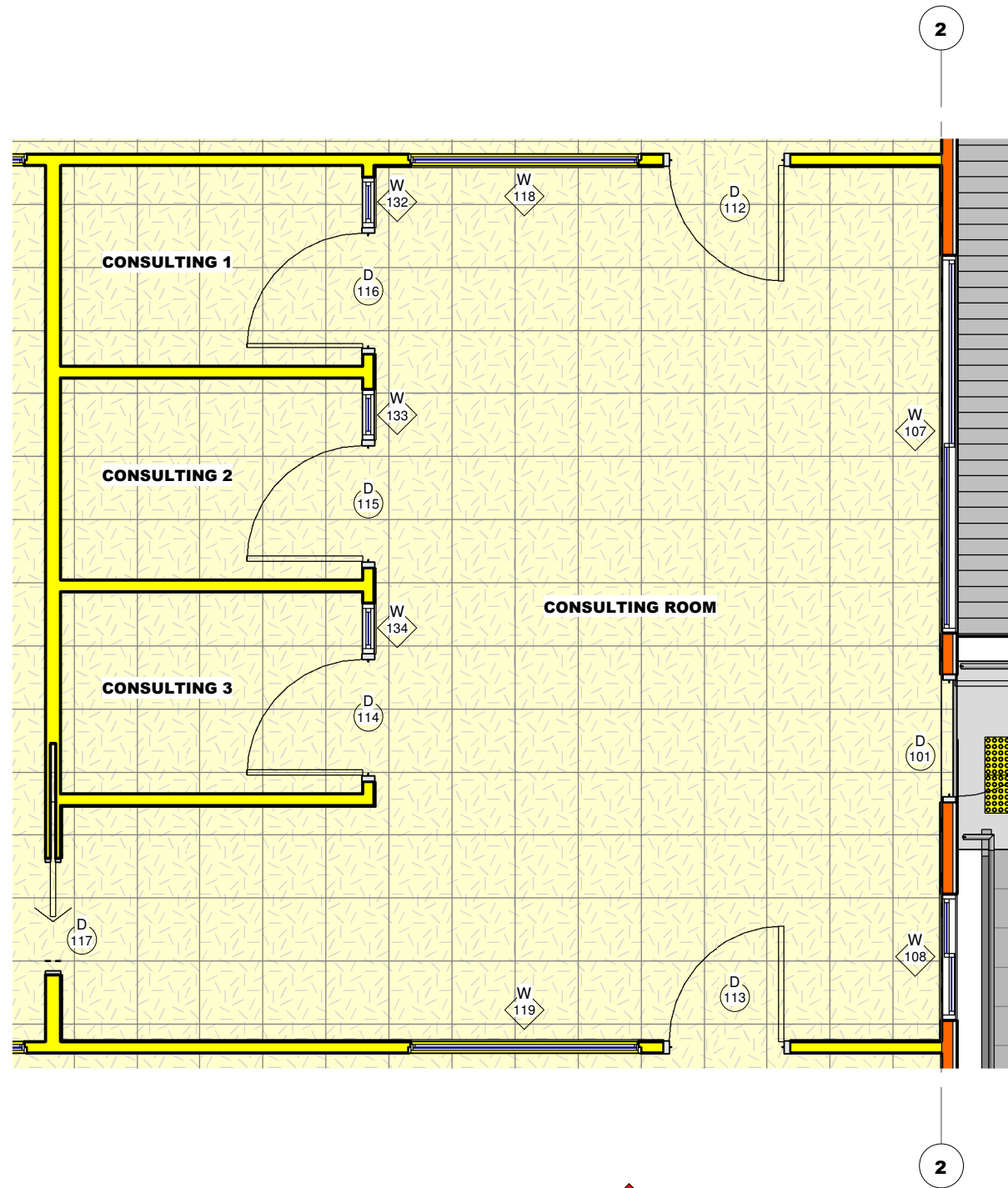
CALLOUT - STAFF BREAK-OUT
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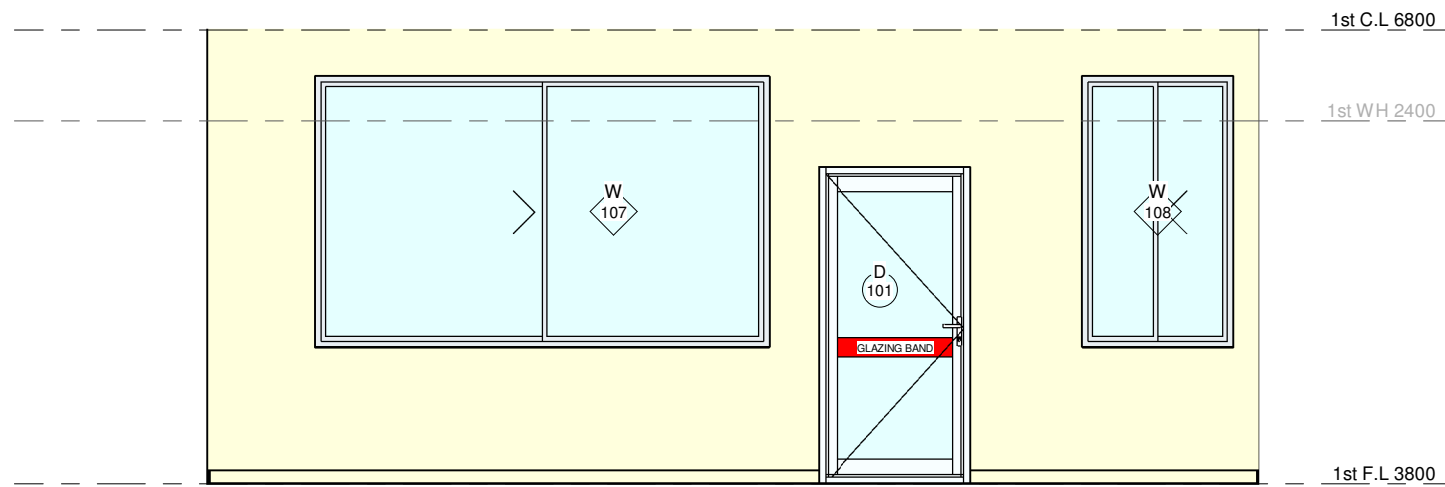
STAFF BREAK-OUT 1



