



# VINCENT JARVIS STUDIO

28 PLATINUM COURT  
THRUGOONA NSW  
2640

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DIRECTOR

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VINCENT JARVIS STUDIO PTY LTD  
ABN 66 654 661 588 ACN 654 661 588  
86 ROWENA PARADE RICHMOND VIC 3121

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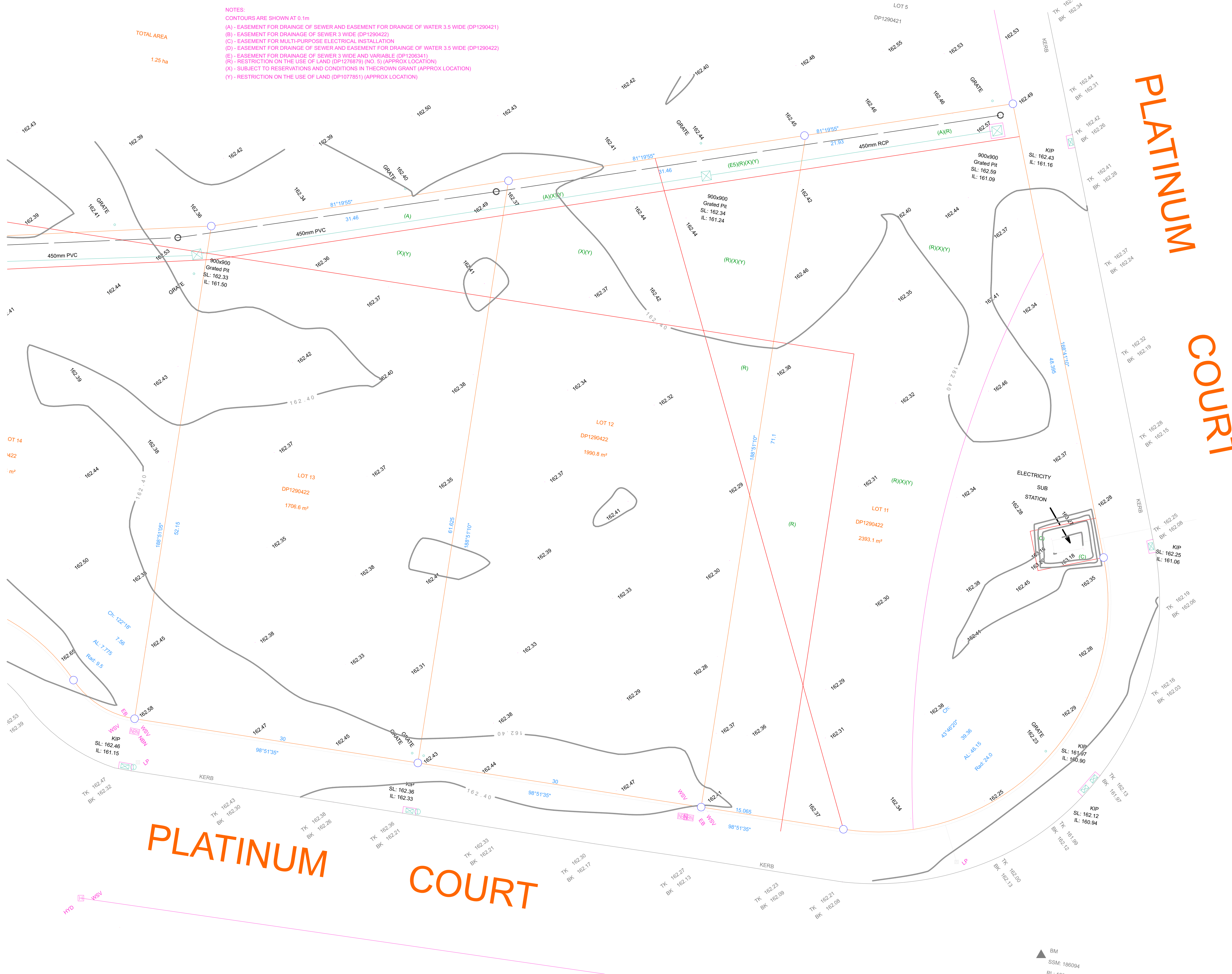
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NOTES:  
CONTOURS ARE SHOWN AT 0.1m  
(A) - EASEMENT FOR DRAINAGE OF SEWER AND EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP1290421)  
(B) - EASEMENT FOR DRAINAGE OF SEWER 3 WIDE (DP1290422)  
(C) - EASEMENT FOR MULTI-PURPOSE ELECTRICAL INSTALLATION  
(D) - EASEMENT FOR DRAINAGE OF SEWER AND EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP1290422)  
(E) - EASEMENT FOR DRAINAGE OF SEWER 3 WIDE AND VARIABLE (DP1206341)  
(R) - RESTRICTION ON THE USE OF LAND (DP1077851) (NO. 5) (APPROX LOCATION)  
(X) - SUBJECT TO RESERVATIONS AND CONDITIONS IN THE CROWN GRANT (APPROX LOCATION)  
(Y) - RESTRICTION ON THE USE OF LAND (DP1077851) (APPROX LOCATION)

- GENERAL NOTES (NCC 2019 NCC VOL 2)**
- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2006, NATIONAL CONSTRUCTION CODE SERIES 2016 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
  - UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2018 BUILDING CODE OF AUSTRALIA VOLUME 2.
  - ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA, WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
  - GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:  
- BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3; AND - BCA VOL 1 PART B1.4 FOR CLASS 2 AND 9 BUILDINGS.
  - WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS  
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.
  - STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:  
- RISERS (R) 150MM MAXIMUM AND 115MM MINIMUM  
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM  
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM  
- WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS
  - ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
  - PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:  
- 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND - 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND  
- VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND  
- ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 400MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
  - WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2016 BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2015 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS. TOP OF HAND RAILS TO BE MINIMUM 865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS
  - WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
  - WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE BUILDING IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
  - CONCRETE STUMPS:  
- UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE)  
- 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES)  
- 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES)  
- 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED
  - BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS 4773.1-2010 'MASONRY IN SMALL BUILDINGS' PART 1: DESIGN.
  - ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
  - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
  - SITE PLAN MEASUREMENTS IN METRES
  - ALL OTHER MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.
  - FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
  - THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
  - THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
  - INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
  - THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
  - THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF ARCHITECTURE CAISSON (THE ARCHITECT) FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE ARCHITECT. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE ARCHITECT FOR SUCH USE AND/OR RELIANCE.
  - A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
  - THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE ARCHITECT. VARIATIONS TO THE PLANS MUST BE APPROVED BY THE ARCHITECT. VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.

**GROWING STARS**  
**TOWN PLANNING**

DATE	REASON FOR ISSUE
15/11/2023	TOWN PLANNING
15/11/2023	FOR CONSTRUCTION

COMPONENT OF THIS DRAWING AND THE DESIGN DESCRIBED HEREIN IS VESTED IN VINCENT JARVIS STUDIO PTY LTD  
BEFORE COMMENCING ANY WORK, CONTRACTORS MUST VERIFY ALL DIMENSIONS AND LEVELS ON THE SITE AND SUBMIT ALL SHOP DRAWINGS AND CUT AWAYINGS TO THE DESIGNER FOR THEIR WRITTEN APPROVAL.

**VINCENT JARVIS STUDIO**

RE: 28 PLATINUM COURT THRU GOONA NSW 2640

PROJECT: NEW WAREHOUSE

28 PLATINUM COURT THRU GOONA NSW 2640

**SURVEY & GENERAL NOTES**

DRAWN	DATE	PROJECT NO.
JS	24/23	2423
1:200@A1	NOV 2023	NOV 2023
CD01	NOV 2023	NOV 2023



BM  
SSM: 180394  
RL: 162.15  
(AHD)

LOCATION AREA OF  
WASTE COLLECTION  
NEW 1.8M TALL METAL  
PICKET FENCE

PROPOSED CROSSOVER  
DESIGNED TO COUNCILS  
VEHICLE CROSS  
REQUIREMENTS STD-R-38

LETTERBOX &  
NUMBER

NEW CROSS OVER  
DESIGNED TO COUNCILS  
VEHICLE CROSS  
REQUIREMENTS STD-R-38

NEW 2M TALL PALING  
FENCE

PLATINUM  
COURT

PLATINUM  
COURT

OWNING PARTY  
TOWN PLANNING

DATE  
18/05/2023

DESIGNED FOR  
CONSTRUCTION

PROJECT NO.  
2423

DATE  
18/05/2023

PROJECT  
NEW WAREHOUSE

DRAWN BY  
JS

PROJECT NO.  
2423

DATE  
18/05/2023

SCALE  
1:200@A1

DATE  
18/05/2023

PROJECT  
NEW WAREHOUSE

PROJECT NO.  
2423

DATE  
18/05/2023

PROJECT  
NEW WAREHOUSE

DRAWN BY  
JS

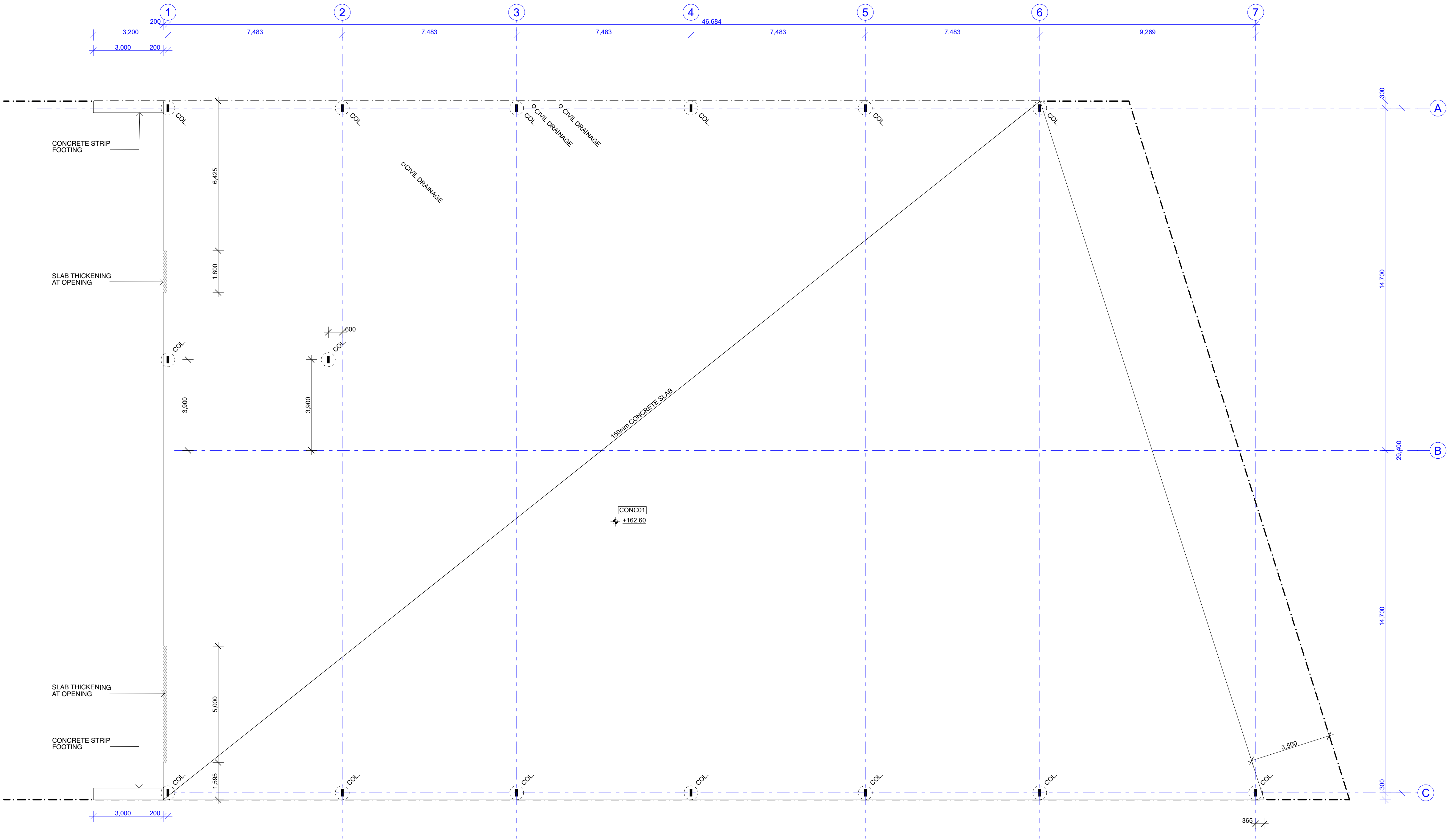
PROJECT NO.  
2423

DATE  
18/05/2023

SCALE  
1:200@A1

DATE  
18/05/2023

PROJECT  
NEW WAREHOUSE



1  
-  
CONCRETE SETOUT PLAN  
1:100

DRAWING STATUS  
TOWN PLANNING

TYPE	DATE	REASON FOR ISSUE
TYPE 1	2023/08/14	TOWN PLANNING
CD01	2023/08/14	FOR CONSTRUCTION

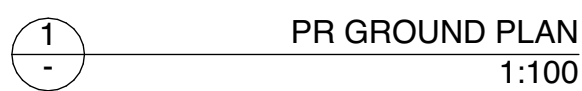
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**VINCENT JARVIS STUDIO**

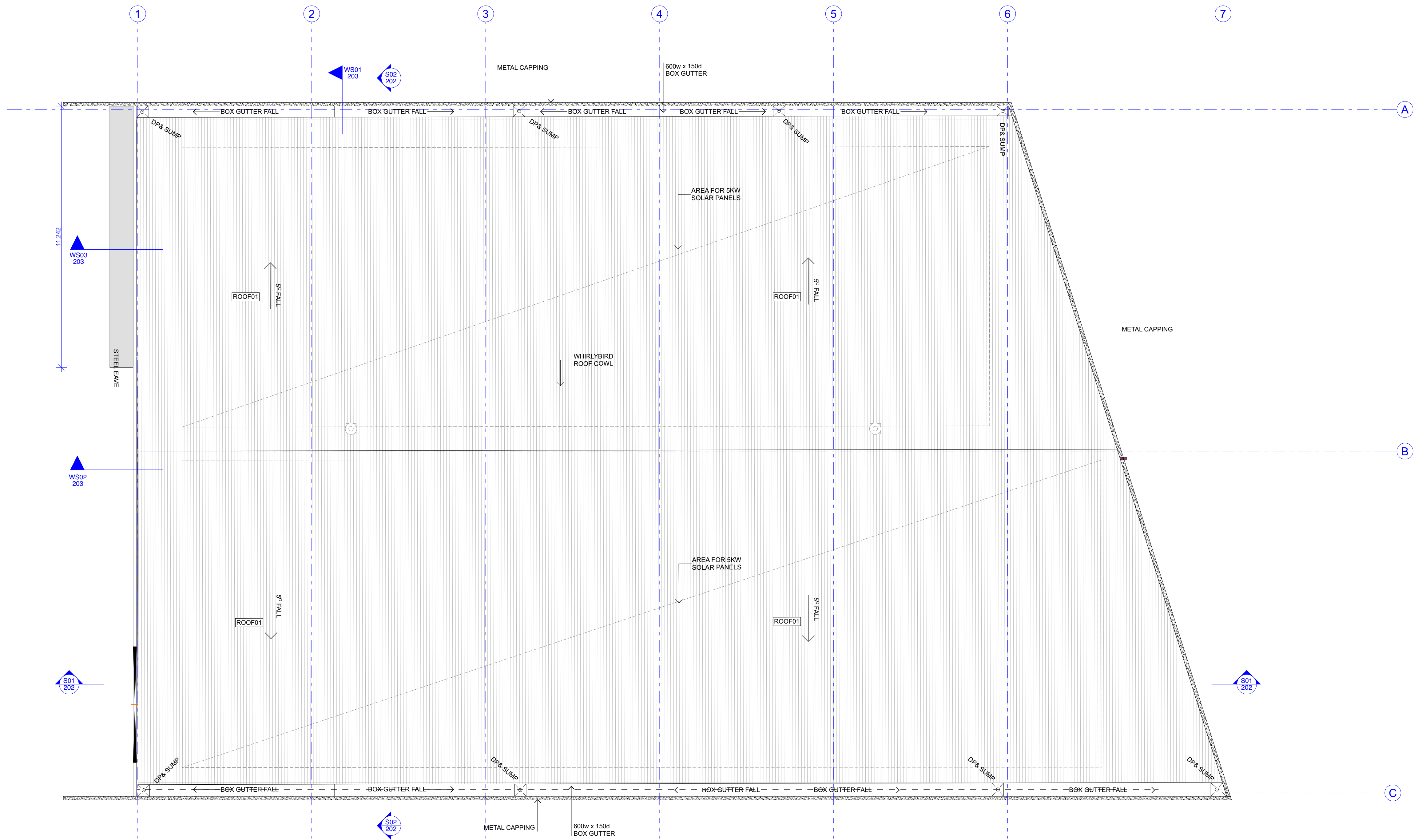
18 ROYAL PDE RICHMOND VICTORIA 3121 AUSTRALIA  
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PROJECT  
NEW WAREHOUSE  
28 PLATINUM COURT THRUOGOONA  
NSW 2640  
SHEET TITLE  
SUBFLOOR PLAN

DRAWN	PROJECT NO.
JS	2423
SCALE	DATE ISSUED
1:100@A1	NOV 2023
REVISION	SHEET NO.
CD01	104







1 PR ROOF PLAN  
1:100

DRAWING STATUS

TOWN PLANNING

TYPE	DATE	REASON FOR ISSUE
TYPE 1	21/03/2024	TOWN PLANNING
CODE 1	21/03/2024	FOR CONSTRUCTION

COMPROMISE OF THIS DRAWING AND THE DESIGN DESCRIBED HEREIN IS VESTED IN VINCENT JARVIS STUDIO PTY LTD.

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PROJECT

NEW WAREHOUSE  
28 PLATINUM COURT THRUOGOONA  
NSW 2640  
DRAWN BY  
ROOF PLAN

PROJECT NO.  
2423  
DATE ISSUED  
NOV 2023  
SCALE  
1:100@A1  
DRAWN BY  
CD01

106



1 PR RCP & ELECTRICAL PLAN  
1:100

RCP & ELECTRICAL LEGEND

BH XXXX	BULKHEAD HEIGHT
CH XXXX	CEILING HEIGHT
XXXX AFFL	NOMINATED HEIGHT ABOVE FINISHED FLOOR LEVEL
PC01	PLASTERBOARD CEILING
PC02	MOISTURE RESISTANT PLASTERBOARD CEILING
CONC01	EXPOSED CONCRETE CEILING
EAVE01	VILLABOARD
PLMT01	RECESSED INTERNAL BLIND PELMET

LT01	LED RECESSED MOUNTED DOWNLIGHT
LT02	LED RECESSED MOUNTED DOWNLIGHT - IP45 RATED
LT03	LED SURFACE MOUNTED DOWNLIGHT
LT04	SELECT INTERNAL WALL LIGHT TYPE 01
LT05	SELECT INTERNAL WALL LIGHT TYPE 02
LT06	SELECT EXTERNAL WALL LIGHT
LT07	EXTERNAL GARDEN LIGHT
PL01	FEATURE PENDANT LIGHT TYPE 01
PL02	FEATURE PENDANT LIGHT TYPE 02

EX	FLUSH CEILING ACCESS PANEL
SD	FLUSH MOUNTED CEILING EXHAUST GRILL
TH	DOMESTIC SMOKE DETECTOR
FX	THERMOSTAT
DT	FOXTEL
DT	DATA / INTERNET POINT
DT	WIRELESS INTERNET POINT
TV	MASTER TELEVISION AERIAL

PIR	PASSIVE INFRA RED SENSOR
SW	LIGHT SWITCH
SWD	LIGHT SWITCH WITH DIMMER
10A	10AMP SINGLE GPO
20A	10AMP DOUBLE GPO
10A+USB	10AMP DOUBLE GPO + INTEGRATED USB
10A+WP	10AMP WEATHERSHIELD DOUBLE GPO
MS	MOTION SENSOR

SERVICES LEGEND

HWS	HOT WATER SERVICE
MP	METER PANEL
PV01	PHOTOVOLTAIC SOLAR PANELS
RH01	RANGEHOOD TYPE 01
HYD	HYDRONIC BOILER/HEAT PUMP
SEC	SECURITY ACCESS PANEL
GAS	SWITCHBOARD
ELEC	GAS METER
WTR	ELECTRICAL METER
	WATER METER

SPECIALIST RCP & ELECTRICAL LEGEND

FB01	FLOORBOX 01
FB02	FLOORBOX 02
LED01	15W/MTR DIMMABLE WARM WHITE LED STRIP
LED02	LED STRIP ILLUMINATED GARMENT RAIL ON REED STRIP TO ROBE/WIR
LED03	LED PANEL LIGHT
LED04	10W/MTR IP65 FLEXIBLE LED STRIP WITH ALUMINIUM PROFILE

MECHANICAL LEGEND

GR01	LINEAR BAR GRILLE
LSD01	LINEAR SLOT DIFFUSER (CEILING MOUNTED)
RA	RETURN AIR
FCU	FAN COIL UNIT CONCEALED IN CEILING CAVITY/BULKHEAD
FCC	FAN COIL CONDENSER UNIT
MNF01	HYDRONIC MANIFOLD
HP01	HYDRONIC HEATING PANEL
WV01	WALL VENT FOR EXHAUST FAN

OWNING PARTY  
TOWN PLANNING

TYPE	DATE	REASON FOR ISSUE
001	2024-11-01	FOR CONSTRUCTION

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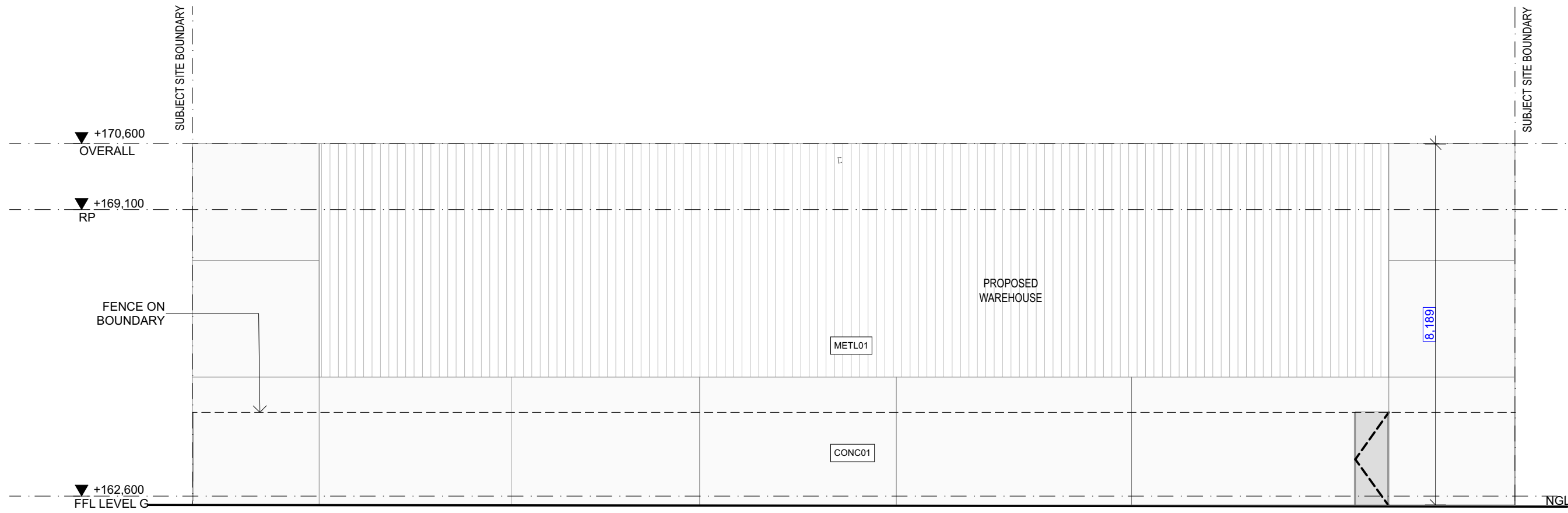
VINCENT JARVIS STUDIO

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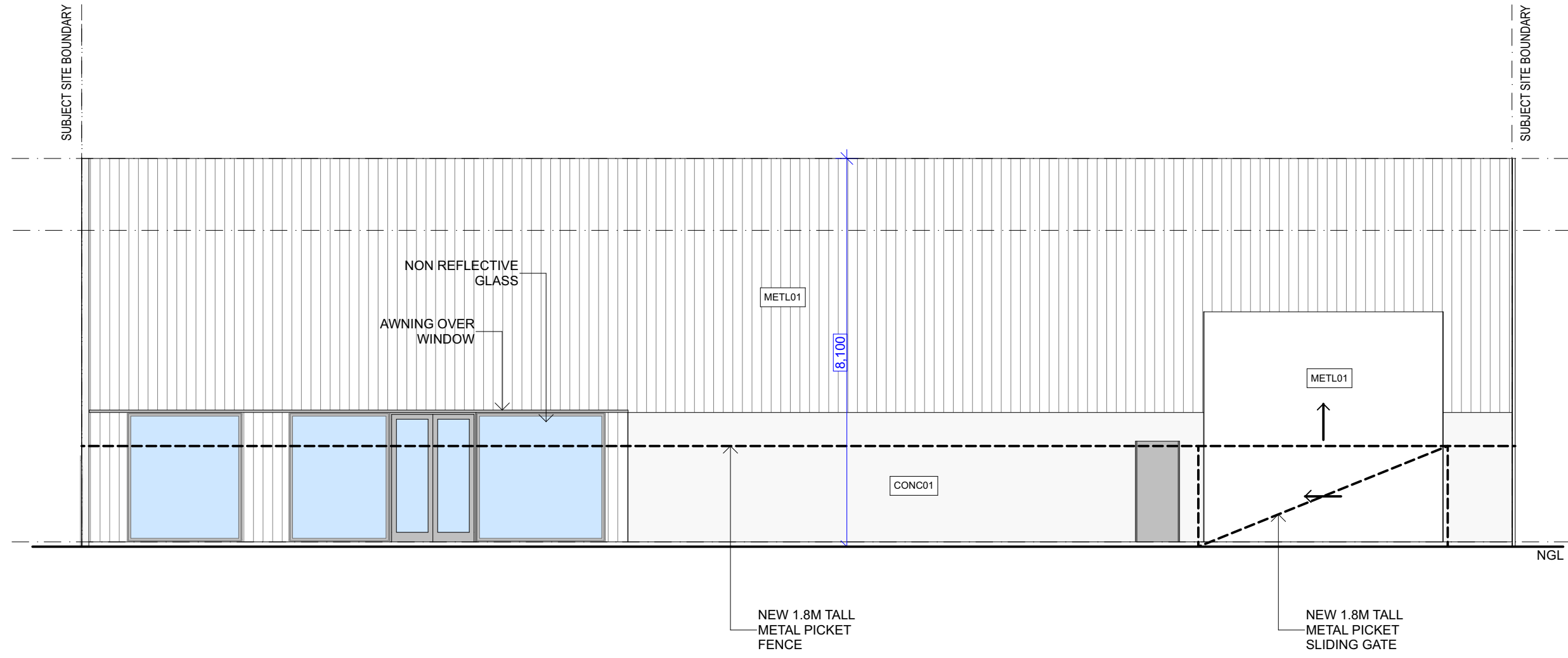
PROJECT  
NEW WAREHOUSE  
28 PLATINUM COURT THRU GOONA  
NSW 2640  
DRAWN BY  
CD01