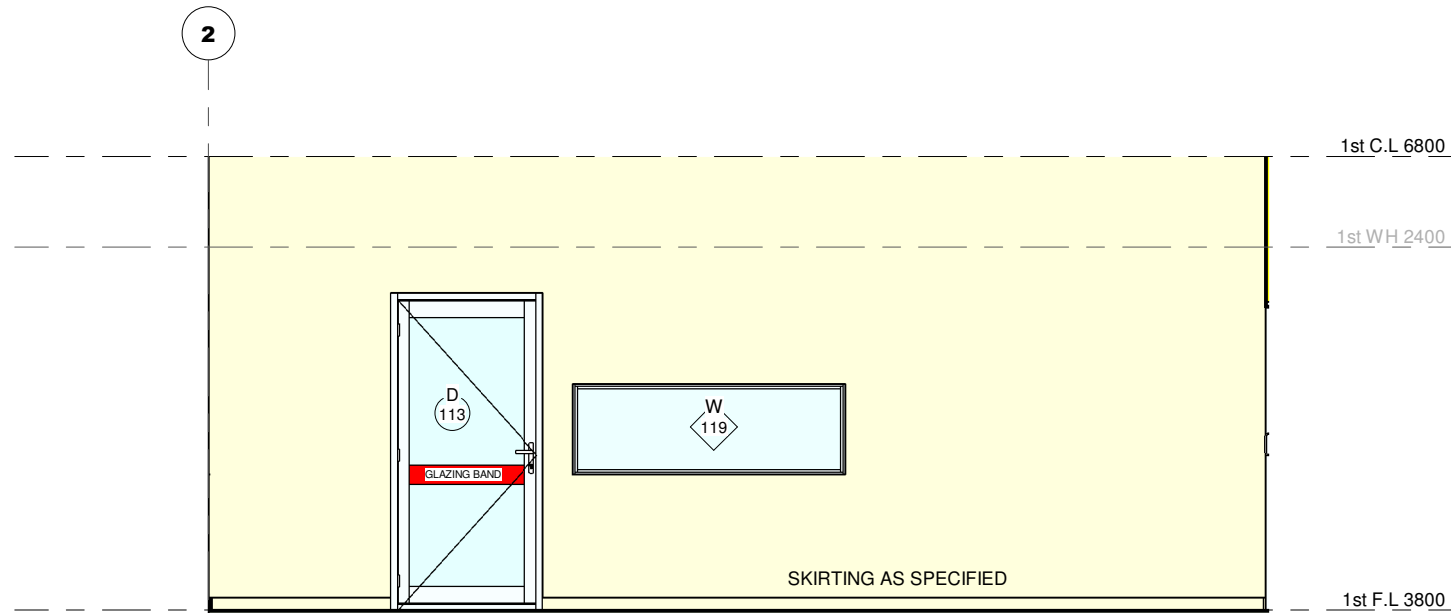
STAFF BREAK OUT 2



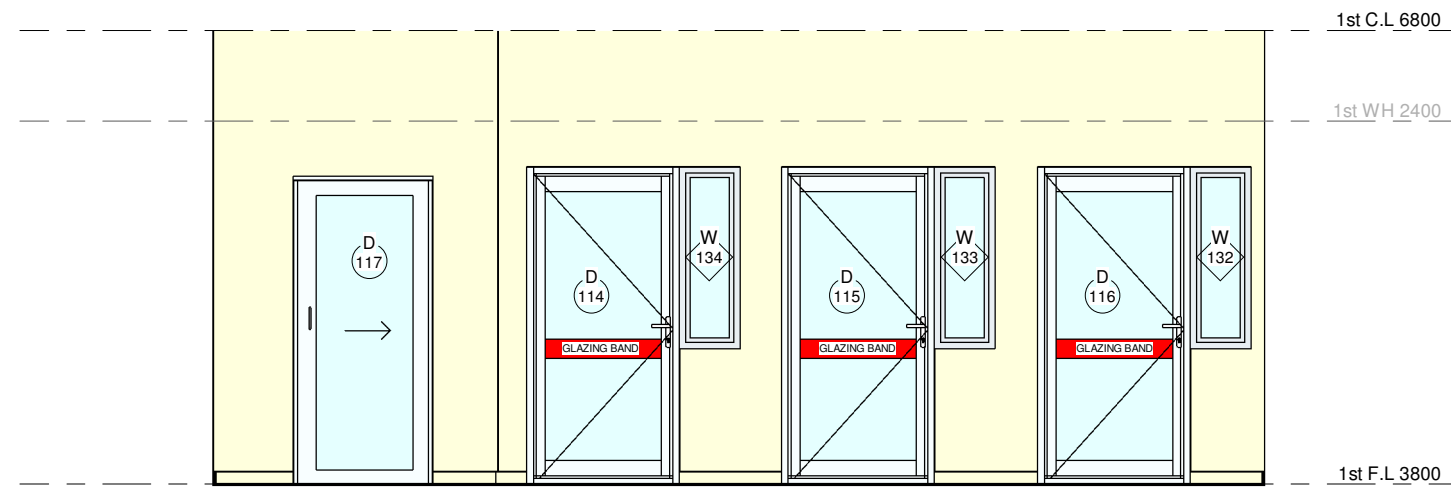
CONSULTING - ELEVATION 1
1 : 50



CONSULTING - ELEVATION 2
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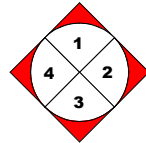