PROJECT NO.  
2423  
DATE STARTED  
NOV 2023  
DRAWN BY  
107





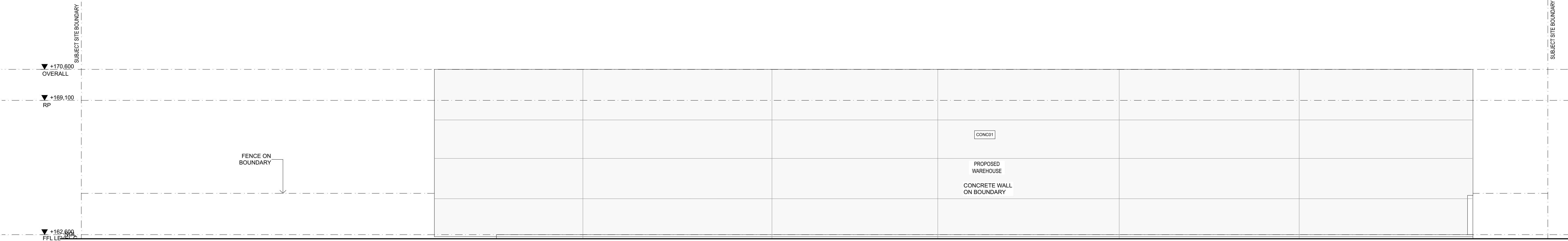
E01 NORTH ELEVATION LANEWAY  
1:100



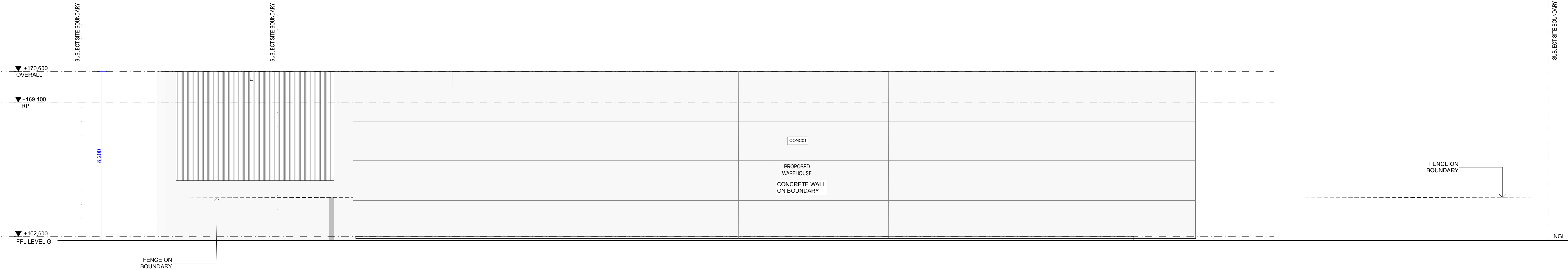
E03 SOUTH ELEVATION (STREET)  
1:100



EXTERNAL FINISHES LEGEND	
CONC01	CONCRETE 01 - TILT PANEL CONCRETE
METL01	METAL 01 - MONUMENT COLORBOND SHEET METAL



E02 EAST ELEVATION  
1:100



E04 WEST ELEVATION  
1:100

DRAWING STATUS

TOWN PLANNING

TYPE	DATE	REASON FOR ISSUE
ISSUED		TOWN PLANNING
REVISED		FOR CONSTRUCTION

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PROJECT

NEW WAREHOUSE

28 PLATINUM COURT THRU GOONA

NSW 2640

ELEVATION

DRAWN

JS

1:100@A1

CD01

PROJECT NO.

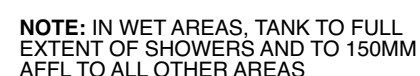
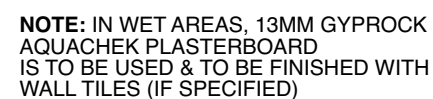
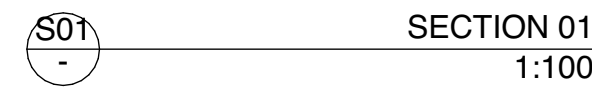
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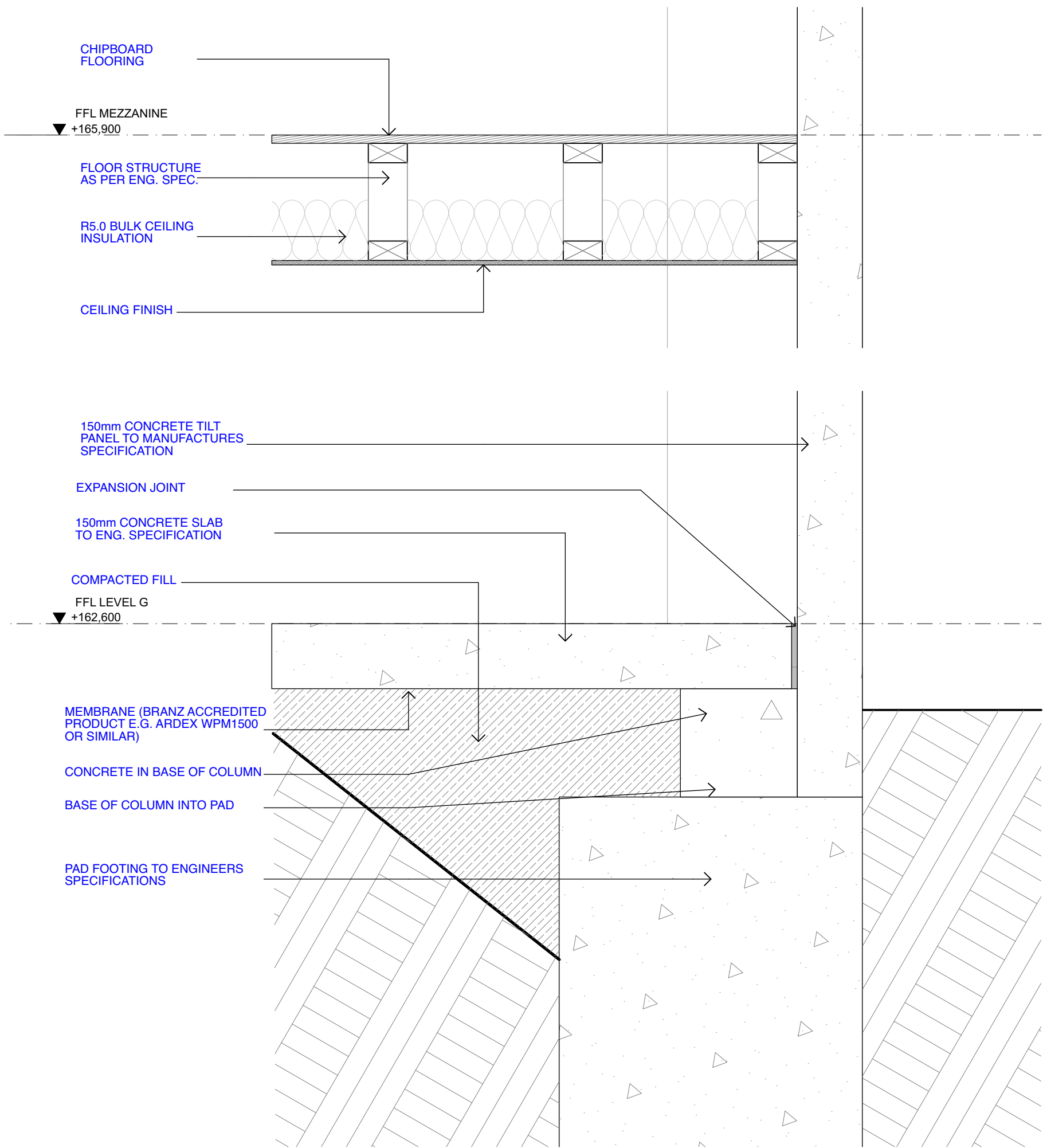
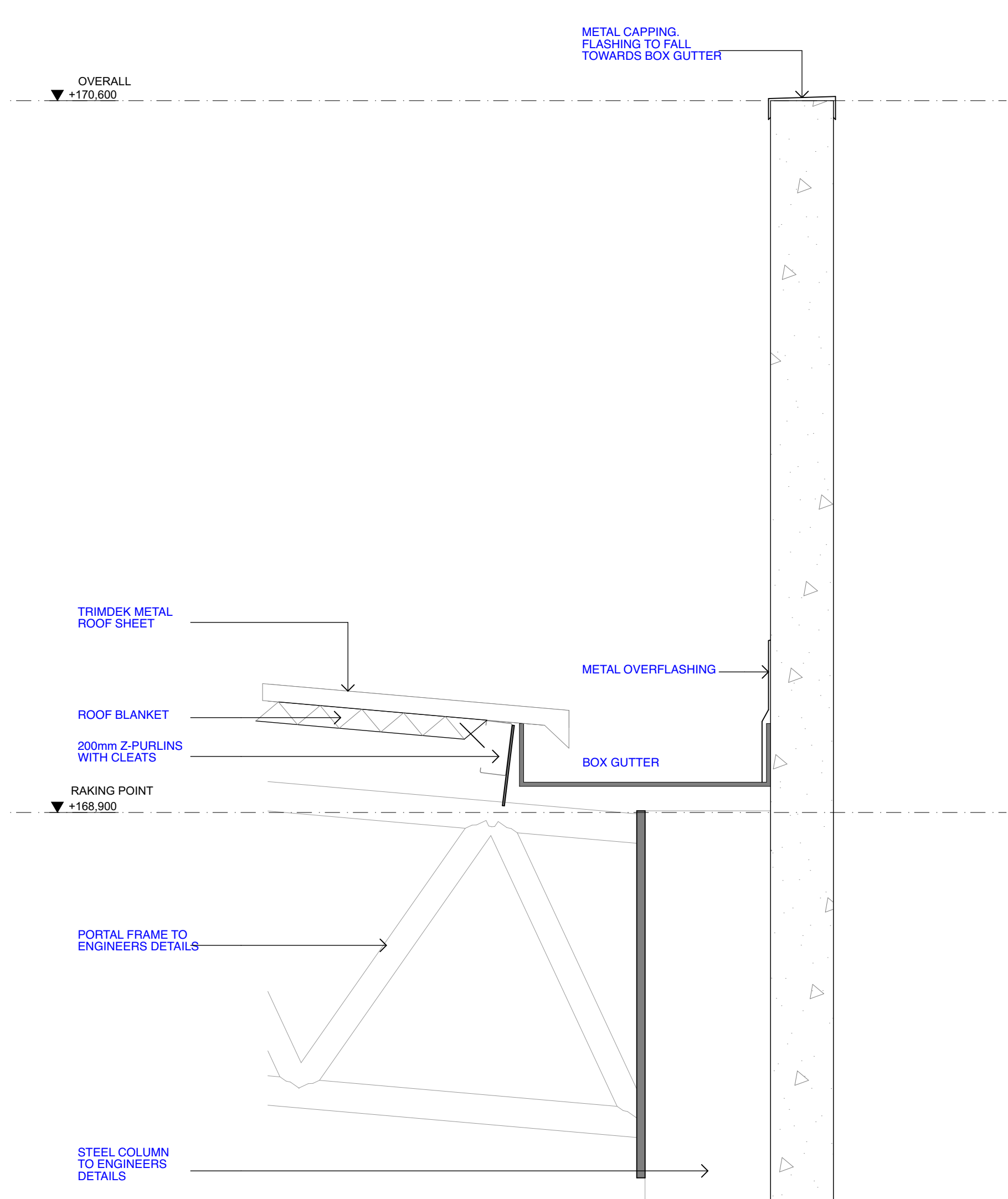
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DATE NO.