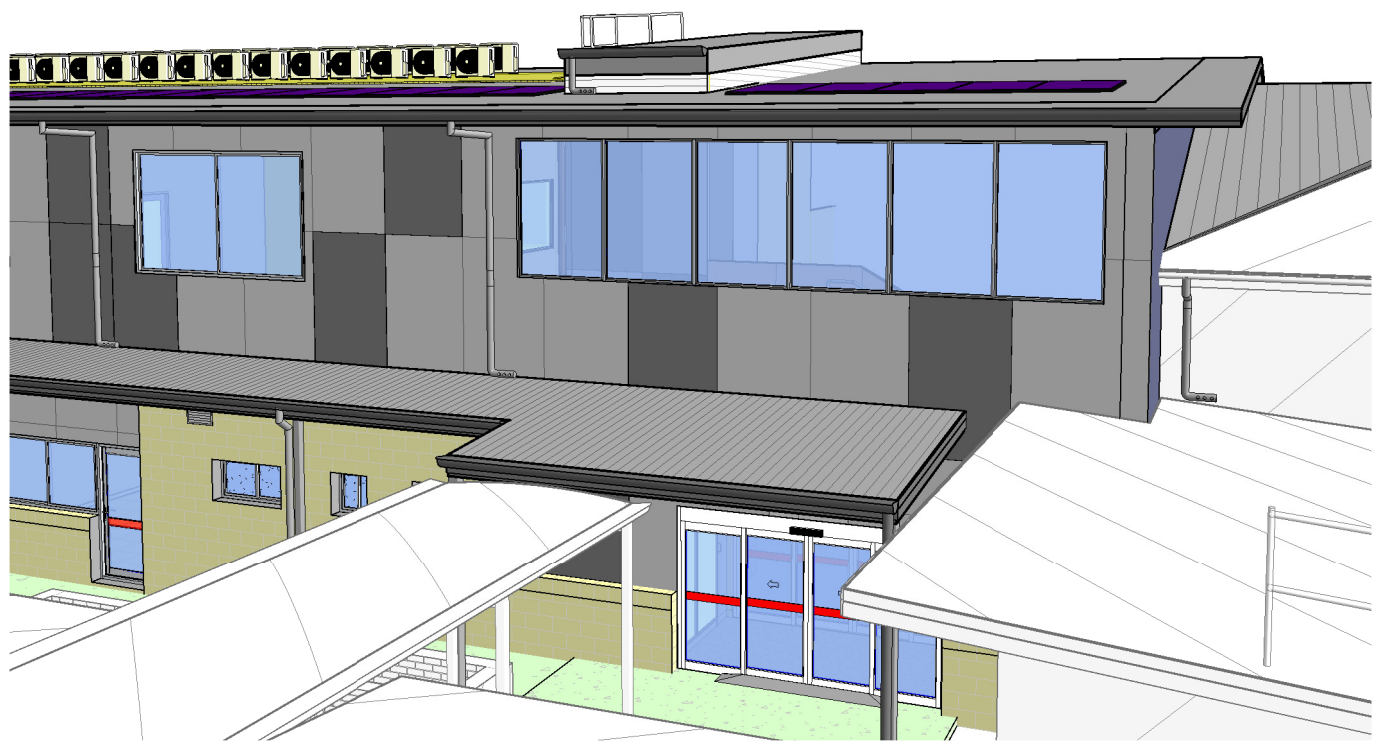
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CONSULTING - ELEVATION 4
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CALLOUT - CONSULTING
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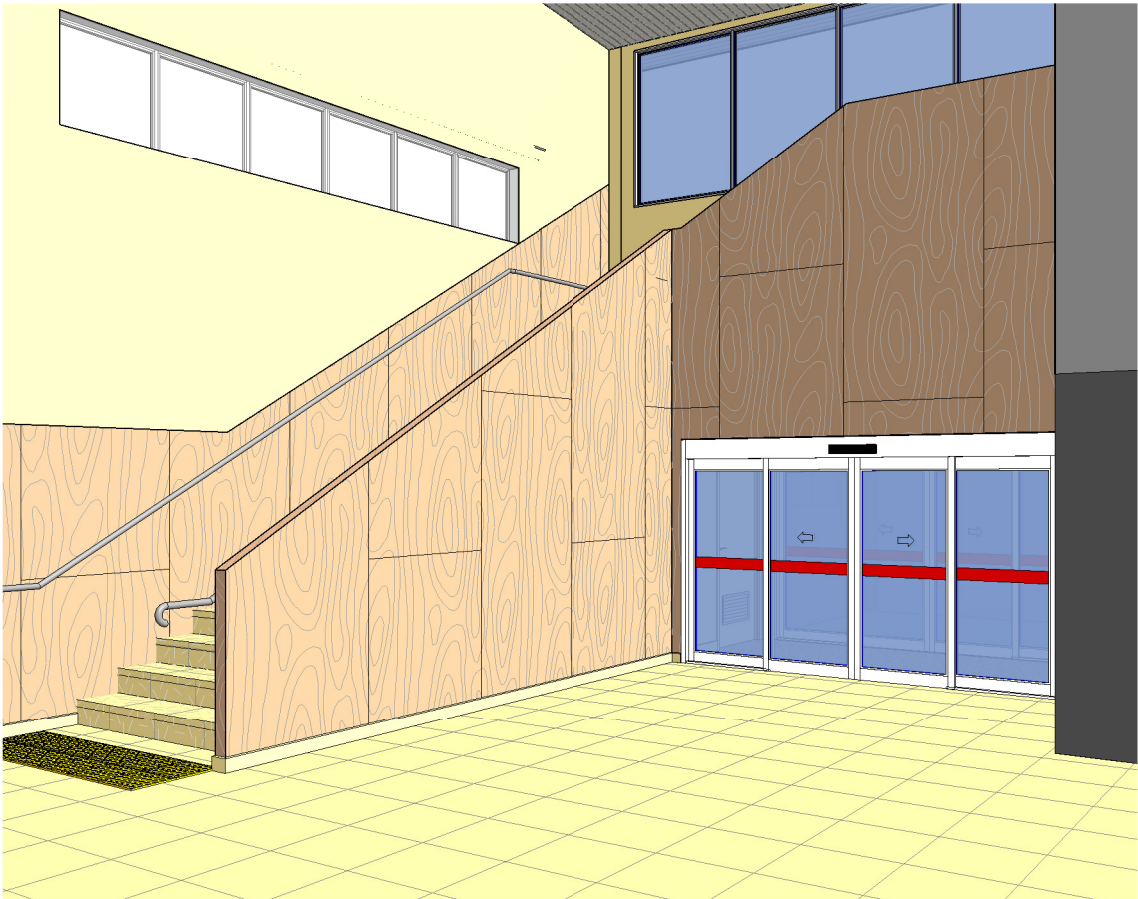