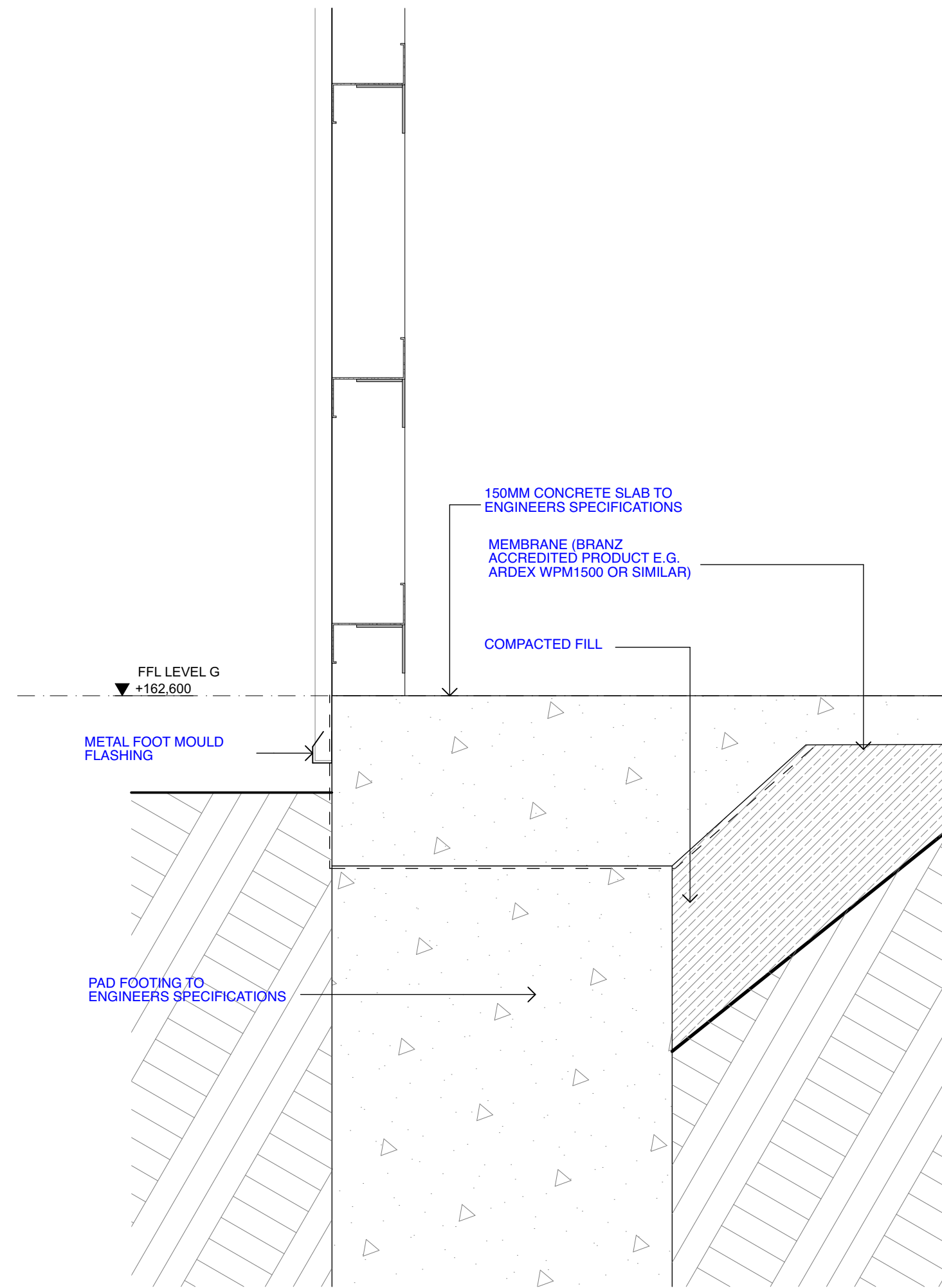
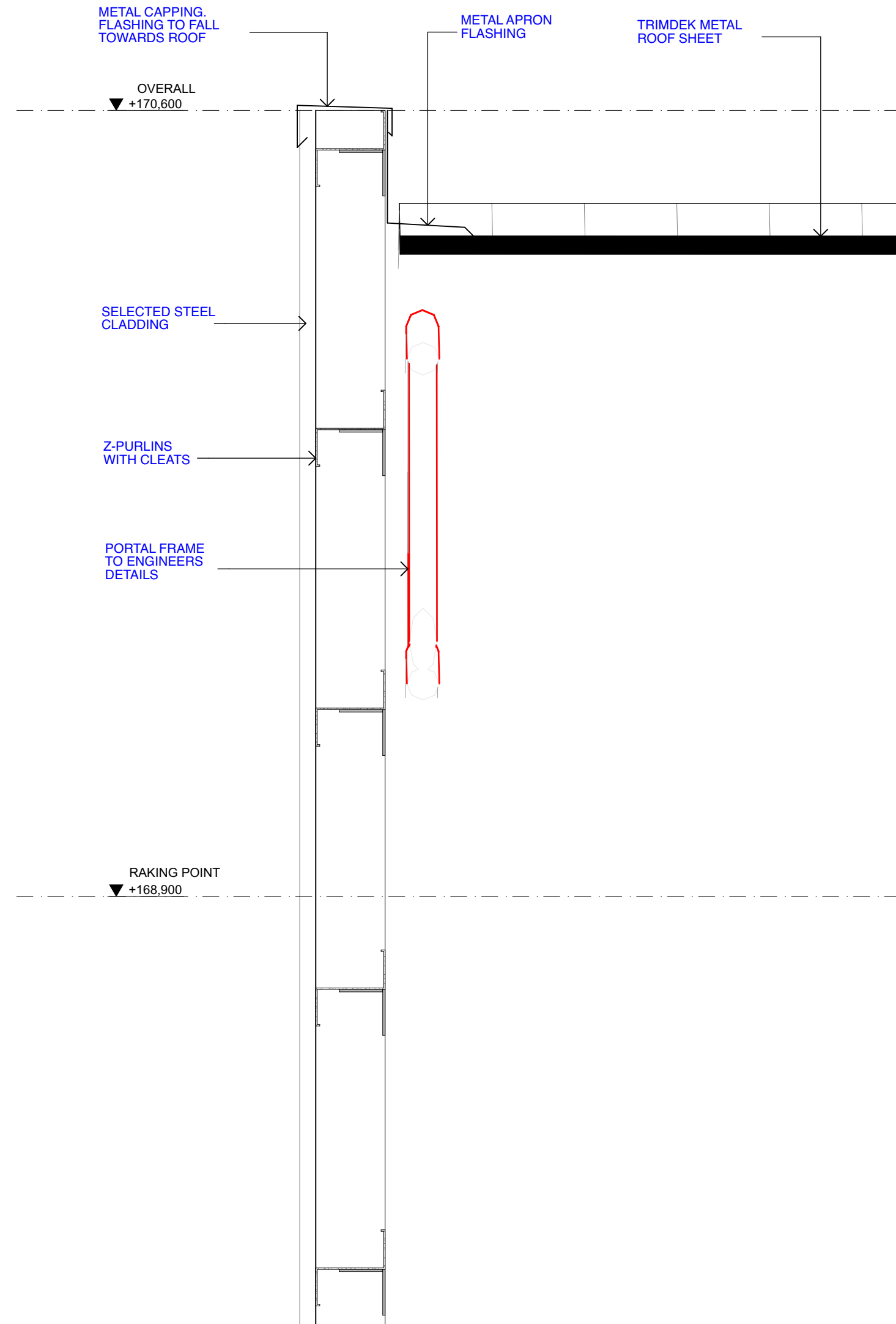
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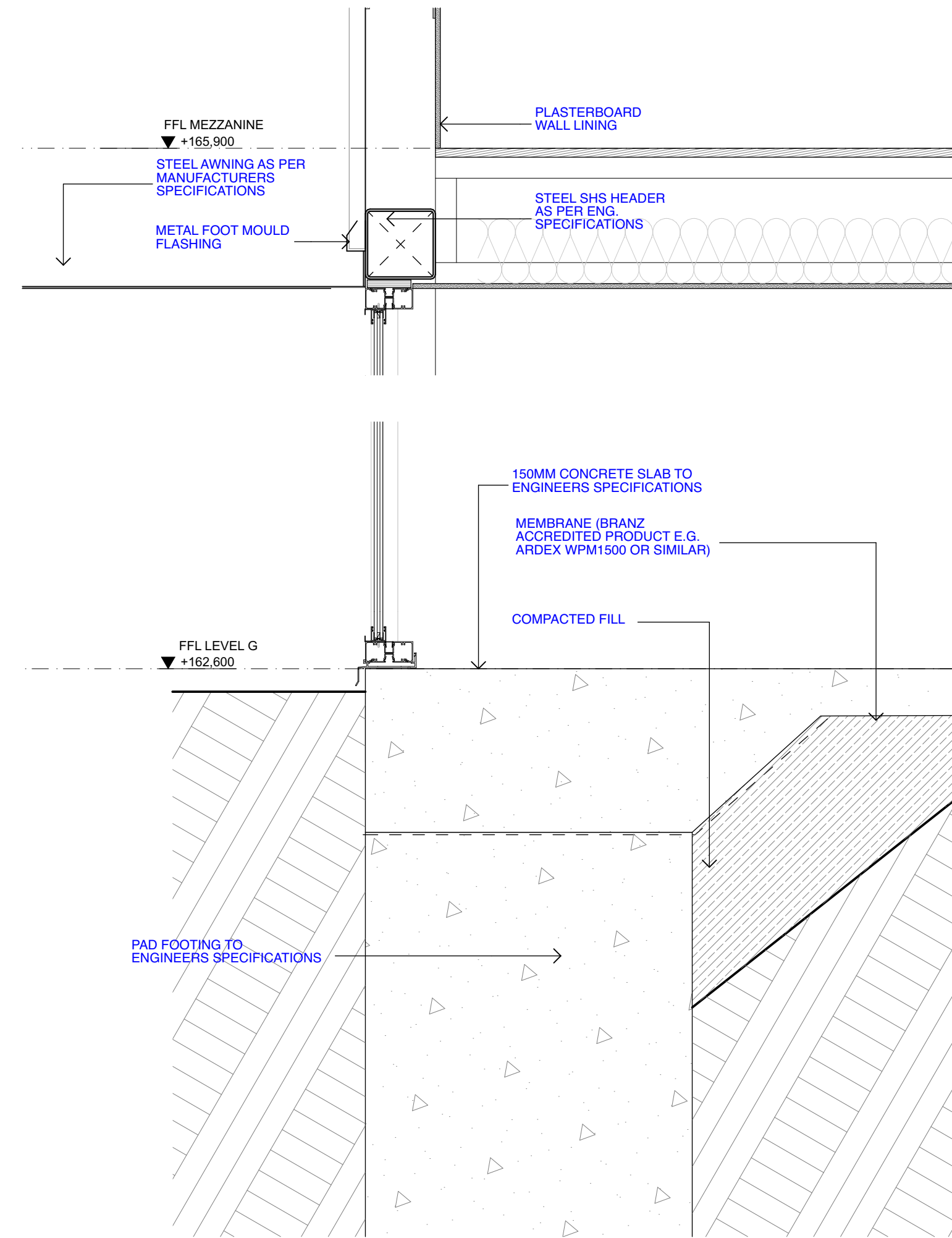
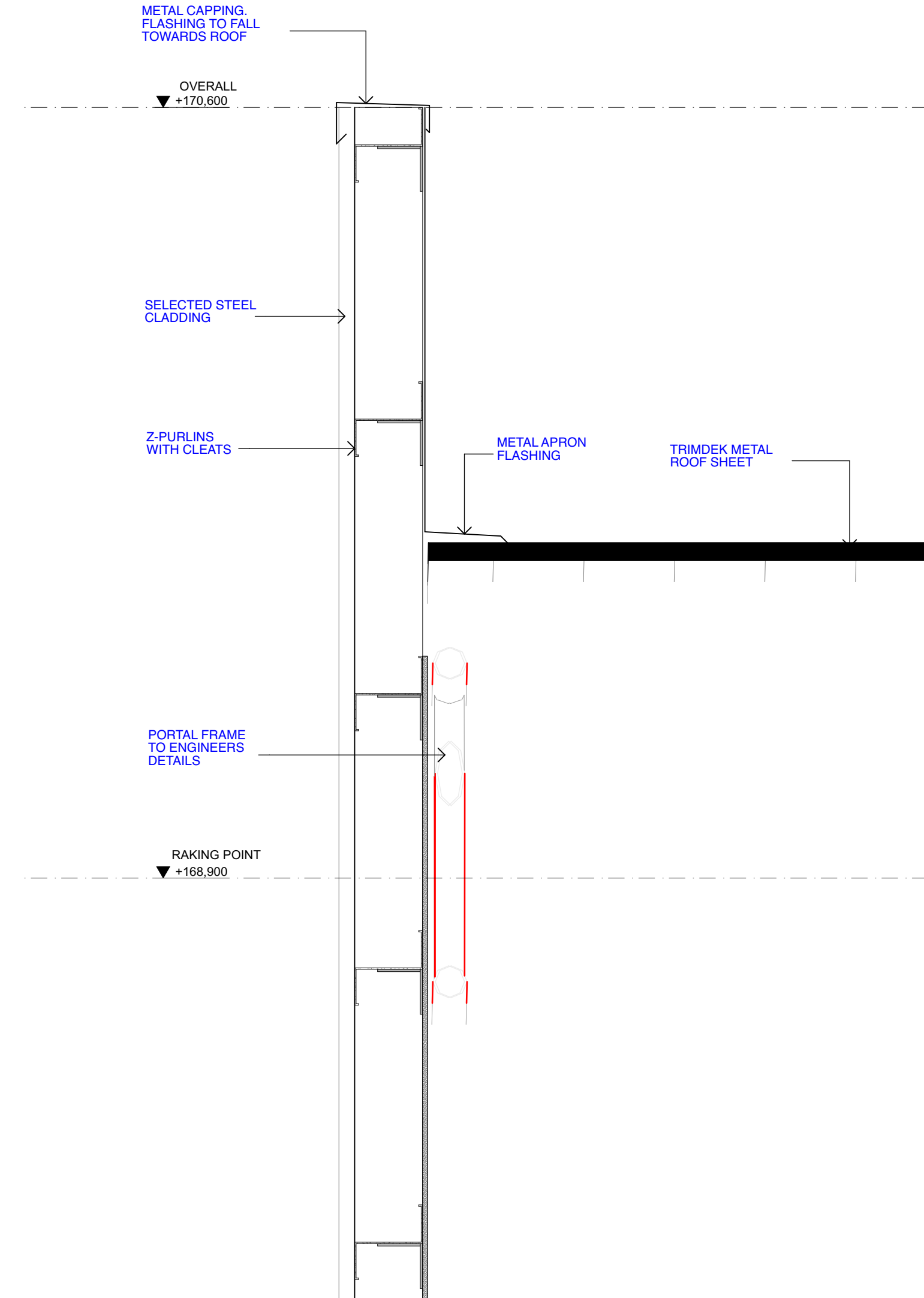