WEST ENTRY ROOF 1



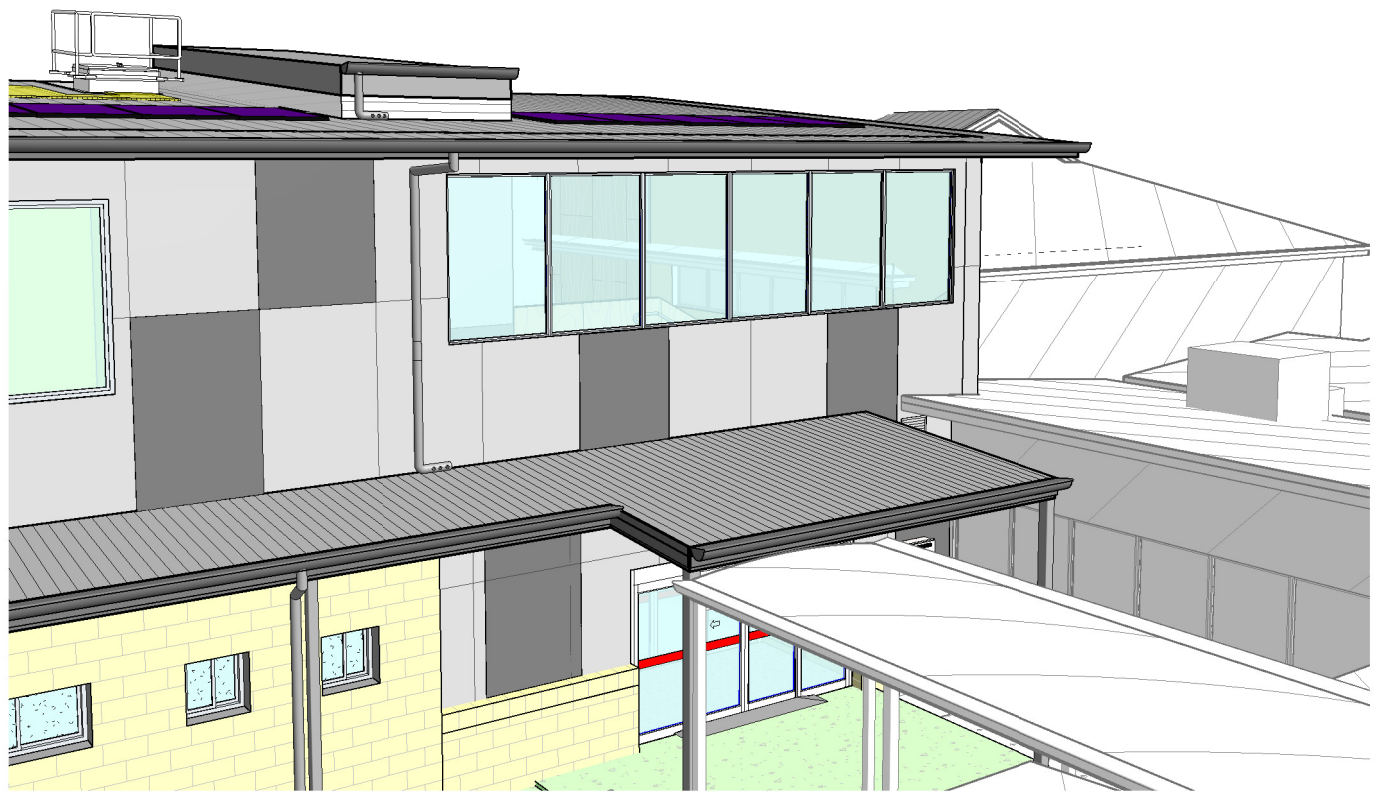