WS01 WALL SECTION DETAIL 01  
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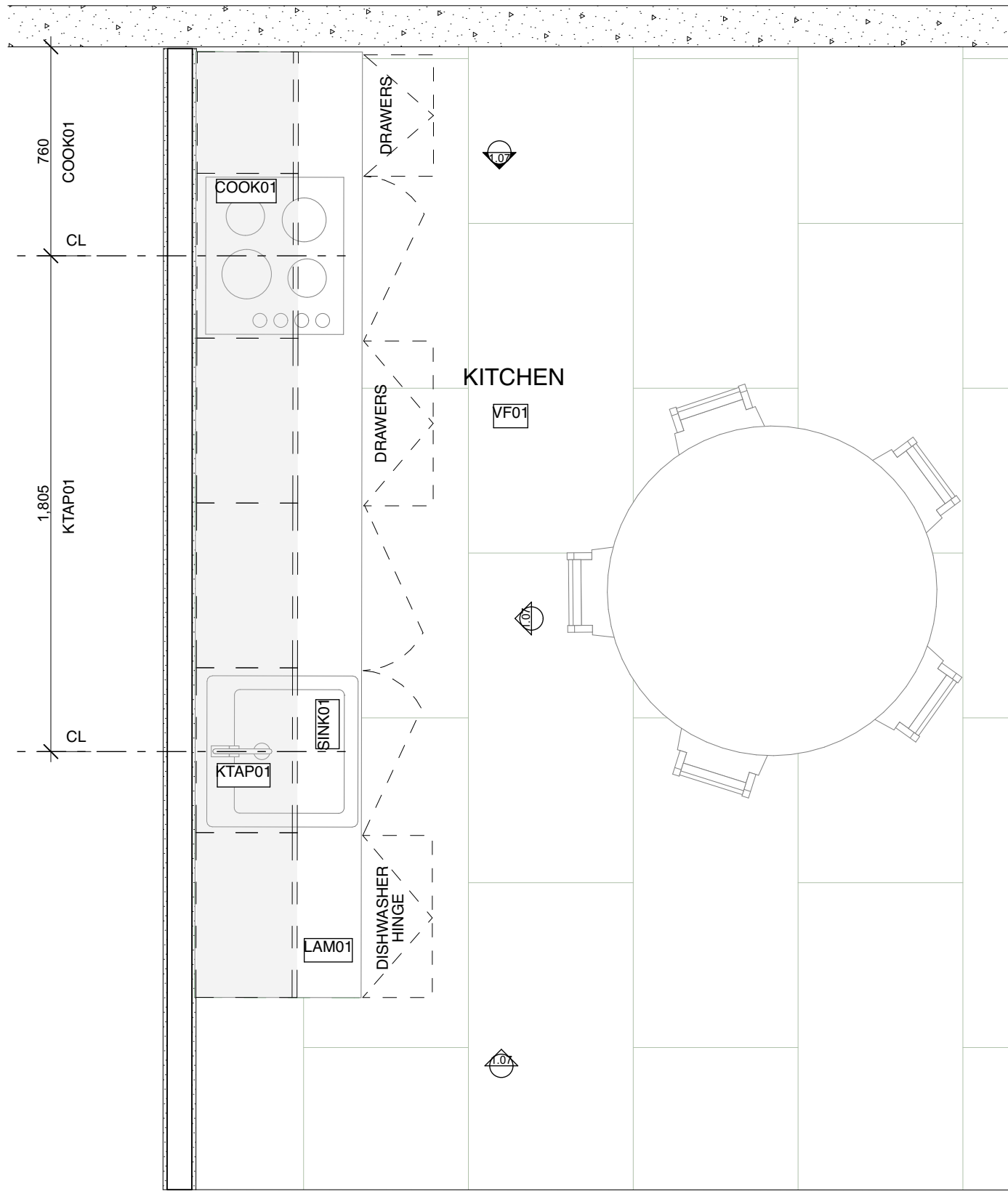
WS02 WALL SECTION DETAIL 02  
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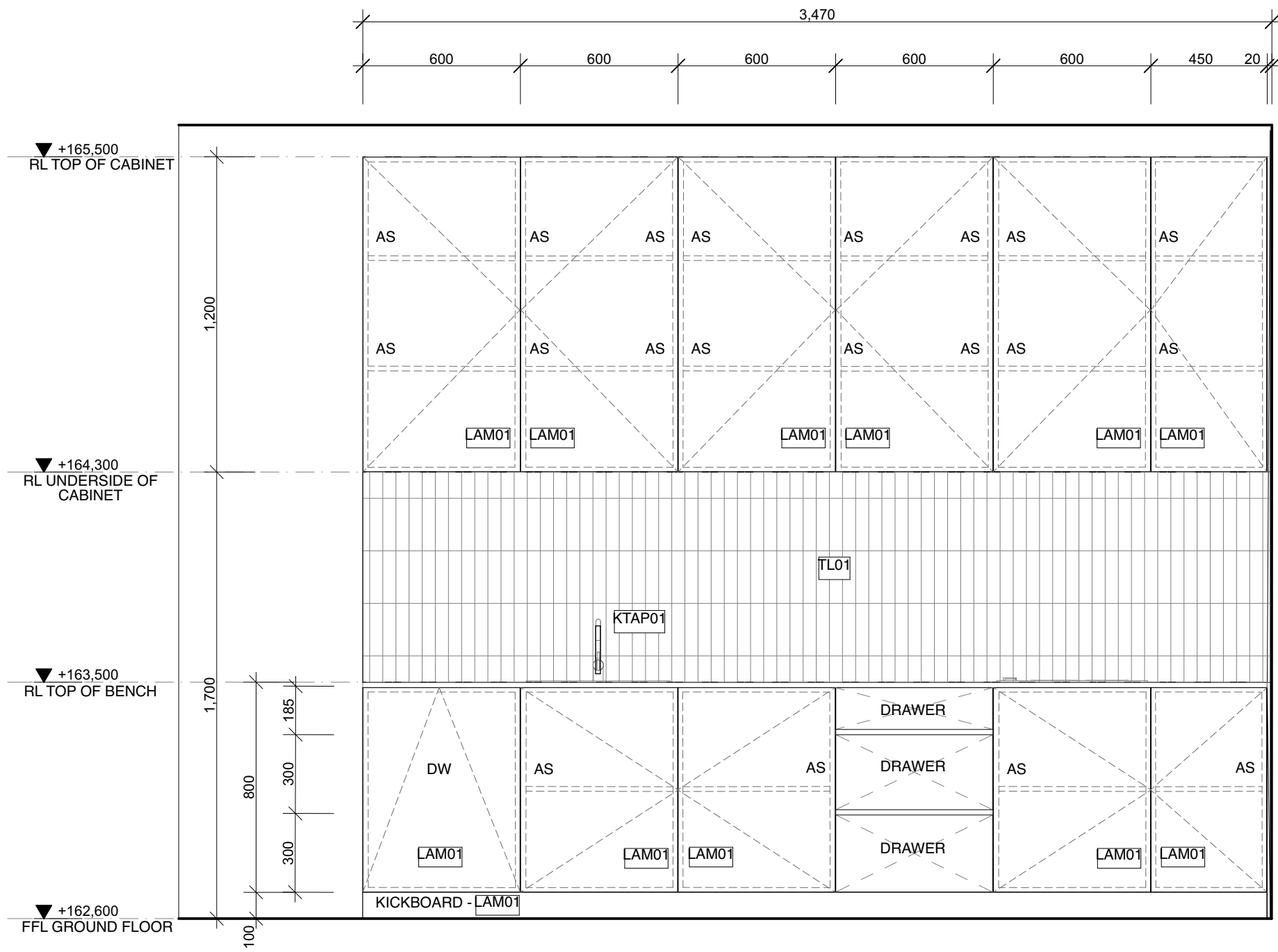
WS03 WALL SECTION DETAIL 03  
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INTERIORS

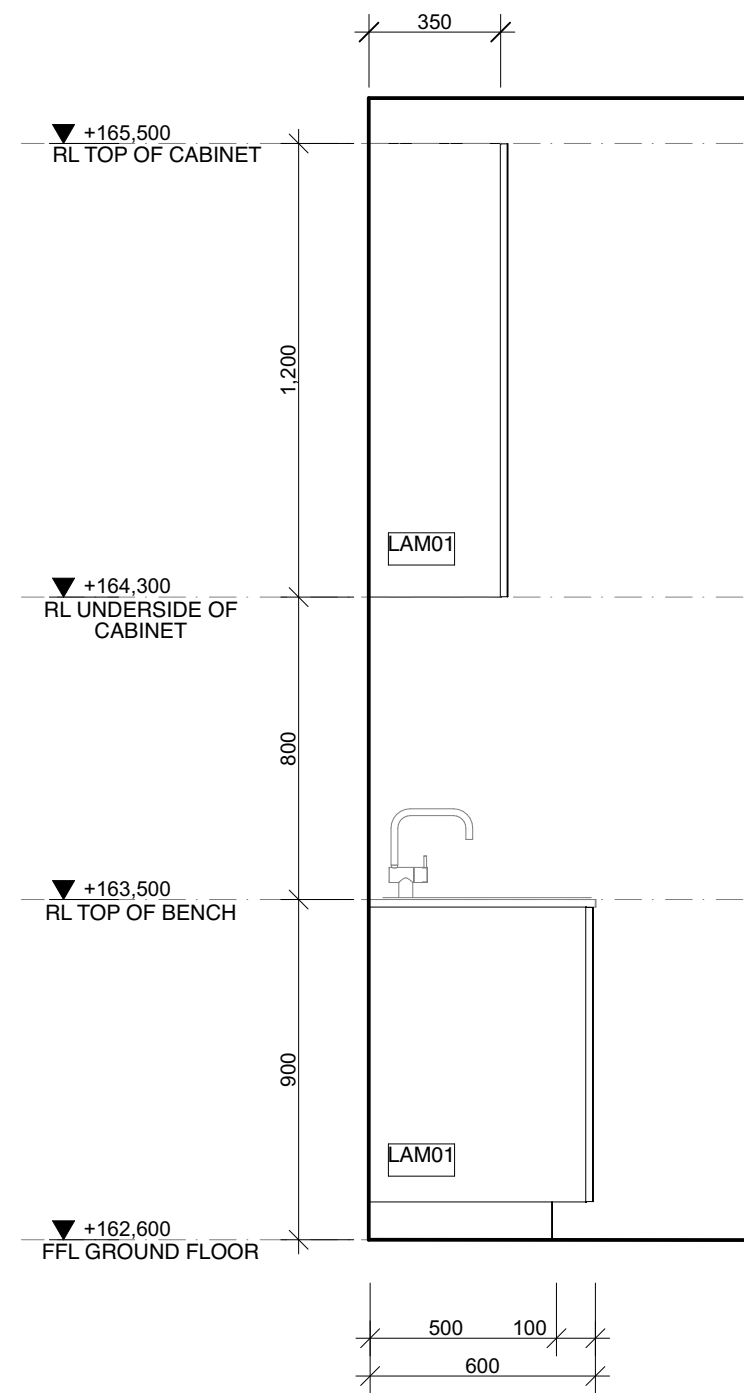




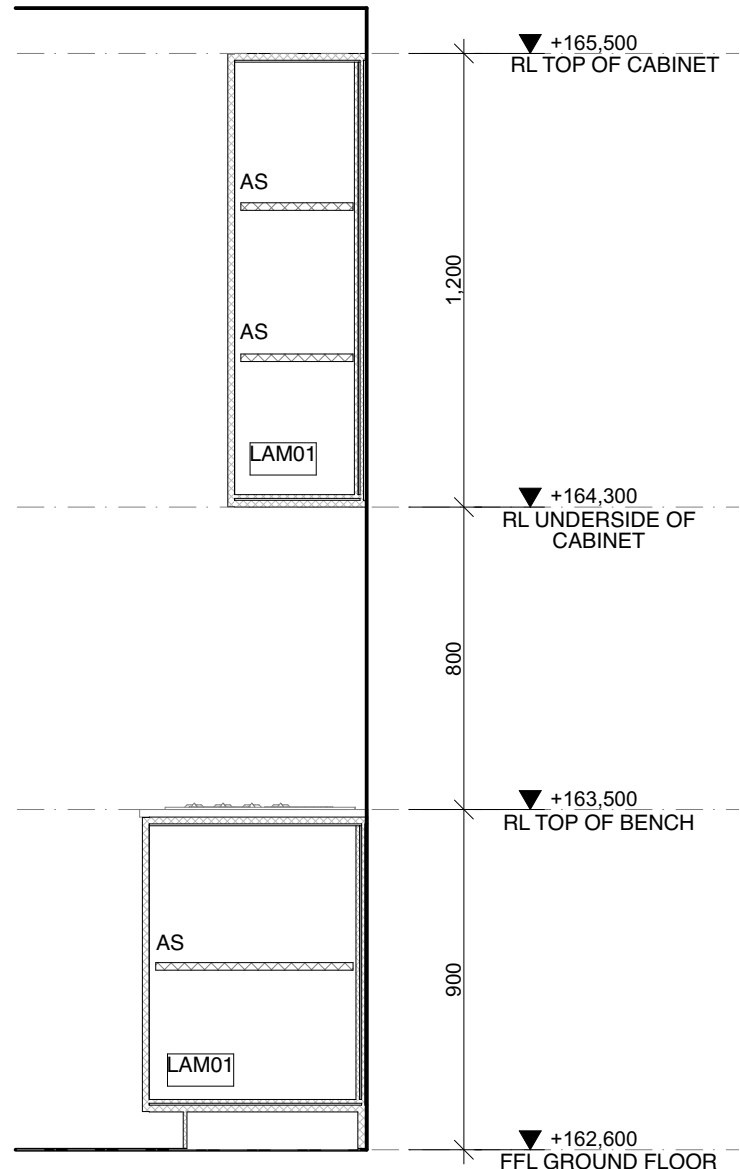
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INTERNAL KITCHEN PLAN  
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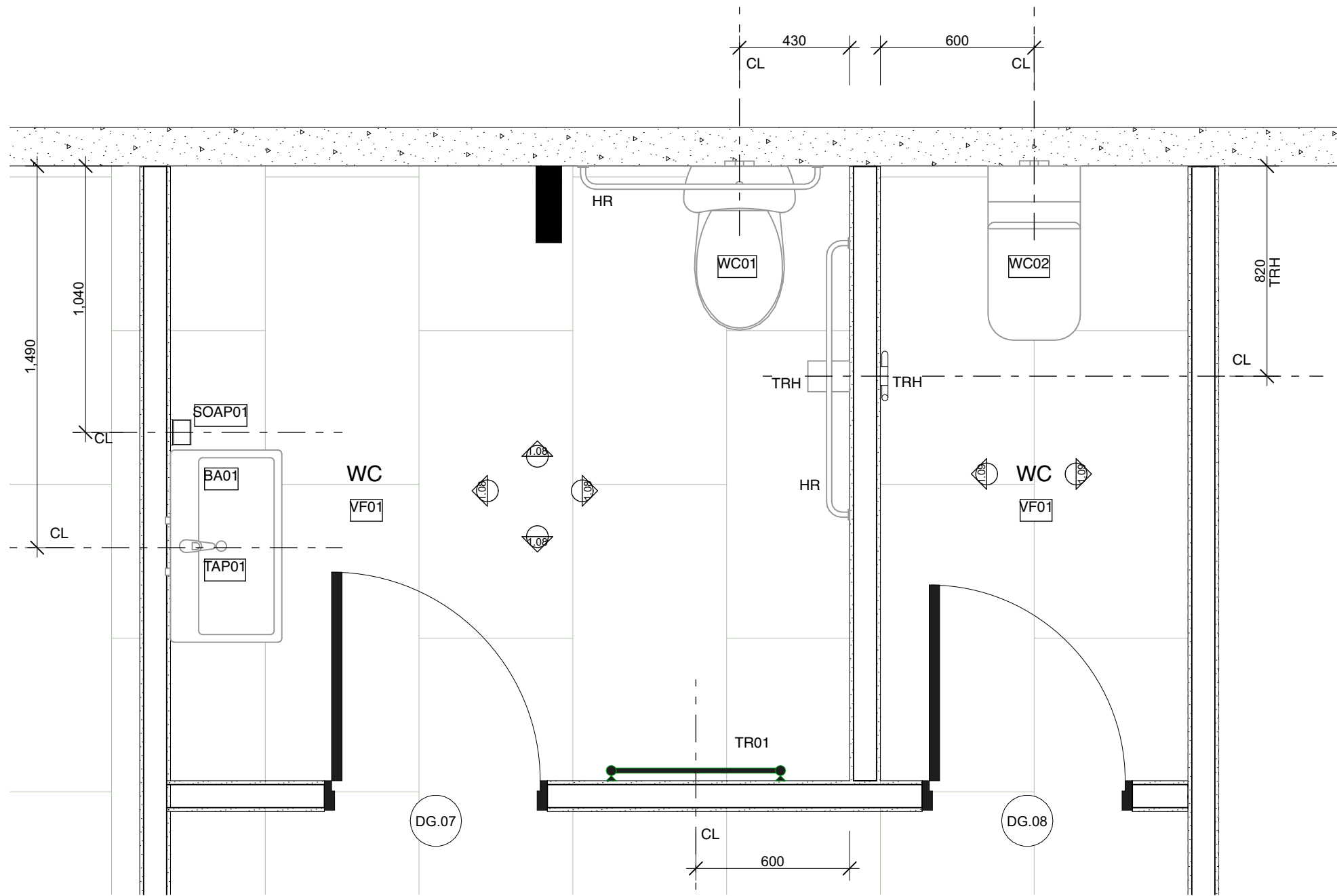
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INTERNAL ELEVATION 01  
1:20