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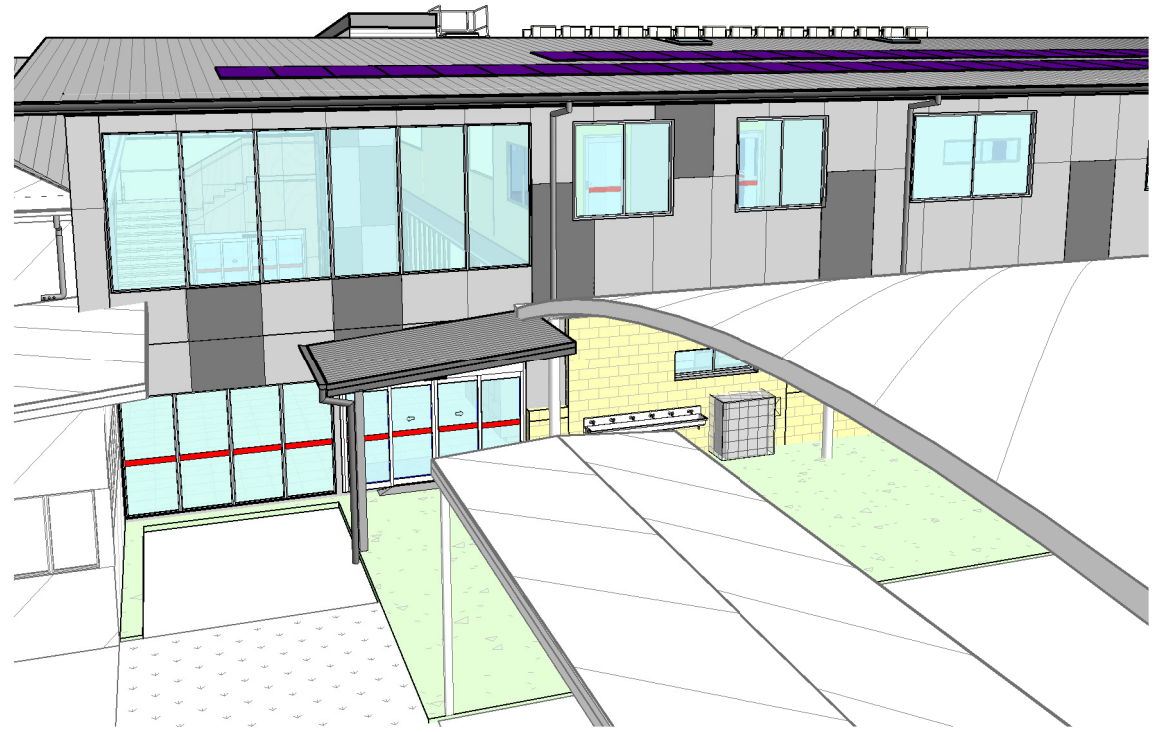
DISPLAY AREA 4