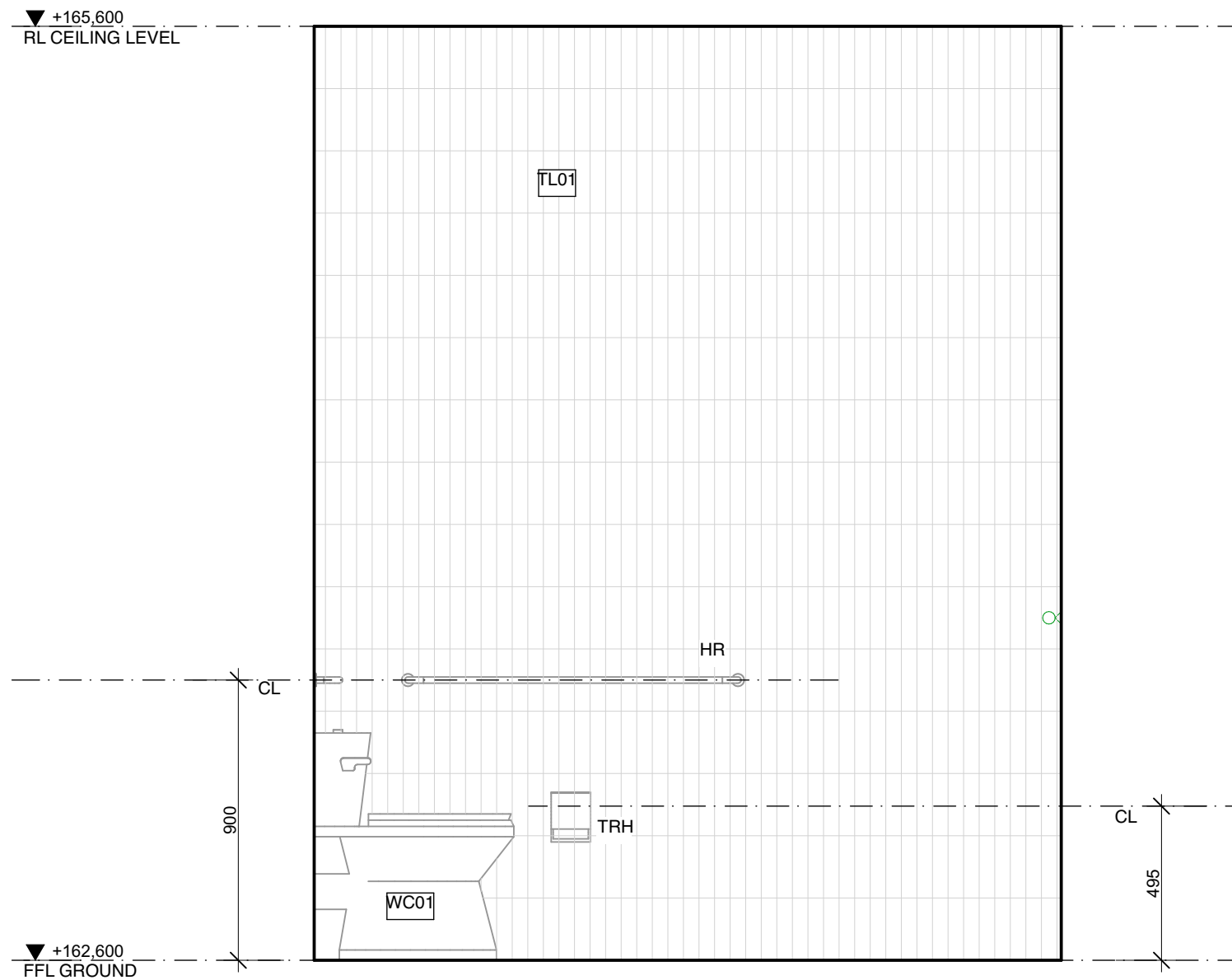
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INTERNAL ELEVATION 02  
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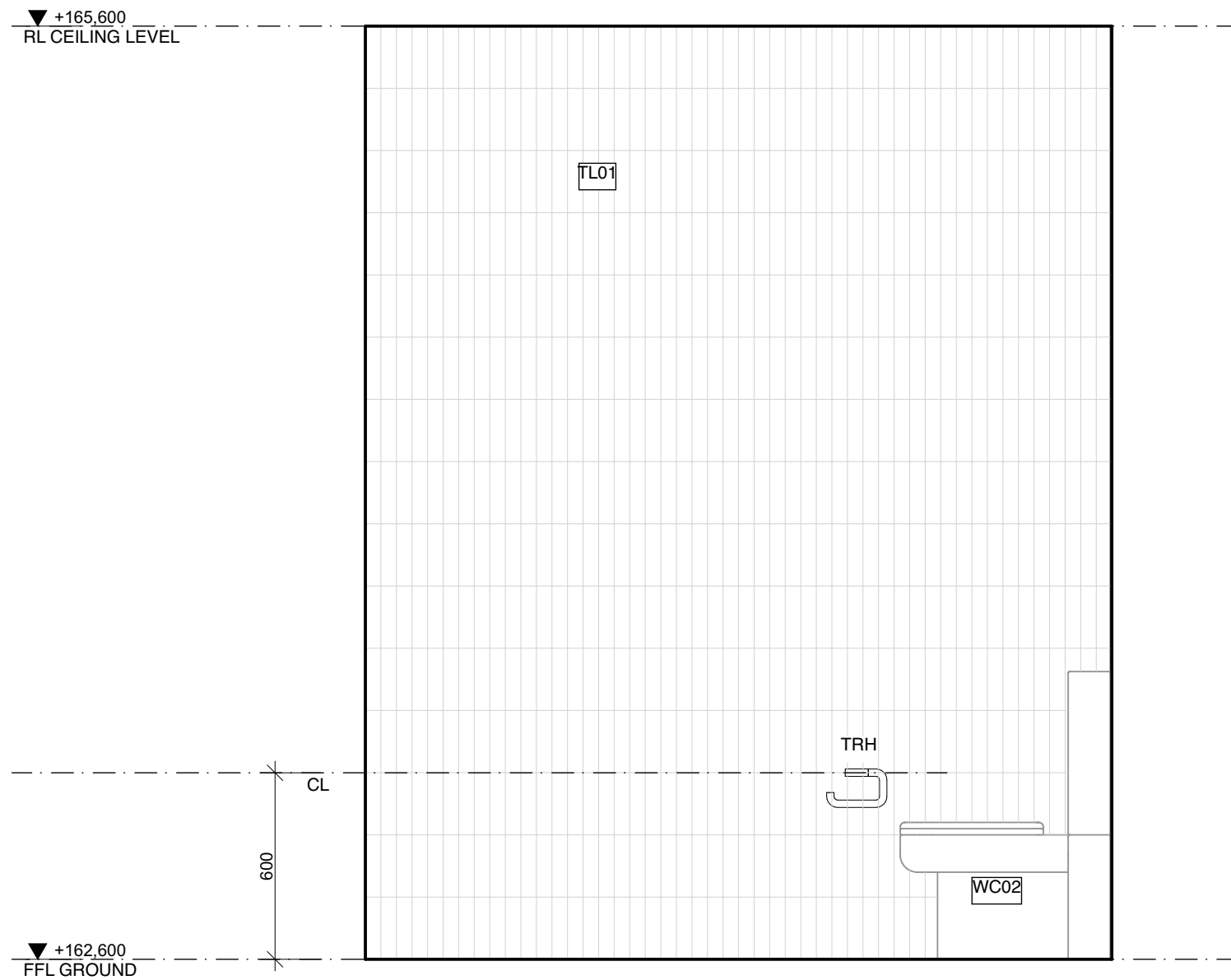
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INTERNAL ELEVATION 03  
1:20



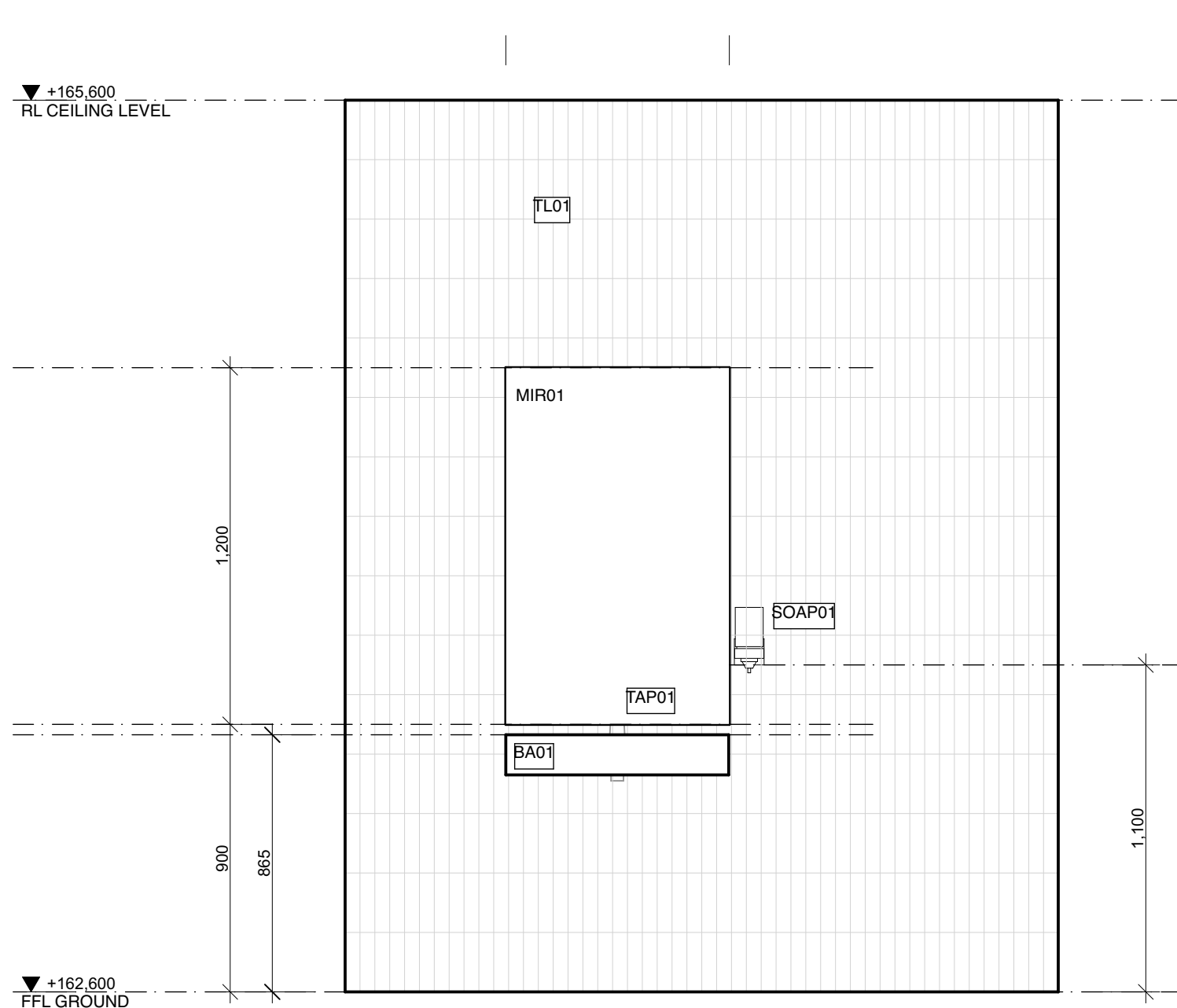
1 INTERNAL WET AREA PLAN  
1:20



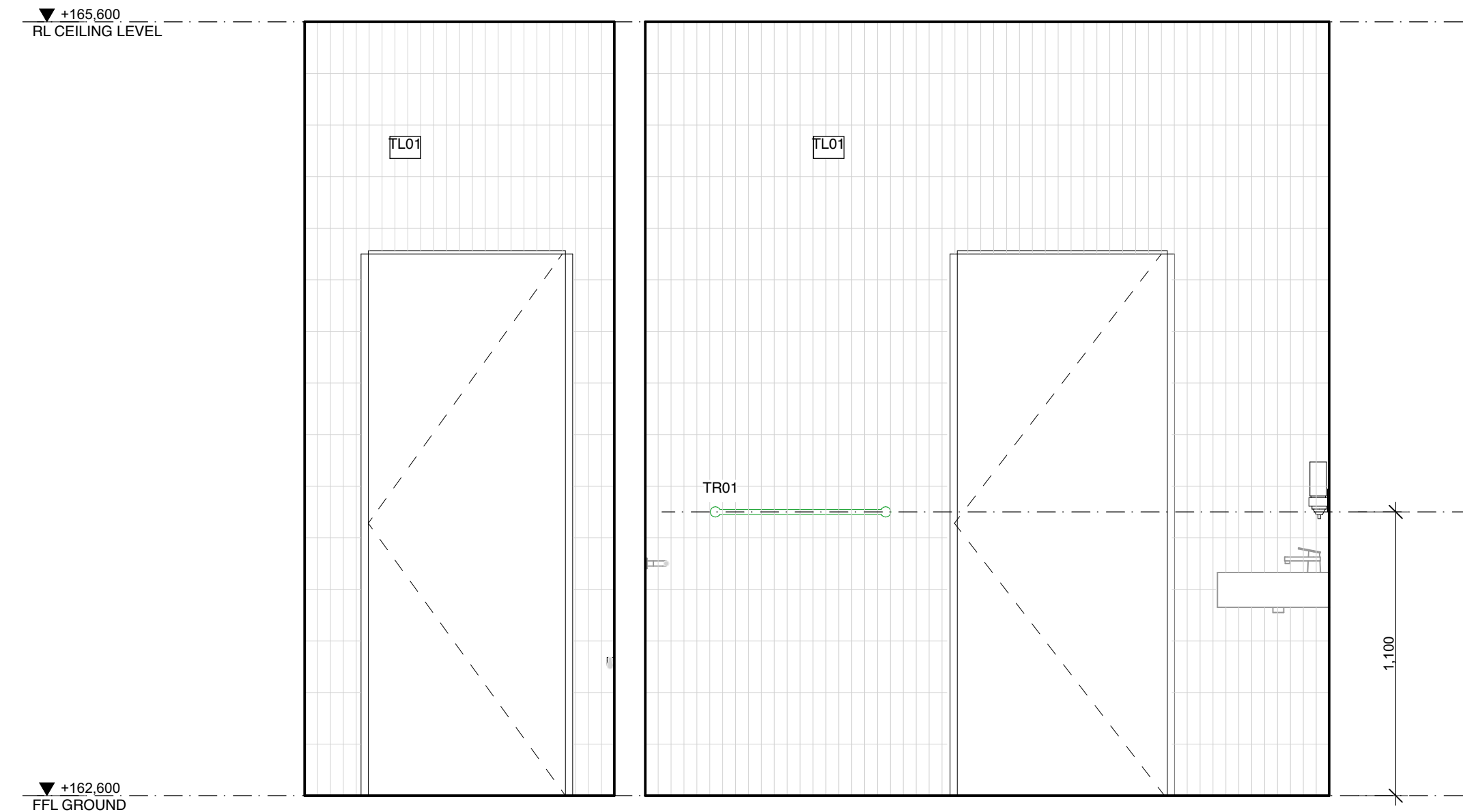
3 INTERNAL ELEVATION 03  
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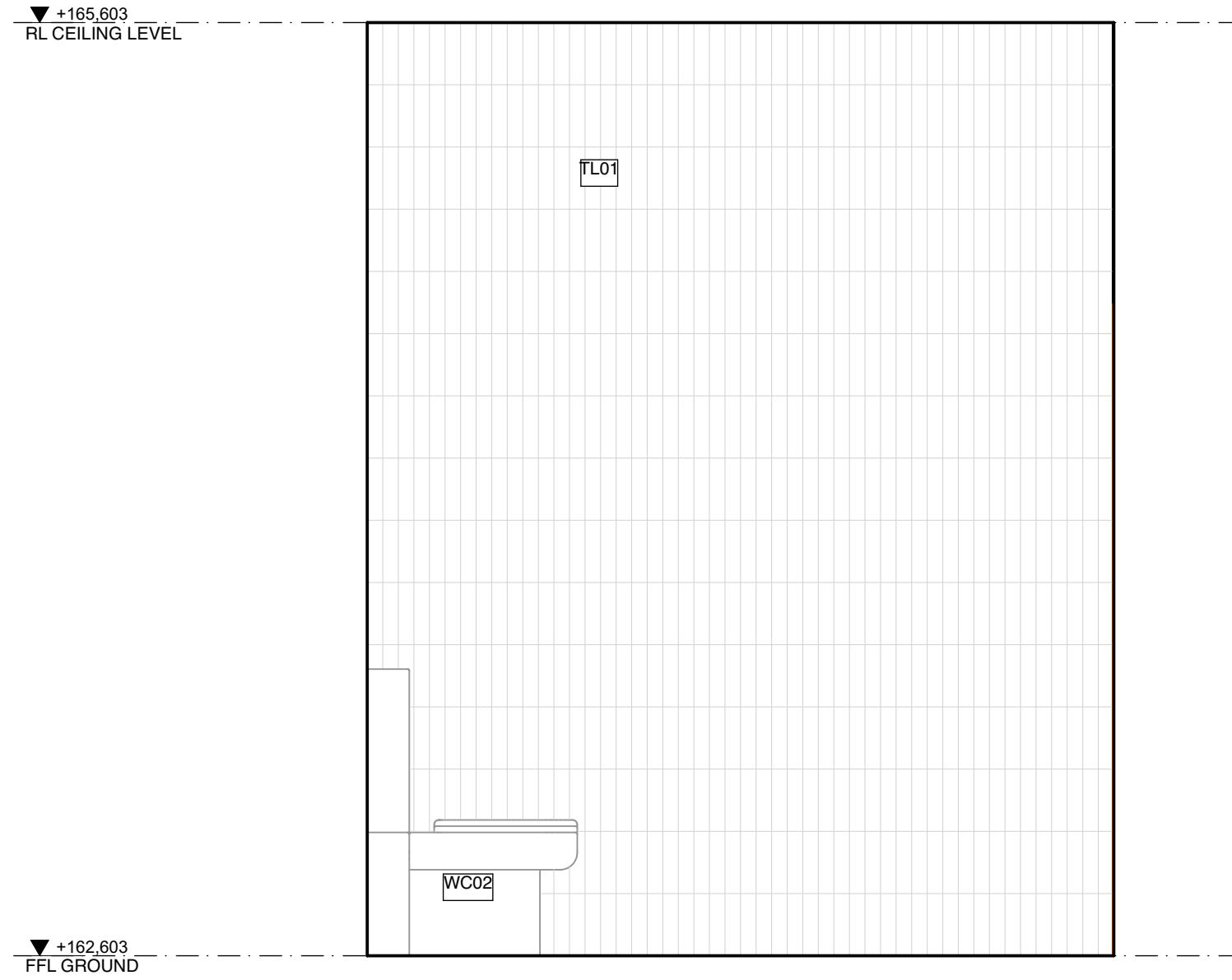
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1 INTERNAL ELEVATION 01  
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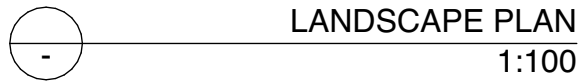


4 INTERNAL ELEVATION 04  
1:20



6 INTERNAL ELEVATION 06  
1:20





-  Subject site  
 Tree planting  
 Groundcovers and grasses
-  Concrete pavement  
 Crushed rock pavement  
 Mulched garden bed
- Note: Proposed trees are shown at 75% mature canopy size and proposed shrubs are shown at 80% mature size

## Plant Schedule

CODE	BOTANIC NAME	COMMON NAME	SIZE (MATURITY)	RECOMMEND POT SIZE	QUANTITY
<b>TREES</b>					
Bm	<i>Banksia marginata</i>	Silver Banksia	2-12 x 2-6	150mm	4
Cc'S'	<i>Corymbia citriodora</i> 'Scentous'	Dwarf Lemon Scented Gum	7 x 3	2m tall	1
Em	<i>Eucalyptus melliodora</i>	Yellow Box	10-15 x 8-10	2m tall	3
<b>GRASSES</b>					
LIT*	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat Rush	0.5 x 0.5	150mm	24
Pl	<i>Poa labillardierei</i>	Common Tussock-grass	1 x 1	150mm	42
<b>GROUNDCOVERS</b>					
Ca	<i>Chrysacephalum apiculatum</i>	Everlasting Buttons	Prostrate	Tube stock	5



### Preparation, Planting and Establishment Notes

1. All underground services to be verified by Contractor prior to commencement of work.
2. All setout and levels must be checked and approved on site by the superintendent prior to construction.
3. Any discrepancies must be reported immediately to the superintendent or landscape architect.
4. All dimensions have preference over scaled dimensions. Drawings are to be read in conjunction with applicable project specifications and engineering documents.
5. All construction to be in accordance with all relevant Australian Standards, including all revisions, council requirements and industry standards for methods and quality of construction.
6. All work is to be approved from site to site construction. Herbicide to be used sparingly. If required, use a non-residual glyphosate herbicide in any registered formula, at the recommended maximum rate.
7. Site to be graded towards garden beds, lawn or gravel areas. Adjust grading accordingly to accommodate localised collection of ground run-off.
8. Soil pH is to be tested and should be slightly acidic to neutral (pH - 5.5 to 7.0). If outside of this range contact local nursery to obtain advice on improving the pH level and individual plant tolerance of specific site pH level.
9. Grass sward should be checked for responsiveness to gypsum which can allow plant roots to penetrate the soil. If required, add gypsum according to manufacturer's specifications.
10. Cultivation of existing soil to be minimal. Improve existing soil with organic material such as well rotted manures, soil improvers or compost prepared to AS.4544-2003. Top dress existing soil with organic material and cover with mulch. If importing of topsoil is required, then soil must comply with AS.4542-2000.
11. Confirm plant quantities in Planting Schedule. Any discrepancies between Planting Schedule and plan are to be reported to the Landscape Architect before proceeding. Plants are to have well developed root system and be free of pest and disease.
12. (Jointly otherwise indicated) 12mm Fine Bark mulch (Apple equivalent) is to be applied to all garden beds at a depth of 75mm.
13. Fertilise plants according to individual species requirements. Apply Seasoal upon initial planting to target roots and promote healthy, balanced growth. Apply liquid Phosgen every three months.
14. Water products to be treated pine, recycled or plantation grown. Jarrah, Red Gum or Native (White Cypress Pine (*Callitris columellaris*)) should not be used unless proven to be a recycled product.
15. Each planted tree is to be staked for 1 to 2 years, as per planting detail, with 38x38x1800 hard wood stakes. Fasten with 50mm fabric ties.
16. All shrubs are to be evenly spaced and located as per drawings.
17. Unless otherwise indicated, install timber or black metal edging, as per detail, to all garden beds, lawn and gravel path borders.
18. Install a drip watering system to all garden beds and connect to rainwater tank or mains connection. Install timer or pump to confirm layout of connection and layout of irrigation system on site.
19. Re-grade proposed lawn areas to provide smooth contours. Rake to remove soil clods and rubble.
20. Seeded lawn to be non-invasive grass species such as: Queensland Blue Grass (*Dactyloctenium aegyptium*), Red-leg Grass (*Boutriochloa maculosa*) or Weeping Grass (*Microloena stipoides*)
21. Initial turf is to be obtained from a local turf grower or supplier. Turf to be cut of even thickness, free from weeds and other foreign matter. Install as per grower specifications.
22. Follow-up maintenance should be undertaken every 4-6 weeks for 2 years following establishment. Dead or diseased plants should be replaced. Monitor for weed species and remove as required. Eradicate any pest animals or insects. (Watering plants according to individual species' moisture needs, depending on conditions and soil type. Fertilise plants according to individual species' requirements as required, according to AS 4373 (Pruning of Amenity Trees). Replenish mulch annually in Spring.

## Tree Protection Notes

Prior to commencement of any building or demolition works on the land, the Tree Protection Zone (TPZ) of existing trees to be retained must be established on or adjacent to the subject site. TPZs are calculated according to AS4970-2009 (Protection of Trees on Development Sites) and are equal to 12 x the diameter of the tree trunk at 1.4m from the ground. Encroachment within or variations to the TPZ are possible but must be in accordance with AS4970-2009. TPZs and Tree Protection Fencing is to be maintained during, and until completion of, all buildings and works including landscaping, to the satisfaction of the Responsible Authority.

Tree Protection Zone measures to be established in accordance with Australian Standard 4970-2009 and are to include the following:

- Erection of solid chain mesh fencing, or a similar type of fencing, at a minimum height of 1.8m, supported on and held in place by concrete pads. Alternatively, star pickets (1.5m spacing) and parawebbing may be used to define the Tree Protection area. Fencing to be in accordance with the Testra Standards for Temporary Fencing and Barriers.
- Signs are to be placed around the perimeter of the fencing, identifying the area as a TPZ. The signs are to be visible from within the development site, and the lettering and wording are to comply with Australian Standard 1319.
- Mulch is to be placed over the entire soil surface within the TPZ, to a depth of 100mm and supplementary watering is to be provided during dry weather.
- No excavation, construction work, activities, grade changes, surface treatments or storage of materials of any kind are permitted within a TPZ unless otherwise approved by this permit or further approved in writing by the Responsible Authority.
- All supports and bracing are to be outside TPZ and any excavation for supports or bracing is to avoid damaging the tree roots.
- No standing or allowed within the TPZ for installation of utility services, unless the Responsible Authority has approved tree sensitive installation methods, such as horizontal soil boring.
- No storage or dumping of tools, equipment or waste is to occur within the tree protection zone.