DISPLAY AREA 6



WEST ENTRY ROOF 2



EAST ENTRY ROOF 2



DISPLAY AREA 5



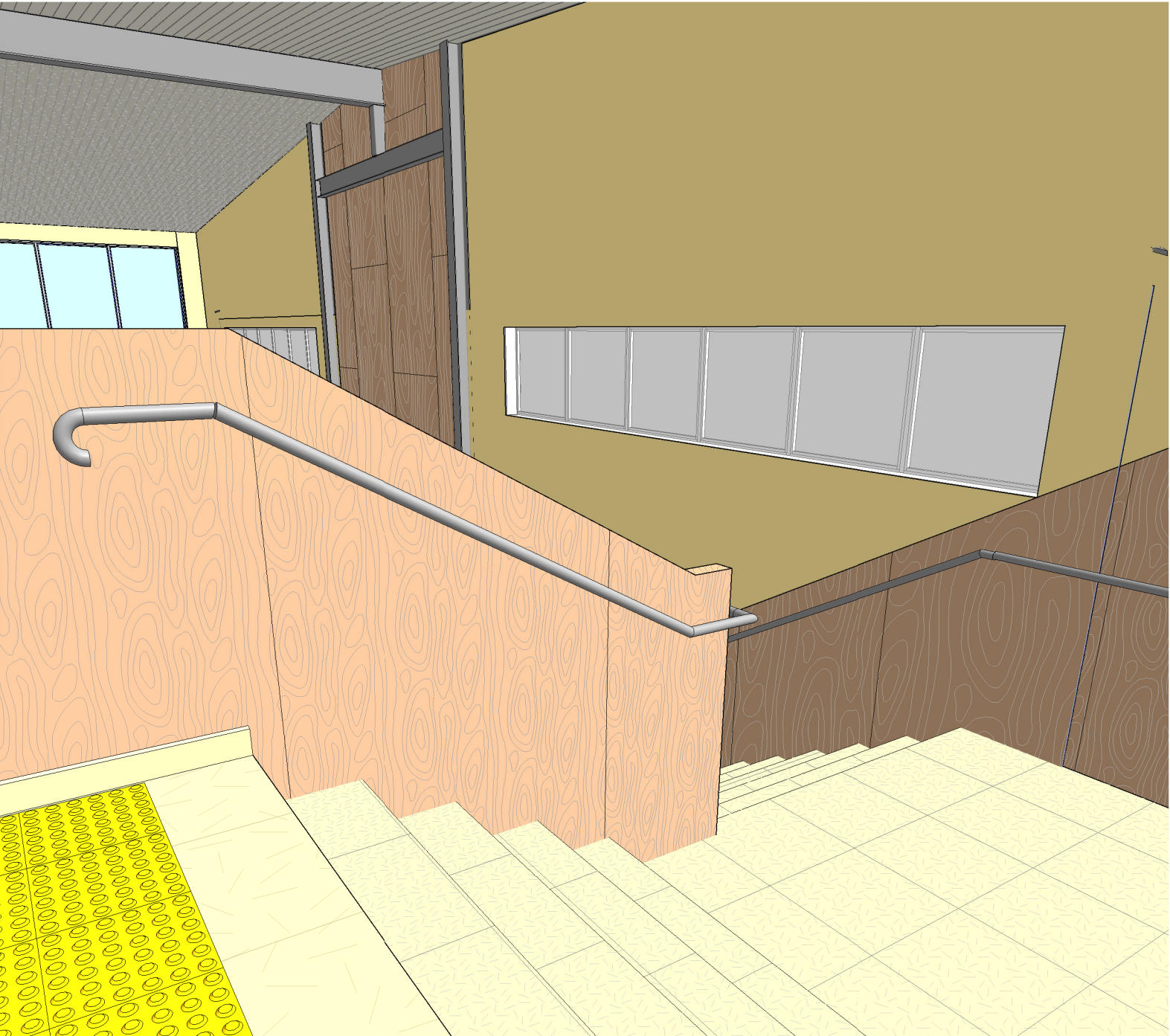
STAIR 1



WEST ENTRY ROOF 3



EAST ENTRY ROOF 3



STAIR 2