Where construction is approved within TPZ, fencing and mulch are to be placed up to, and along the line of, the approved proposal. Fencing may only be repositioned by an authorized person, and only during approved construction within the TPZ, and must be restored in accordance with the above requirements at all other times.

DRAWING STAMP

REVISION	DATE	REASON FOR ISSUE
1001	10/01/2023	1. TENDR

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PROJECT

NEW WAREHOUSE

ADDRESS

28 PLATINUM COURT THURGOONIA

NSW 2640

DWG TITLE

LANDSCAPE

DRAWN	PROJECT NO.
LJ	2423
SCALE	DWG NUMBER
1:100@A1	NOV 2023
DESIGN	DWG NO.
TD01	501

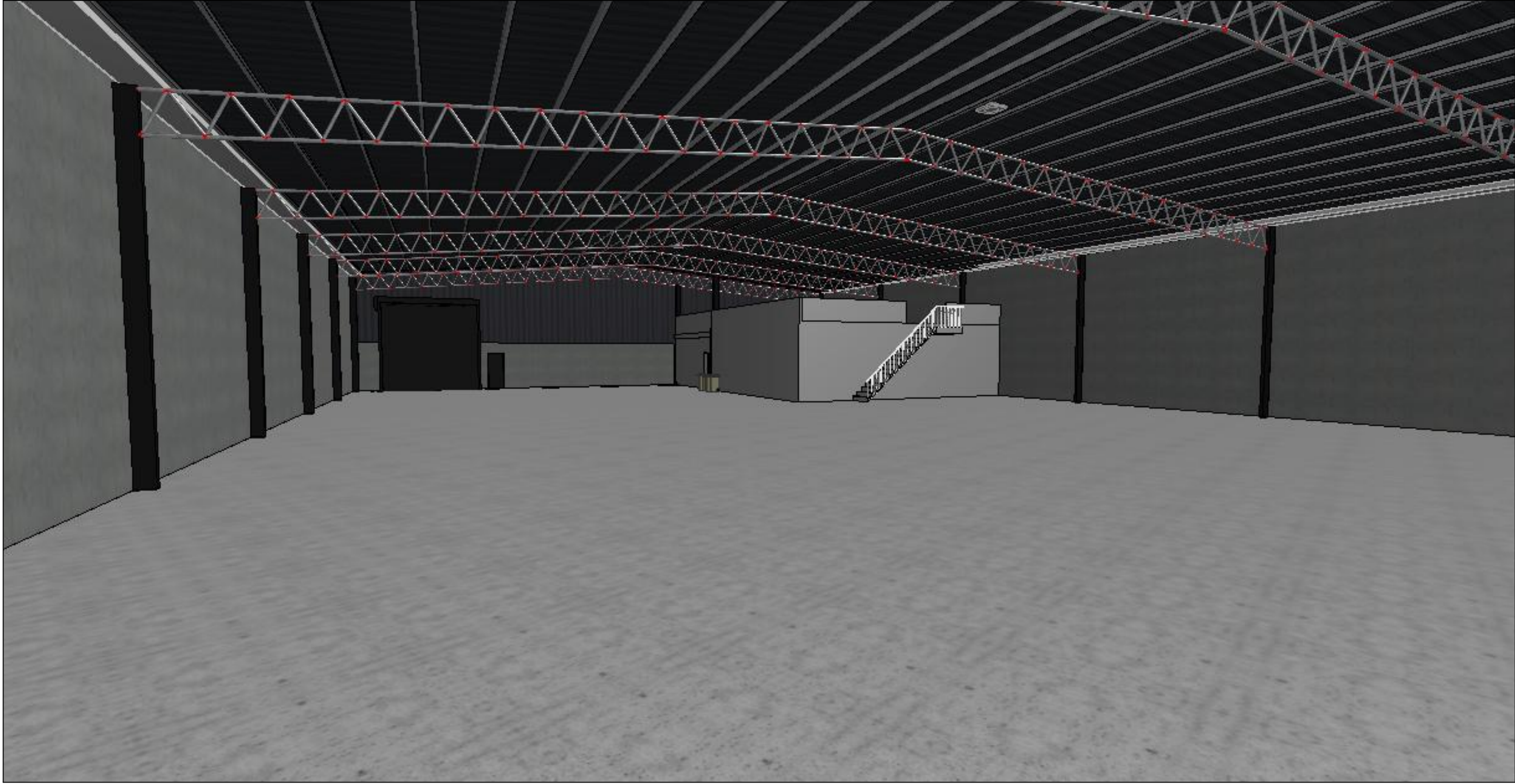




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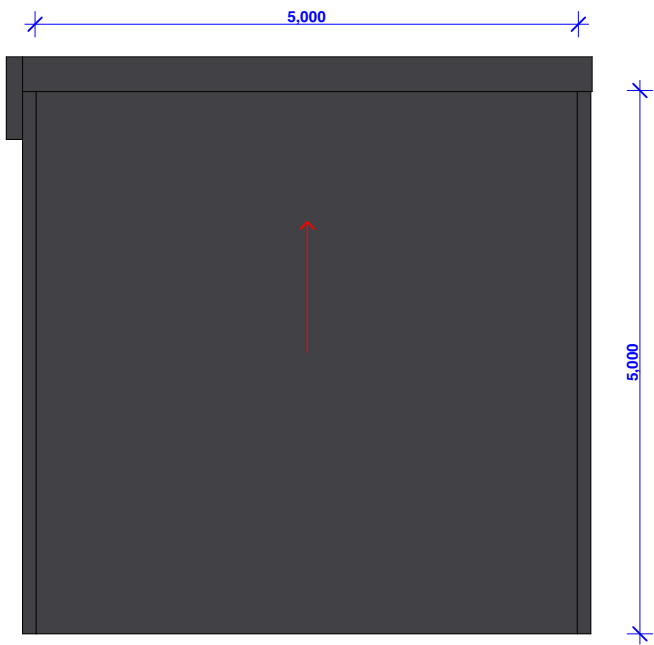
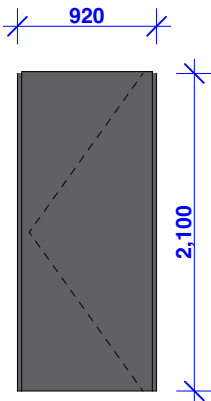
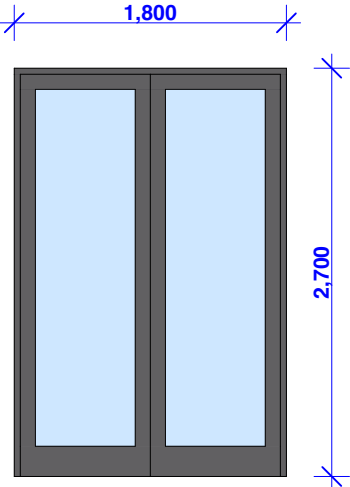
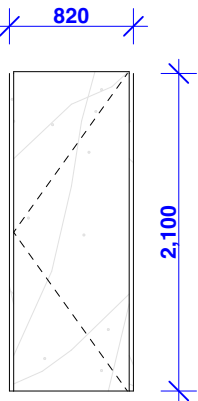
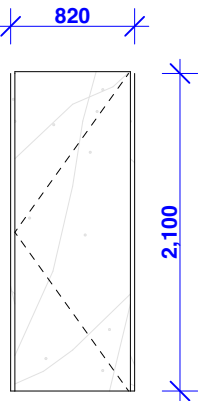
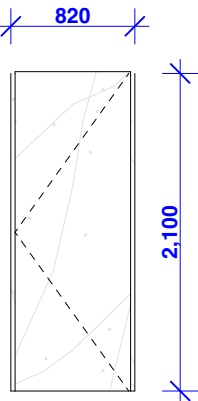
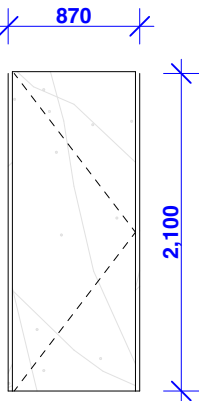
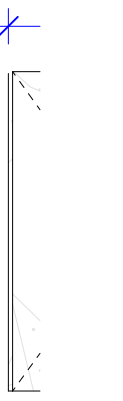


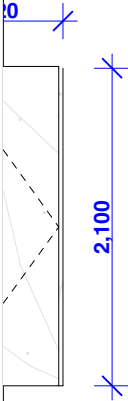
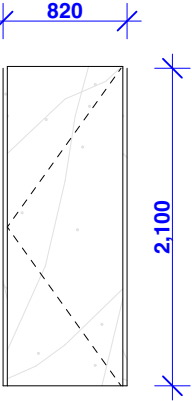
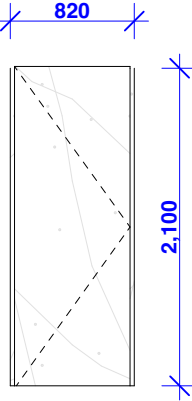
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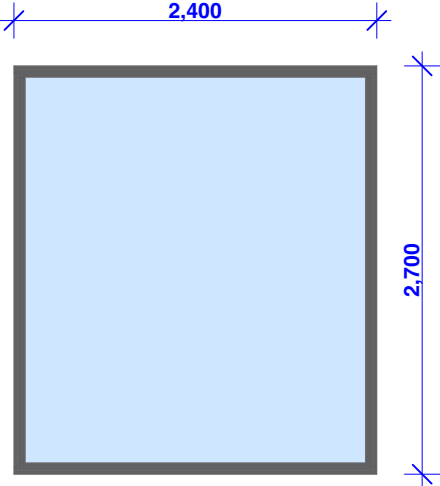
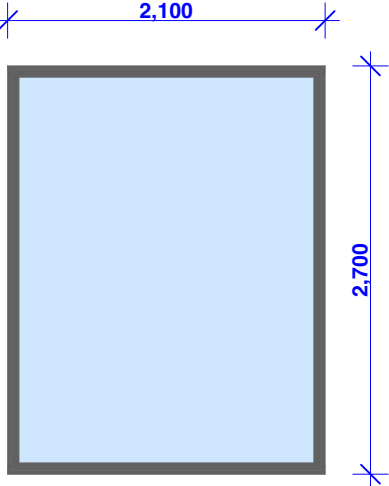


3 INTERNAL WAREHOUSE VIEW  
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DOOR SCHEDULE - LEVEL 00								
VIEW FROM INSIDE								
								
ELEMENT ID	DG.01	DG.02	DG.03	DG.04	DG.05	DG.06	DG.07	DG.08
LOCATION	WAREHOUSE	WAREHOUSE	RECEPTION	RECEPTION/ WAREHOUSE	RECEPTION/ OFFICE	KITCHEN	WC	WC
DESCRIPTION	MOTORISED GARAGE ROLLER DOOR	EXTERNAL HINGED WEATHERPROOF DOOR	ALUMINIUM FRAME WITH GLAZING HINGED SWING DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR
FRAME TYPE	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME
FRAME FINISH	MONUMENT FINISH							
ARCHITRAVES				FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH
DOOR FURNITURE	HEAVY DUTY ROLLER	DOORS IN EXIT AND PATHS OF TRAVEL TO BE OPENABLE FROM INSIDE WITHOUT KEY AND DOWNWARD ACTION OA SINGLE DEVICE HANDLE (D2.21)	DOORS IN EXIT AND PATHS OF TRAVEL TO BE OPENABLE FROM INSIDE WITHOUT KEY AND DOWNWARD ACTION OA SINGLE DEVICE HANDLE (D2.21)					
SEAL	WEATHER SEALS							
LOCK	MANUAL LOCKING SYSTEM							

DOOR SCHEDULE - LEVEL 00				
VIEW FROM INSIDE				
				
ELEMENT ID		DG.09	DG.10	DG.11
LOCATION		MEETING	PO	WAREHOUSE
DESCRIPTION	DOOR	INTERNAL HINGED SOLIDCORE DOOR	INTERNAL HINGED SOLIDCORE DOOR	EXTERNAL HINGED WEATHERPROOF DOOR
FRAME TYPE		STEEL FRAME	STEEL FRAME	STEEL FRAME
FRAME FINISH				
ARCHITRAVES		FLUSH WITH WALL FINISH	FLUSH WITH WALL FINISH	
DOOR FURNITURE				DOORS IN EXIT AND PATHS OF TRAVEL TO BE OPENABLE FROM INSIDE WITHOUT KEY AND DOWNWARD ACTION OA SINGLE DEVICE HANDLE (D2.21)
SEAL				
LOCK				

LEVEL 00 WINDOW SCHEDULE		
VIEW FROM INSIDE		
		
ELEMENT ID	WG.01	WG.02
LOCATION	OFFICE	RECEPTION
DESCRIPTION	ALUMINIUM FRAME FIXED GLAZED PARTITION	ALUMINIUM FRAME FIXED GLAZED PARTITION
NOM. W x H SIZE	2,400x2,700	2,100x2,700
FRAME THICKNESS	50.0	50.0
SURFACE AREA OF GLAZING (sq.m)	6	6
FRAME FINISH	POWDERCOATED MONUMENT TO MATCH CLADDING	POWDERCOATED MONUMENT TO MATCH CLADDING
GLASS TYPE		
REVEALS	EZI-REVEAL TO MATCH WALL	EZI-REVEAL TO MATCH WALL
WINDOW COVERINGS	N/A	N/A
FLYSCREEN	N/A	N/A
THRESHOLD	N/A	N/A
MINIMUM PERFORMANCE	N/A	N/A
HARDWARE	N/A	N/A

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